

ZONING MAP
1" = 1,000'

APPLICANT:
COLLIE CONSTRUCTION
566 BRIDGE ROAD
PHOENIXVILLE, PA 19460

CURRENT SOURCE OF TITLES:
CN PROPERTIES, LLC.
DEED BOOK 8557 PAGE 1839
PARCEL ID: 15-12-287
CHESTER COUNTY RECORDS

BRADFORD J. DICRISIO
DEED BOOK 4595 PAGE 1808
PARCEL IDS: 15-12-288
CHESTER COUNTY RECORDS

BRADFORD J. DICRISIO
DEED BOOK 4646 PAGE 1730
PARCEL IDS: 15-13-1
CHESTER COUNTY RECORDS

SITE ADDRESS:
566 BRIDGE ROAD
PHOENIXVILLE, PA 19460

EXISTING USE: RESIDENTIAL APARTMENTS AND CONTRACTOR BUSINESS

PROPOSED USE: RESIDENTIAL APARTMENTS AND TOWNHOUSES, UTILIZING PUBLIC WATER AND PUBLIC SEWAGE DISPOSAL SYSTEM.

THIS SURVEY AND PLAN DEPICTING THE RESULTS THEREOF, WERE CONDUCTED AND PREPARED BASED SOLELY ON CURRENT DEEDS AND PLANS OF RECORD AND WITHOUT THE BENEFIT OF A SEARCH OF THE SUBJECT PREMISES TITLE. USERS OF THIS PLAN ARE HEREBY CAUTIONED THAT ADDITIONAL EASEMENTS, RIGHTS OF WAY OR OTHER ENCUMBRANCES UPON THE SUBJECT TITLE MAY EXIST THAT WERE NOT VISIBLY EVIDENT AT THE TIME OF FIELD SURVEY. HORIZONTAL DATUM IS PENNSYLVANIA STATE PLANE SOUTH ZONE. VERTICAL DATUM IS NAVD 88.

PRELIMINARY/FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

FOR BRECKENRIDGE TOWERS

566 BRIDGE STREET PHOENIXVILLE BOROUGH CHESTER COUNTY, PA

GENERAL LAND DEVELOPMENT NOTES:

- SITE PROPERTY LINE AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY PERFORMED BY CARTA ENGINEERING, COMPLETED IN SEPTEMBER 2024.
- THIS PROPERTY WAS SURVEYED AND THIS PLAN WAS PREPARED USING DEEDS AND PLANS OF RECORD WITHOUT THE BENEFIT OF A TITLE SEARCH. THIS SURVEY IN NO WAY GUARANTEES, WARRANTS OR IMPLIES THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
- HORIZONTAL SURVEY DATUM IS PA STATE PLANE SOUTH ZONE. VERTICAL DATUM IS NAVD88.
- ALL PROPERTY CORNERS NOT CURRENTLY SET SHALL BE SET IN ACCORDANCE WITH PHOENIXVILLE BOROUGH SPECIFICATIONS.
- ALL UTILITIES WILL BE PLACED UNDERGROUND.
- ALL INTERNAL WATER AND SEWER LINES ARE CONSIDERED PRIVATE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE.
- UTILITY INFORMATION FROM SURFACE EVIDENCE AND PA ONE CALL MARKINGS IN THE FIELD. NO SUBSURFACE LOCATIONS ARE TO BE INFERRED. ALL UTILITY LOCATIONS AND DEPT'S SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- THE BOROUGH SHALL HAVE THE RIGHT, BUT NOT THE DUTY TO ACCESS THE STORMWATER MANAGEMENT FACILITIES SHOWN HEREON FOR THE PURPOSES OF PERIODIC INSPECTION AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE O&M AGREEMENT.
- THE STORMWATER EASEMENT SHALL RUN WITH THE LAND IN PERPETUITY AND IS BINDING UPON THE PARTIES TO THE AGREEMENT, THEIR HEIRS, ADMINISTRATORS, SUCCESSORS IN INTEREST AND ASSIGNS.
- SEWER SERVICE SHALL BE INSTALLED PER PHOENIXVILLE BOROUGH AUTHORITY STANDARDS AND SPECIFICATIONS.
- WATER SEWER SERVICE SHALL BE INSTALLED PER NORTHWESTERN CHESTER COUNTY MUNICIPAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- THERE ARE NO HISTORICALLY SIGNIFICANT SITES OR STRUCTURES WITHIN THE PROPERTY OR ANY ADJACENT PROPERTY, OR WITHIN ANY OTHER PROPERTY WHICH THE PLANNING COMMISSION FEELS COULD BE IMPACTED BY THE PROPOSED LAND DEVELOPMENT.
- AN AS-BUILT PLAN SHALL BE PREPARED AND SUBMITTED TO THE BOROUGH ONCE CONSTRUCTION IS COMPLETED.
- ALL STORMWATER MANAGEMENT FACILITIES AND CONVEYANCES ON THE SUBJECT PROPERTY WILL BE OWNED AND MAINTAINED BY THE OWNER(S) OF LOTS 2 THROUGH 5.

OWNER'S ACKNOWLEDGEMENT

I (WE), _____, ON THIS DATE, _____, HEREBY ACKNOWLEDGE THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS OSM PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS OSM PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.

OWNER _____ DATE _____

CERTIFICATE OF REVIEW BY BOROUGH OF PHOENIXVILLE ENGINEER

I, OWEN M. HYNE, A PENNSYLVANIA PROFESSIONAL ENGINEER, HAVE REVIEWED THIS PLAN, FOR THE BOROUGH, AND HAVE DETERMINED THAT IT HAS BEEN AMENDED AS REQUIRED BY BOROUGH RESOLUTION 2020-6, AND THAT, BASED ON THE INFORMATION PROVIDED BY THE APPLICANT AND WITH ANY WAIVERS PROVIDED BY THE APPLICANT AND WITH ANY WAIVERS SPECIFICALLY IDENTIFIED AND SHOWN HEREON, THE PLAN COMPLIES WITH THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

OWEN M. HYNE _____ DATE _____

CERTIFICATE OF REVIEW BY CHESTER COUNTY PLANNING COMMISSION

THIS PLAN OR AN EARLIER VERSION HEREOF WAS REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON _____, 20____.

SECRETARY _____ DATE _____

CERTIFICATE OF REVIEW BY BOROUGH OF PHOENIXVILLE PLANNING COMMISSION

I HEREBY CERTIFY THAT THE BOROUGH OF PHOENIXVILLE PLANNING COMMISSION REVIEWED THIS PLAN AND ISSUED ITS COMMENTS TO BOROUGH COUNCIL PRIOR TO COUNCIL'S ADOPTION OF RESOLUTION 2020-6, WHICH APPROVES THIS PLAN AS A FINAL PLAN PURSUANT TO THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

TOM CARNEVALE _____ DATE _____
PLANNING COMMISSION CHAIRPERSON

**AFFIDAVIT OF OWNERSHIP
ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CHESTER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED _____, TO ME KNOWN (OR SATISFACTORILY PROVEN), WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS:

HE IS THE AUTHORIZED REPRESENTATIVE OF CN PROPERTIES, LLC, WHICH IS A LIMITED LIABILITY COMPANY AND IS THE RECORD OWNER OF A PORTION OF THE PROPERTY TO WHICH THIS PLAN APPLIES AND OF ALL RIGHTS WHICH ARE NECESSARY TO IMPLEMENT THIS PLAN. THE SOURCE OF CN PROPERTIES, LLC'S TITLE TO THE PROPERTY IS THE DEEDS RECORDED, WITH THE OFFICE (RECORDER'S OFFICE) OF THE RECORDER OF DEEDS IN AND FOR CHESTER COUNTY, PENNSYLVANIA IN RECORD BOOK 8557, BEGINNING AT PAGE 1839. THIS PLAN IS CN PROPERTIES, LLC'S ACT AND DEED IS AUTHORIZED BY CN PROPERTIES, LLC, TO BE RECORDED WITH THE RECORDER'S OFFICE AND THAT SUCH RECORDING SHALL BE EFFECTIVE FOR ALL PURPOSES. HE IS AUTHORIZED BY SAID CN PROPERTIES, LLC, TO MAKE THIS AFFIDAVIT.

SWORN AND SUBSCRIBED TO BEFORE ME
ON THIS DAY, _____ DAY OF _____, 20____.

CN PROPERTIES LLC,
AUTHORIZED REPRESENTATIVE

NOTARY PUBLIC

STATEMENT OF INTENT

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 5 LOTS FROM EXISTING PARCELS 15-12-287 AND 15-12-288 AND CONSTRUCT FOUR (4) RESIDENTIAL TOWNHOUSES, 10 PARKING SPACES, AND SUBSURFACE INFILTRATION AREAS TO HANDLE STORMWATER. LOT 1 WILL CONTAIN THE EXISTING APARTMENT BUILDING AND CONTRACTOR SHOP. THE PROPOSED TOWNHOUSES WILL BE SERVED WITH PUBLIC WATER AND SEWER SERVICE.



- STOP -
CALL BEFORE YOU DIG
PENNSYLVANIA ONE CALL SYSTEM, INC.
3 WORKING DAYS NOTICE IS THE LAW!
1-800-242-1776
SERIAL NUMBER: 20242672924

DESIGN CONTACT INFORMATION:

COMPANY: PHOENIXVILLE BOROUGH WATER
ADDRESS: PHOENIXVILLE, PA. 19460
CONTACT: BRIAN WATSON
EMAIL: BWATSON@PHOENIXVILLE.ORG
PHONE: 610-933-8801 EXT. 320

COMPANY: COMCAST
ADDRESS: 1250 HADDONFIELD-BERLIN RD
CHERRY HILL, NJ. 08034
CONTACT: WYATT PARRISH
EMAIL: WYATT_PARRISH@CABLE.COMCAST.COM
PHONE: 484-368-4391

COMPANY: PECO AN EXELON COMPANY C/O USIC
ADDRESS: 450 S HENDERSON ROAD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USIC.COM
PHONE: 484-681-5720

COMPANY: VERIZON BUSINESS FORMERLY MCI
ADDRESS: 7000 WESTON PKWY
CARY, NC. 27513
CONTACT: VICTOR WOOD
EMAIL: VICTOR.S.WOOD@VERIZON.COM
PHONE: 919-414-2782

**AFFIDAVIT OF OWNERSHIP
ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CHESTER

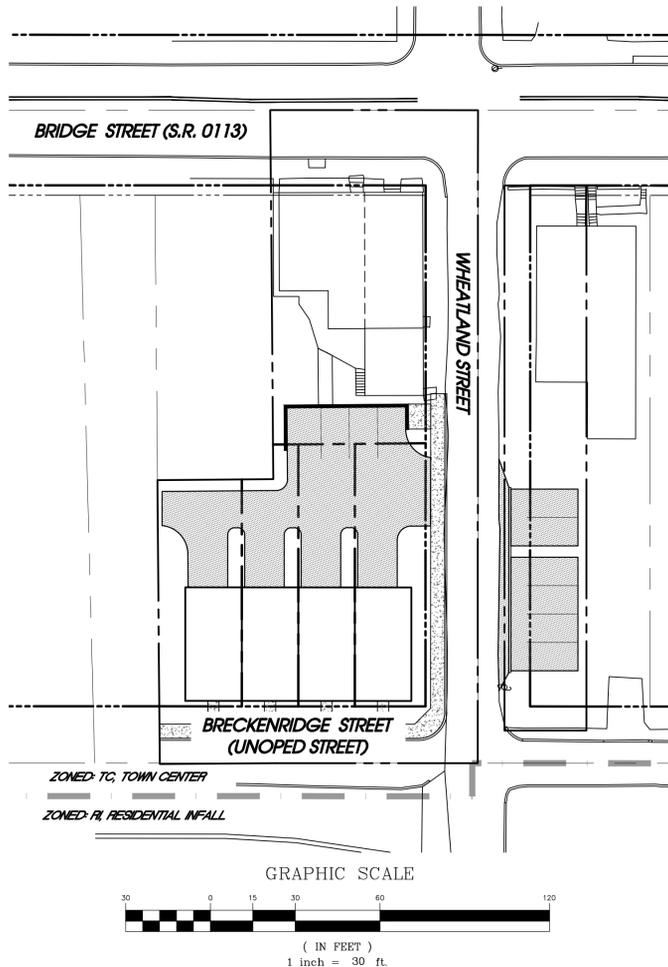
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED BRADFORD J. DICRISIO, TO ME KNOWN (OR SATISFACTORILY PROVEN), WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS:

HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE LAND DEVELOPMENT PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW, AND THAT ALL STREET RIGHT-OF-WAY, UTILITY EASEMENTS, AND ALL PUBLIC IMPROVEMENTS TO BE CONSTRUCTED WITHIN THEIR LIMITS AND WITHIN ANY PROPOSED PUBLIC OPEN SPACES, AS SHOWN AND/OR NOTED ON THE OFFICIAL APPROVED FINAL PLANS AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC USE AND OWNERSHIP.

SWORN AND SUBSCRIBED TO BEFORE ME
ON THIS DAY, _____ DAY OF _____, 20____.

BRADFORD J. DICRISIO

NOTARY PUBLIC



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- PRELIMINARY/FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN
- EXISTING FEATURES AND DEMOLITION PLAN
- RECORD PLAN
- GRADING/DRAINAGE PLAN AND DETAILS
- GRADING/DRAINAGE PLAN AND DETAILS
- CONSTRUCTION DETAILS
- UTILITIES PLAN AND DETAILS
- UTILITY CONSTRUCTION DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS

* ALL PLAN SHEETS SHALL BE RECORDED

RECORDER OF DEEDS CERTIFICATE

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CHESTER COUNTY, PENNSYLVANIA, THIS _____ DAY OF _____, 20____.

PLAN BOOK _____ VOLUME _____ PAGE _____



SURVEYOR'S CERTIFICATION

I, BRYNN SCHAFFER, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE LOT LINES, STREETS, RIGHT-OF-WAY AND EASEMENTS SHOWN ON THIS PLAN WERE SURVEYED AND PLOTTED BY ME AND ACCURATE. I FURTHER CERTIFY THAT THE ERROR OF CLOSURE IS NOT GREATER THAN 1:10,000.

BRYNN SCHAFFER, P.E., P.L.S. _____ DATE _____
9533 OLD 22
BETHEL, PA 19507



DESIGN ENGINEER'S CERTIFICATION

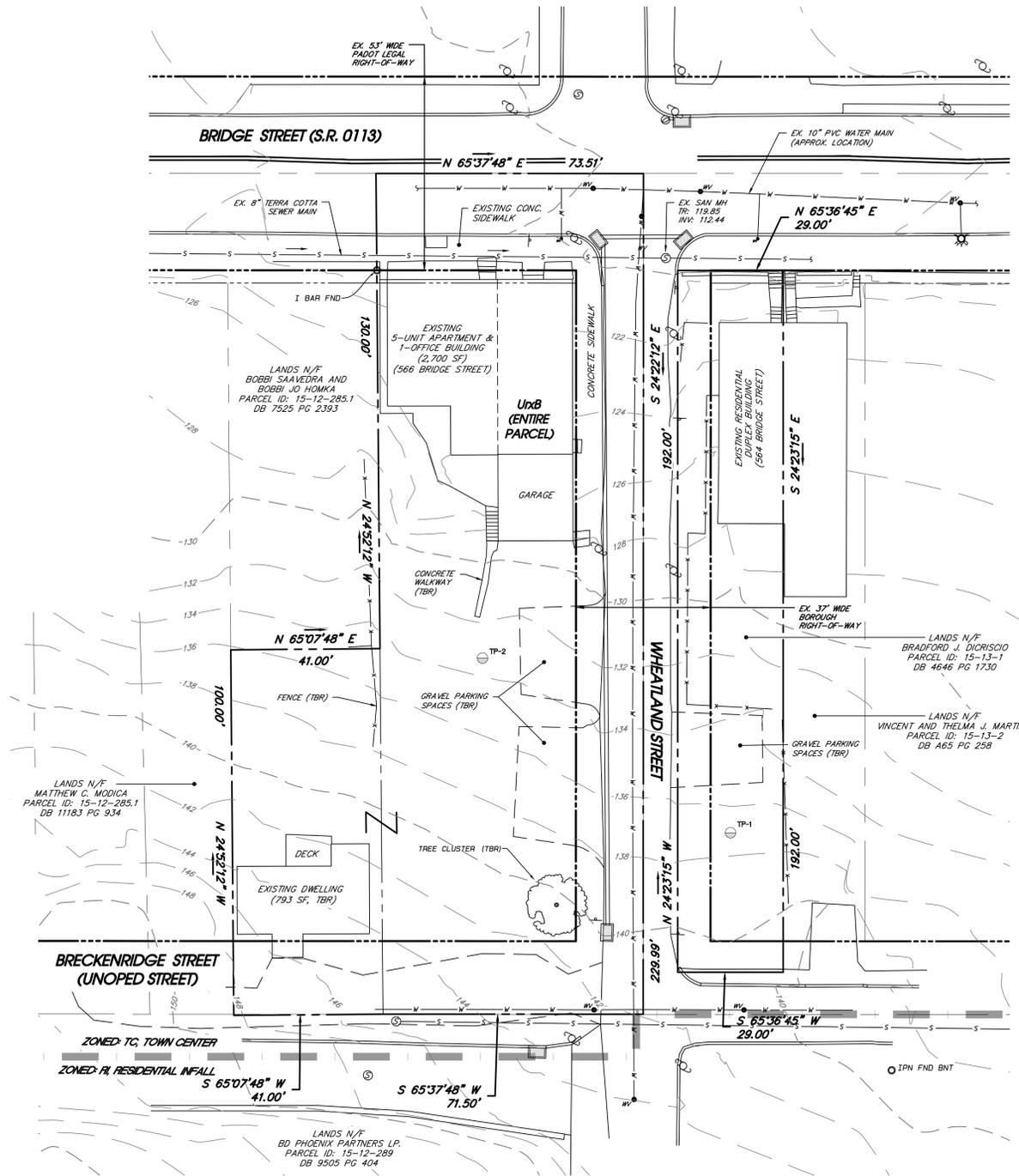
I, BRYNN SCHAFFER, ON THIS DATE, NOVEMBER 5, 20____, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2239, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE.

BRYNN SCHAFFER, P.E., P.L.S. _____ DATE _____
9533 OLD 22
BETHEL, PA 19507

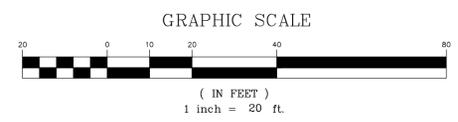


PRELIMINARY/FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR
BRECKENRIDGE TOWERS

	REVISIONS: NO. NOTES/REMARKS: DATE:	APPLICANT: COLLIE CONSTRUCTION 566 BRIDGE STREET PHOENIXVILLE, PA 19460
	CONSULTING * CIVIL ENGINEERING * SITE PLANNING LAND DEVELOPMENT * LAND SURVEYING 9533 OLD 22 ~ P. O. BOX 135 ~ BETHEL, PA 717.742.4245 ~ bas.cartat@outlook.com	SITE LOCATION: 564 & 566 BRIDGE STREET PHOENIXVILLE, PA 19460 PHOENIXVILLE BOROUGH CHESTER COUNTY, PENNSYLVANIA
PARCEL IDS: DRAWN/CHECKED: DLH/CPD/BAS DATE: 01/07/2025 SCALE: 1" = 20' PROJECT: 24_094 SHEET NO: 1 OF 10	SEAL	



EXISTING FEATURES		PROPOSED FEATURES	
SLANT LETTERING	EXISTING FEATURE	VERTICAL LETTERING	PROPOSED FEATURE
---	RIGHT-OF-WAY	---	PROPERTY LINE
---	PROPERTY LINE	---	PROPOSED CONTOUR
---	EXISTING TREELINE	---	PROPOSED TREELINE
---	EXISTING CONTOUR	---	PROPOSED DRAINAGE AREA TO BMP
---	EXISTING ELEVATION	---	STORM SEWER INLET
X	EXISTING FENCING	---	STORM SEWER PIPE
S	EXISTING ZONING BOUNDARY	---	RIPRAP APRON
---	EXISTING SANITARY SEWER LINE	---	CONCRETE MONUMENT
---	EXISTING WATER LINE	---	IRON PIN
---	BUILDING SETBACK LINE	---	FEATURE TO BE REMOVED
---	OVERHEAD UTILITY LINE	---	PROPOSED DRIVEWAY PAVEMENT
---	SOIL BOUNDARY LINE	---	PROPOSED PENNDOT PAVEMENT
▲	SOIL TEST PROBE	---	CHANNEL LINER
○	PERC TEST		
⊕	INFILTRATION TEST		
⊙	UTILITY POLE		
⊗	WELL		
⊛	LIGHT POLE		

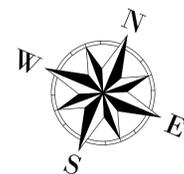
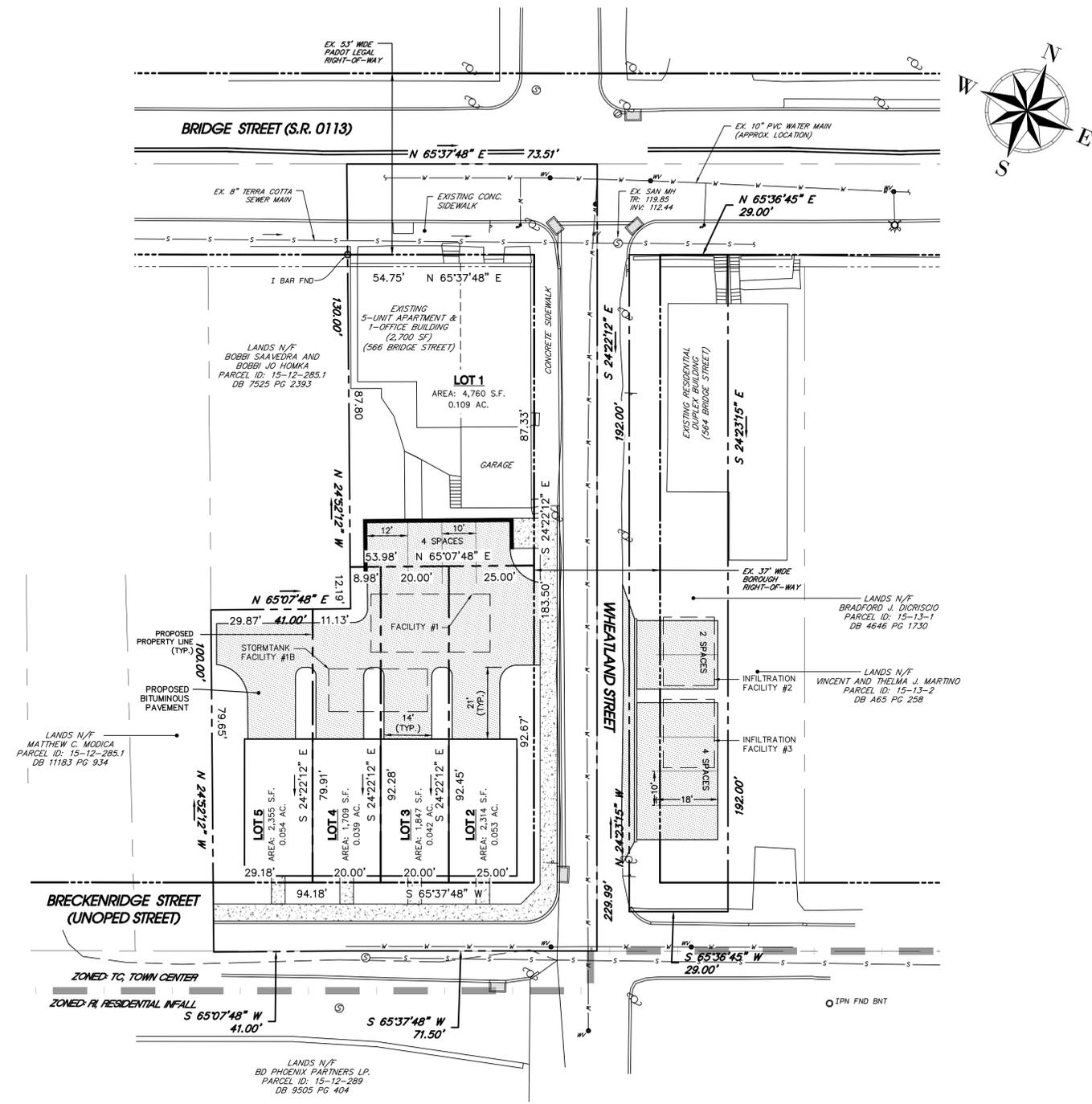


EXISTING FEATURES AND DEMOLITION PLAN FOR

BRECKENRIDGE TOWERS

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ZONING DATA

DISTRICT(S): "TC" TOWN CENTER DISTRICT WITH INFILL DEVELOPMENT STANDARDS
 USE: RESIDENTIAL TOWNHOUSES WITH PUBLIC SEWER AND WATER

REQUIREMENT	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5
MIN LOT AREA	*2,675 SF	4,760 SF	2,314 SF	1,847 SF	1,708 SF	2,355 SF
MIN LOT DEPTH	1/2 LOT DEPTH FROM STREET TO STREET					
MIN LOT WIDTH	20 FT	54.75 FT	25.00 FT	20.00 FT	20.00 FT	29.18 FT
MAX BUILDING HEIGHT	35 FT	35 FT OR LESS				
MAX LOT COVERAGE	100%	80.4% (3,826 SF)	78.9% (1,826 SF)	91.7% (1,693 SF)	84.0% (1,435 SF)	62.9% (1,482 SF)
PROPOSED USE		APARTMENTS	TOWNHOUSE	TOWNHOUSE	TOWNHOUSE	TOWNHOUSE
YARD DIMENSIONS						
BUILD-TO LINE	SAME STREET FRONTAGE OF THE BLOCK (1.87')					
SIDE YARD	5 FT MINIMUM					
REAR YARD	20 FT					

* THE MINIMUM LOT SIZE, OR AVERAGE LOT SIZE FOR MULTI-LOT PROJECTS, SHALL EQUAL THE MEDIAN AREA OF LOTS ON A BLOCK FACE OR THE SIZE OF EITHER OF THE TWO ADJACENT LOTS.

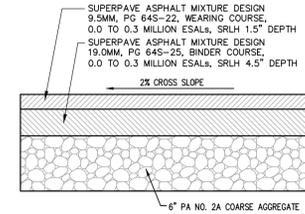


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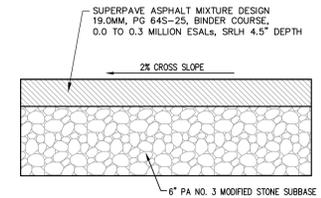
RECORD PLAN FOR

BRECKENRIDGE TOWERS

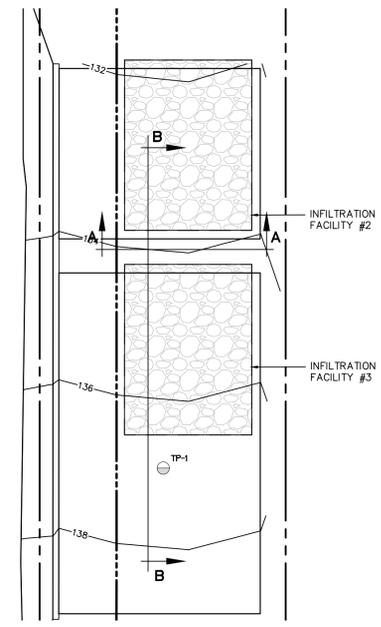
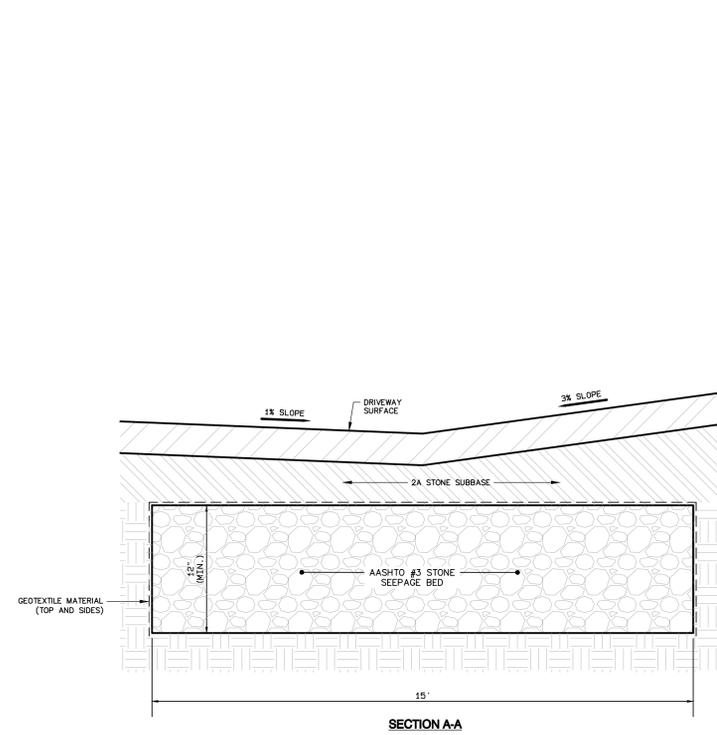
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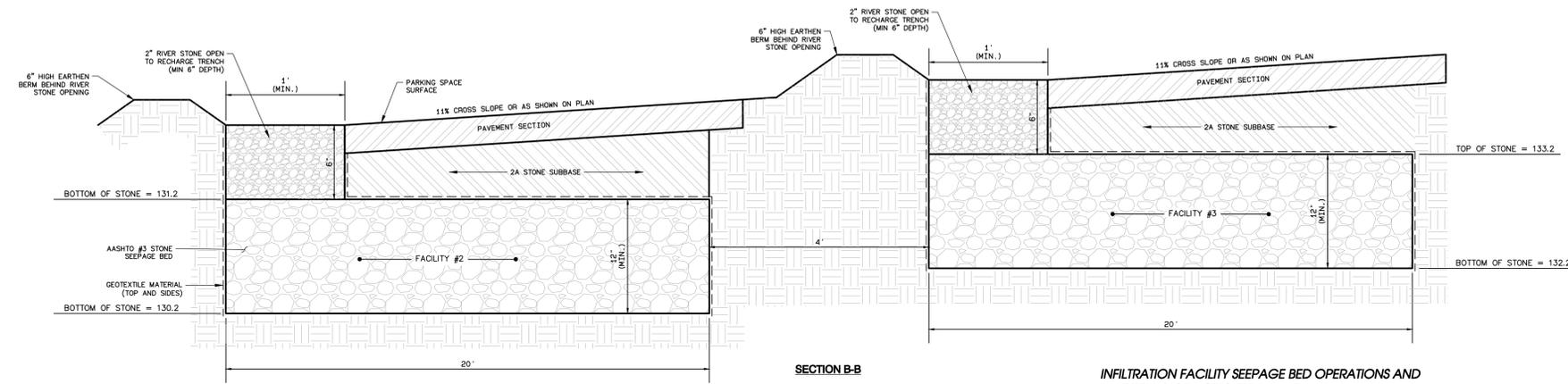
TYPICAL ROADWAY PAVING DETAIL SECTION DETAIL
NOT TO SCALE



TYPICAL DRIVEWAY/PARKING LOT PAVING SECTION DETAIL
NOT TO SCALE



INFILTRATION FACILITY #2 AND #3 ENLARGEMENT
SCALE: 1"=10'



- INFILTRATION FACILITY BED NOTES:**
1. EXCAVATION FOR THE INFILTRATION FACILITY #2 AND #3 SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE FACILITY.
 2. THE INFILTRATION FACILITY BOTTOMS SHALL BE SCARIFIED PRIOR TO PLACEMENT OF AGGREGATE. SHALL BE LEVEL AND SIZED AS NOTED.
 3. ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
 4. THE TOP AND SIDES OF THE INFILTRATION FACILITIES BED SECTIONS SHALL BE LINED WITH NON-WOVEN, CLASS 1 GEOTEXTILE ACCEPTABLE TO THE TOWNSHIP ENGINEER.
 5. THE RIVER STONE OPENING SHALL BE INSPECTED BY THE OWNER(S) ON A REGULAR BASIS AND SHALL BE KEPT FREE FROM DEBRIS TO PREVENT CLOGGING.
 6. THE INFILTRATION FACILITY BEDS SHALL BE INSTALLED WITH A LEVEL BOTTOM.

INFILTRATION FACILITY #2 AND #3 SEEPAGE BED DETAIL
NOT TO SCALE

INFILTRATION FACILITY SEEPAGE BED OPERATIONS AND MAINTENANCE NOTES

- ACTIVITIES TO BE DONE BI-ANNUALLY AND AFTER EACH STORM EXCEEDING 1-INCH IN RAINFALL DEPTH**
- THE OWNER(S) OF LOTS 2 THROUGH 5 SHALL BE RESPONSIBLE FOR STORMWATER BMP OPERATION MAINTENANCE.
 - INSPECT SEEPAGE BED EVERY 6 MONTHS AND AFTER ANY STORM EVENT EXCEEDING 1" OF RAINFALL.
 - INSPECT YARD DRAINS FOR SILTATION, DEBRIS, CLOGGING, OR ANY OTHER OBSTRUCTION.
 - INSPECT TEST WELL FOR DRAW DOWN. IF DRAW DOWN EXCEEDS 72 HOURS, CONTACT A QUALIFIED DESIGN PROFESSIONAL TO DETERMINE SOURCE OF FAILURE AND REMEDIAL ACTION.
 - OWNER SHALL DEVELOP A PLAN TO REMEDY ANY DEFICIENCIES FOUND WITHIN 2 WEEKS OF THIS DISCOVERY. PLAN SHALL PROVIDE A REASONABLE TIMEFRAME FOR REMEDY NOT TO EXCEED 30 DAYS, EXCEPT AS APPROVED BY THE TOWNSHIP.

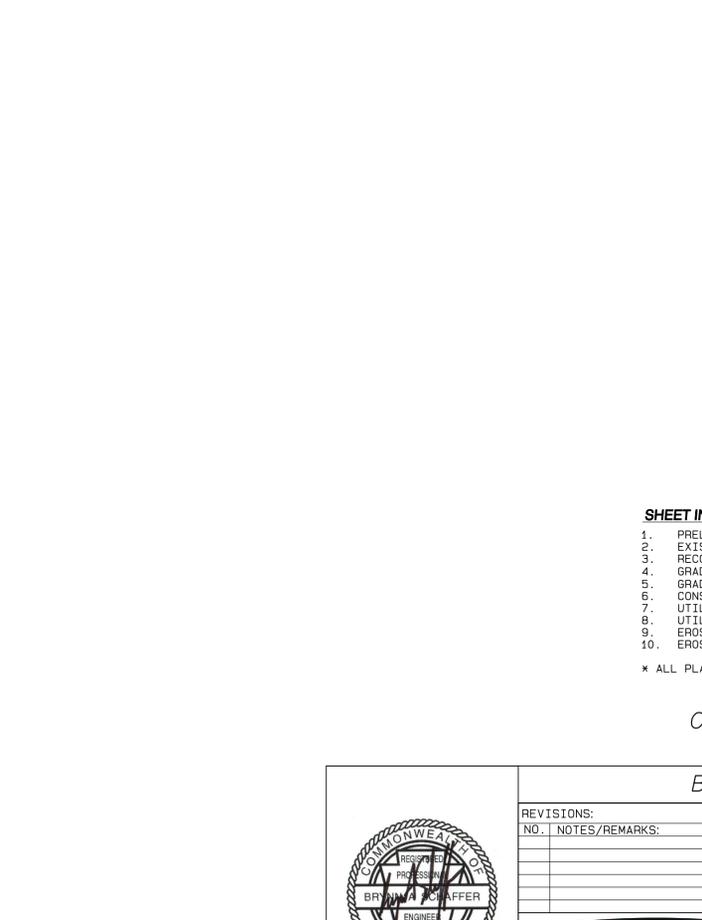
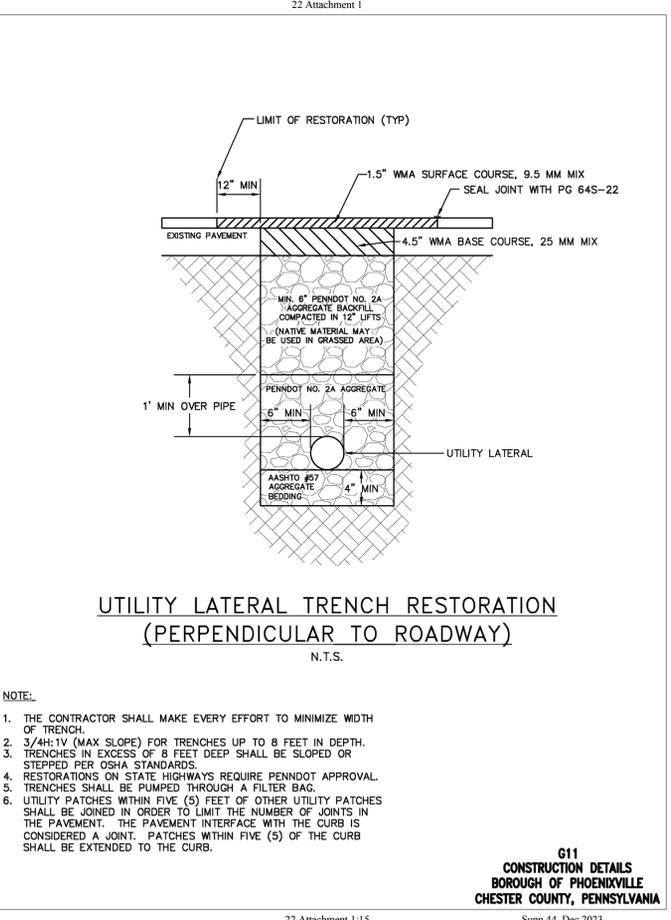
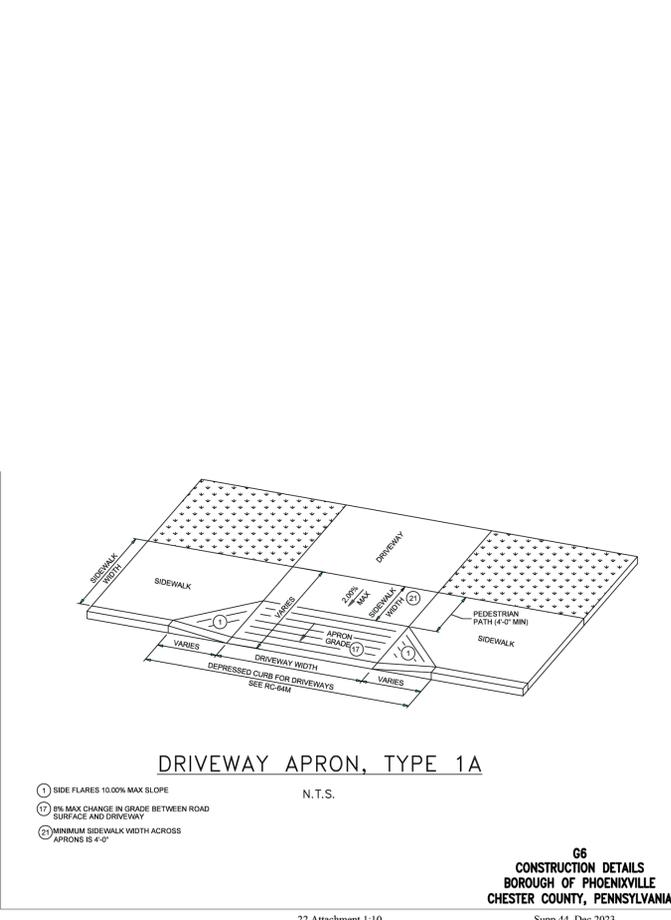
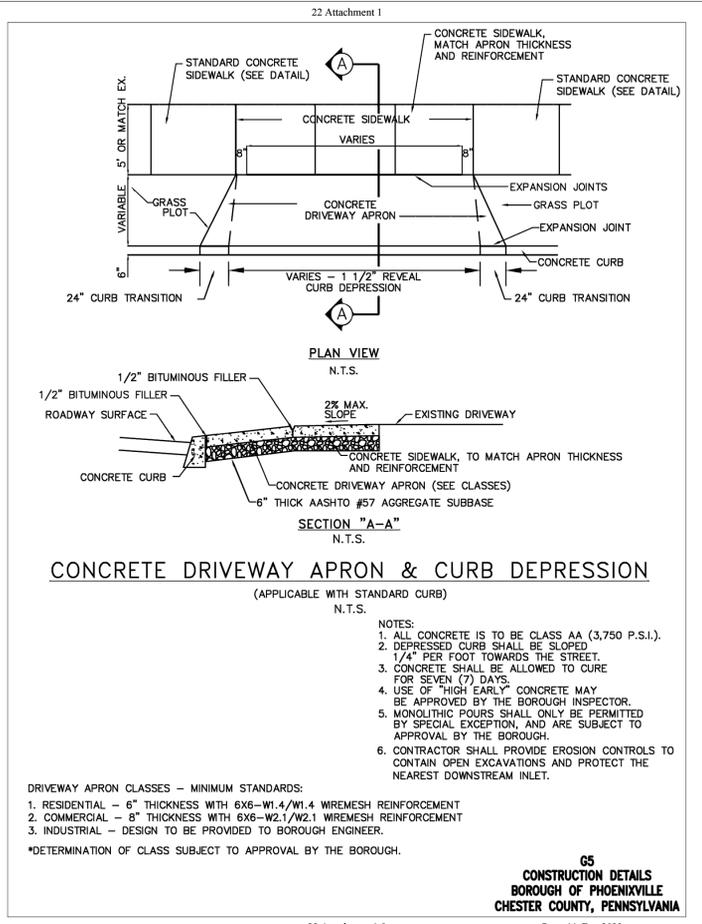
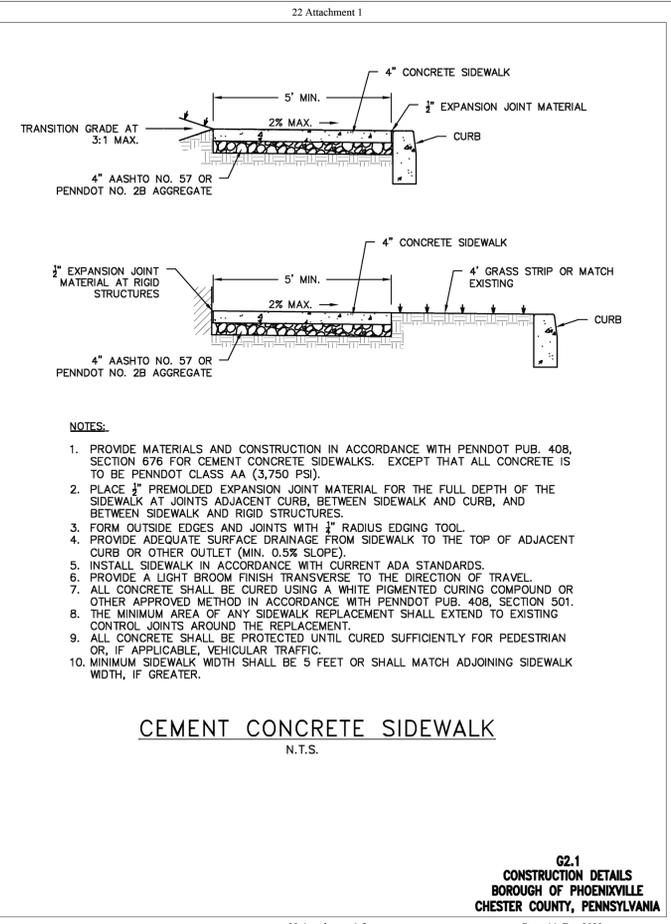
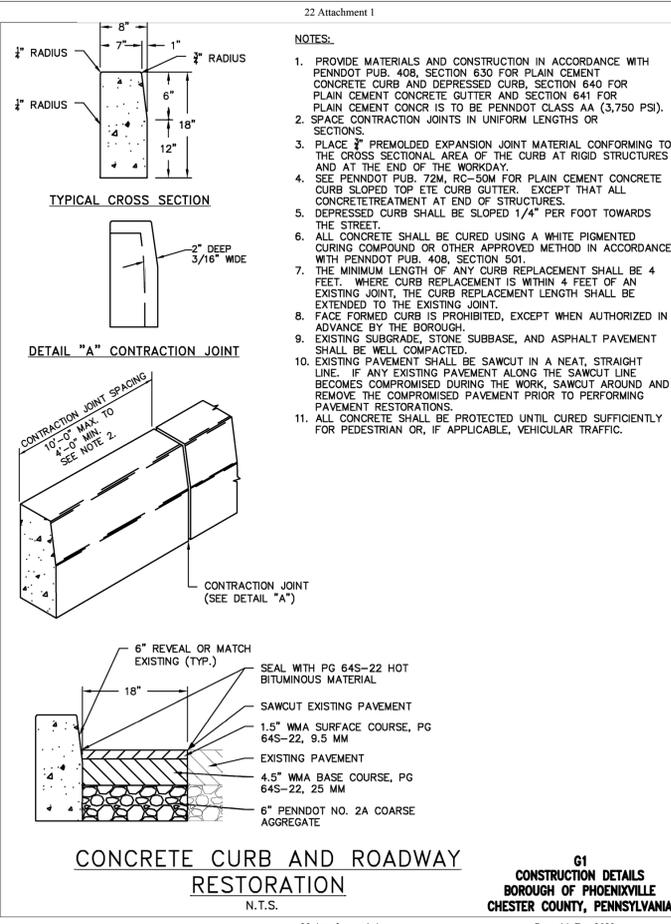
SHEET INDEX

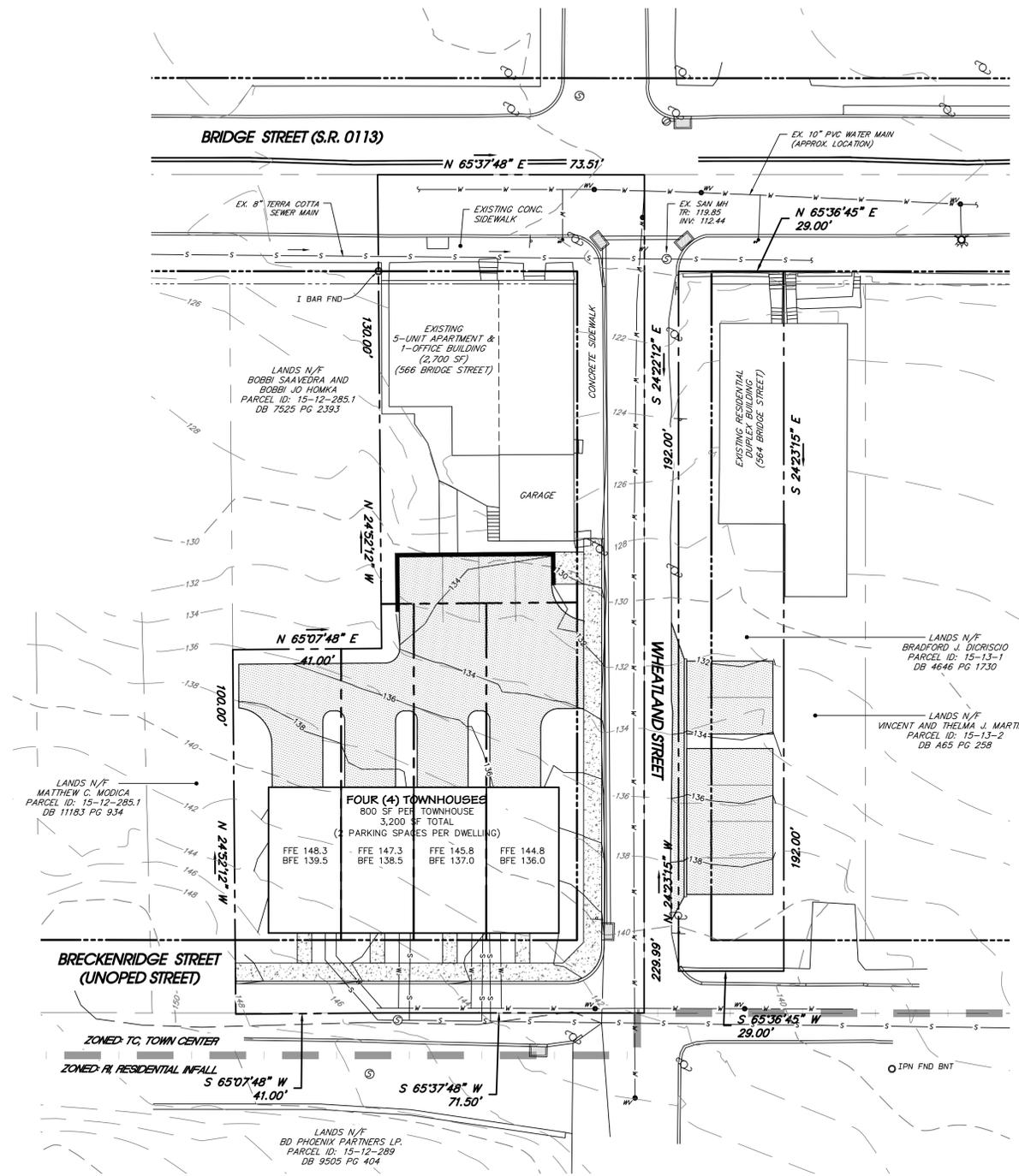
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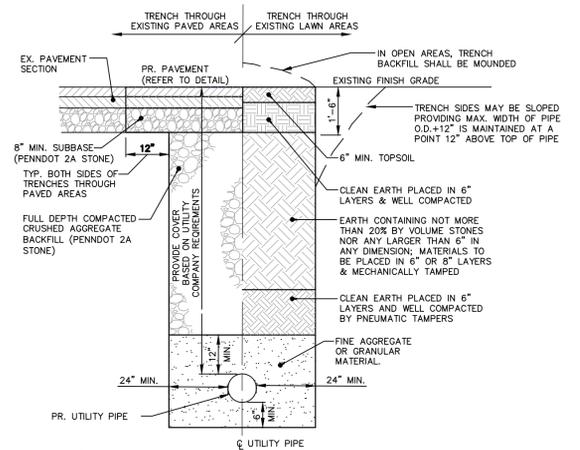
GRADING/DRAINAGE PLAN AND DETAILS FOR BRECKENRIDGE TOWERS

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		SITE LOCATION: 564 & 566 BRIDGE STREET PHOENIXVILLE, PA 19460 PHOENIXVILLE BOROUGH CHESTER COUNTY, PENNSYLVANIA
SEAL	PARCEL IDS: DRAWN/CHECKED: DLH/CPD/BAS DATE: 01/07/2025 SCALE: 1" = 20' PROJECT: 24_094 SHEET NO: 5 OF 10	



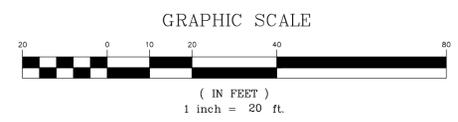


- SANITARY SEWER NOTES:**
- ALL SANITARY SEWER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE AUTHORITY SANITARY SEWER FACILITY RULES AND REGULATIONS, LATEST EDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF APPLICABLE AUTHORITY STANDARDS.
 - SEWER LATERAL CONNECTION FOR LOT 5 SHALL USE THE EXISTING DROP MANHOLE CONNECTION FOR THE EXISTING HOUSE (TO BE DEMOLISHED).



- NOTE:
1. PIPE INSTALLATION SHALL BE PER MUNICIPAL AND/OR UTILITY PROVIDER CONSTRUCTION & MATERIAL SPECIFICATIONS.

Typical Utility Trench Backfilling and Permanent Restoration Detail
NOT TO SCALE



ZONED: TC, TOWN CENTER
ZONED: R1, RESIDENTIAL INFALL

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- UTILITY CONSTRUCTION DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS

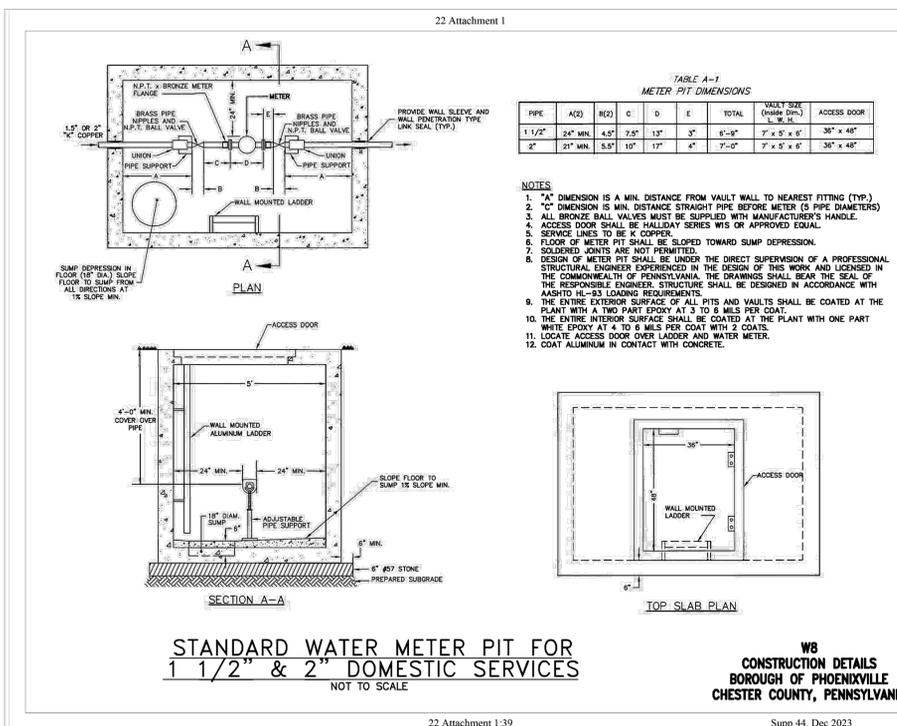
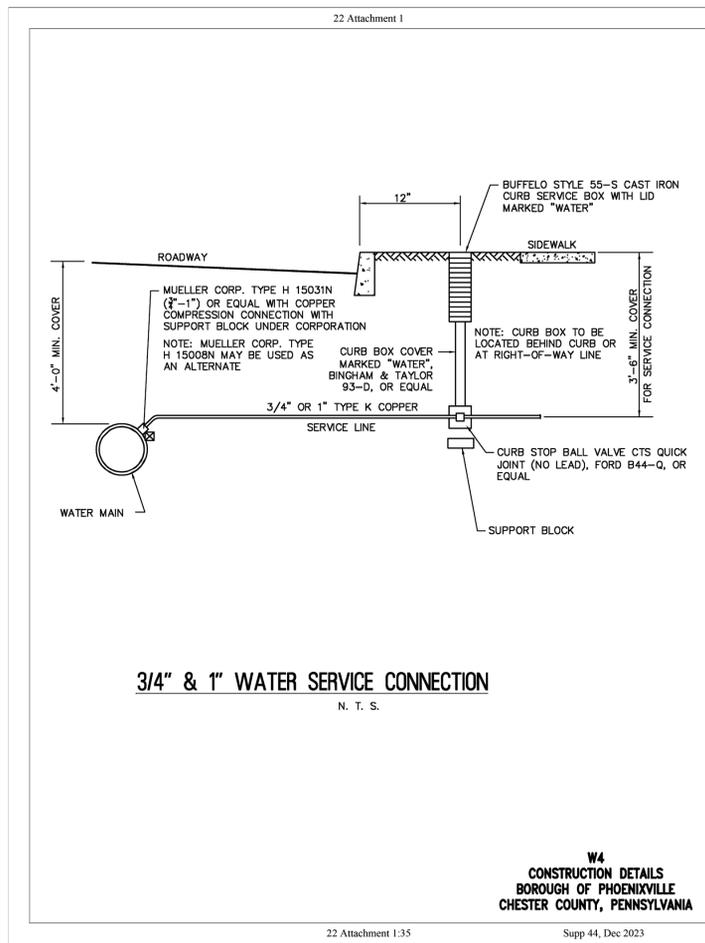
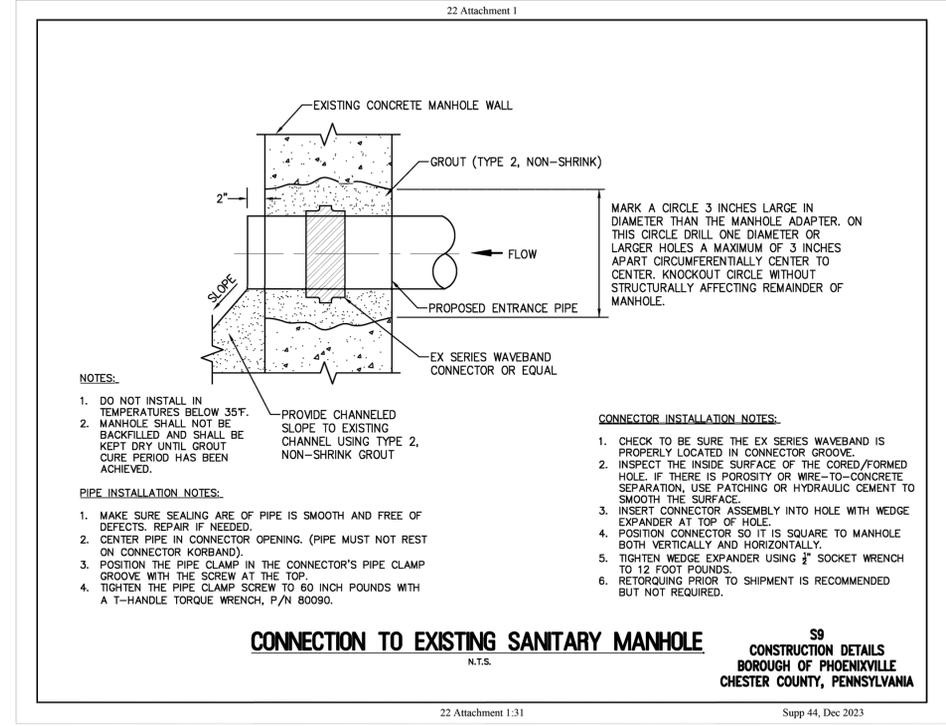
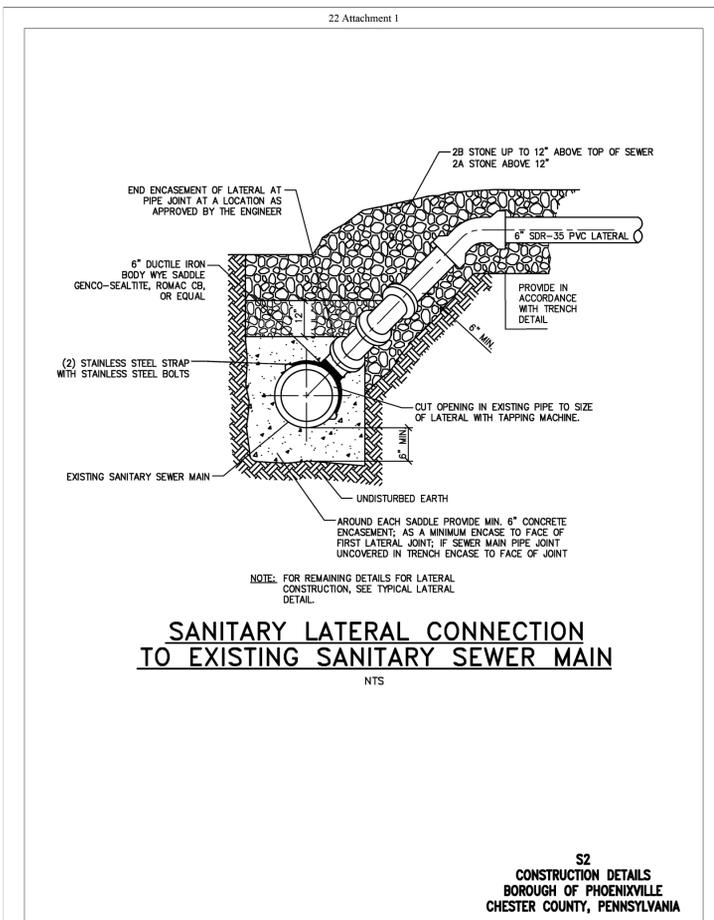
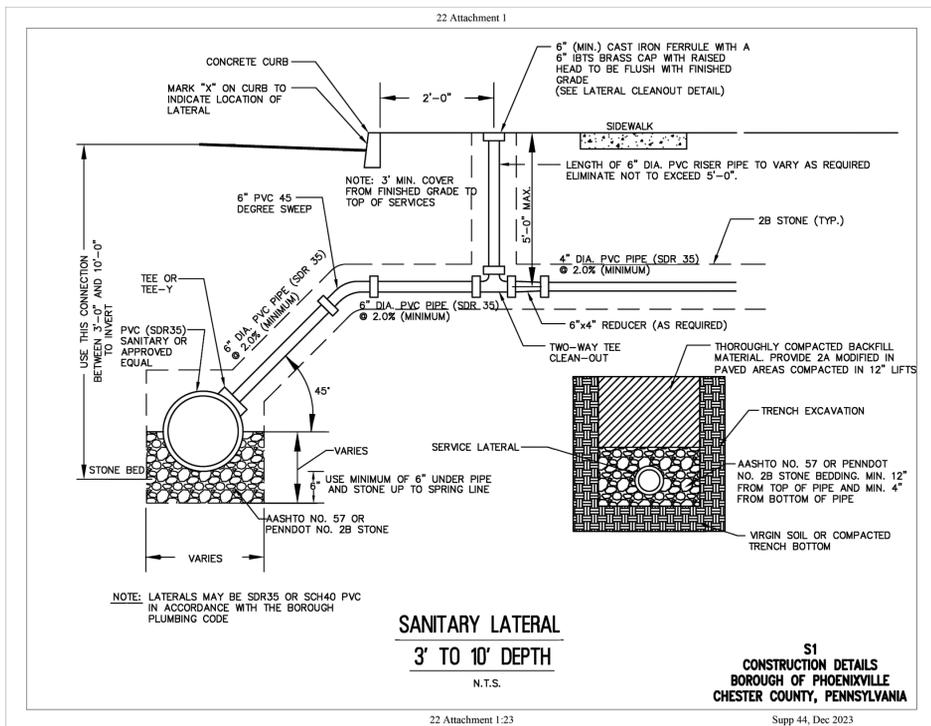
* ALL PLAN SHEETS SHALL BE RECORDED



UTILITIES PLAN AND DETAILS FOR
BRECKENRIDGE TOWERS

REVISIONS:	DATE:	APPLICANT:
NO. NOTES/REMARKS:		COLLIE CONSTRUCTION 566 BRIDGE STREET PHOENIXVILLE, PA 19460
		SITE LOCATION: 564 & 566 BRIDGE STREET PHOENIXVILLE, PA 19460 PHOENIXVILLE BOROUGH CHESTER COUNTY, PENNSYLVANIA
		PARCEL IDS:
		DRAWN/CHECKED: DLH/CPD/BAS
		DATE: 01/07/2025
		SCALE: 1" = 20'
		PROJECT: 24_094
		SHEET NO: 7 OF 10

CARTA ENGINEERING
CONSULTING * CIVIL ENGINEERING * SITE PLANNING
LAND DEVELOPMENT * LAND SURVEYING
9533 OLD 22 ~ P. O. BOX 135 ~ BETHEL, PA
717.742.4245 ~ bas.cartat@outlook.com

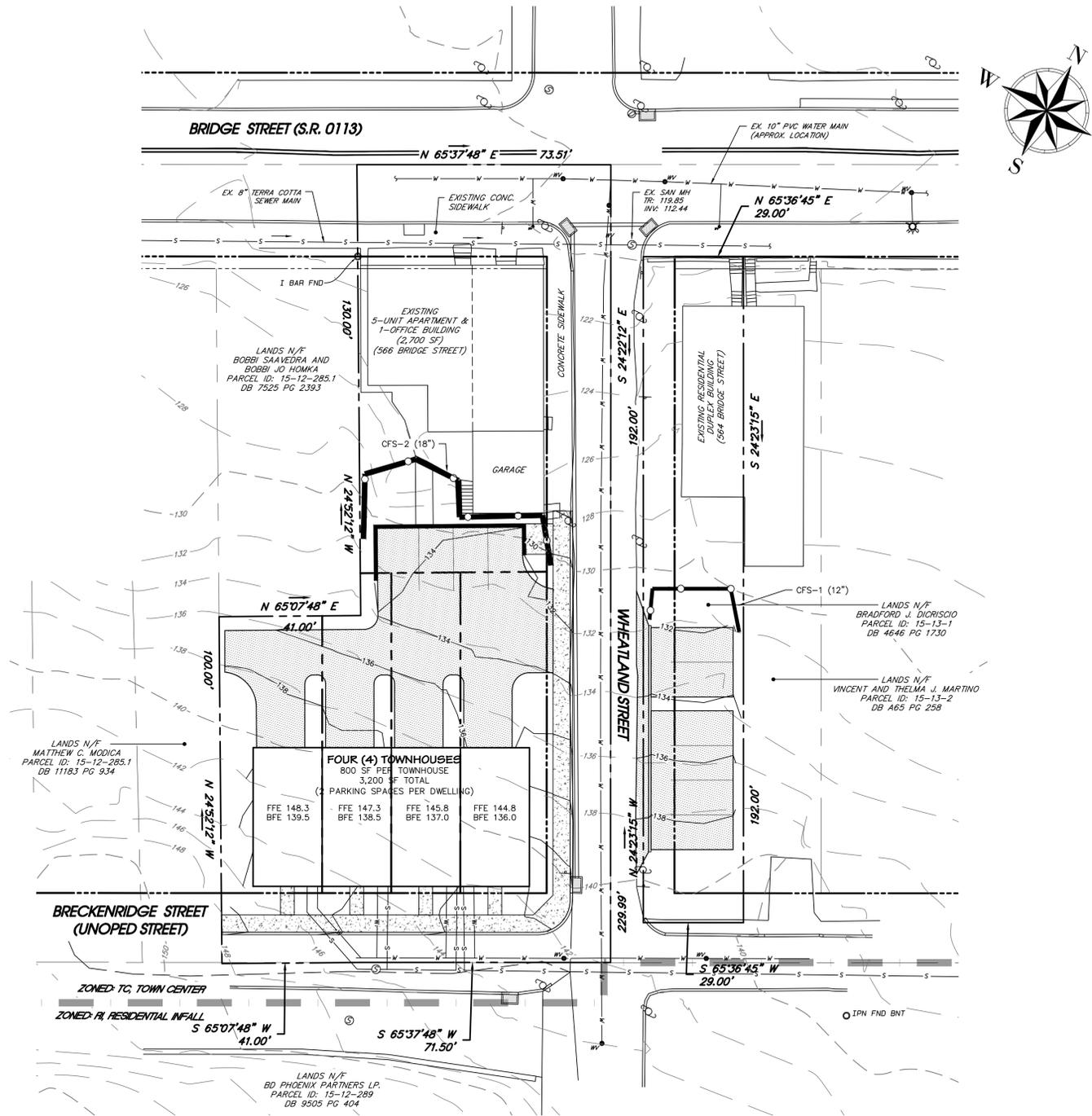


- SHEET INDEX**
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 - CONSTRUCTION DETAILS
 - UTILITIES PLAN AND DETAILS
 - UTILITY CONSTRUCTION DETAILS
 - EROSION AND SEDIMENT CONTROL PLAN
 - EROSION AND SEDIMENT CONTROL DETAILS
- * ALL PLAN SHEETS SHALL BE RECORDED

UTILITY CONSTRUCTION DETAILS FOR

BRECKENRIDGE TOWERS

	REVISIONS: NO. NOTES/REMARKS: DATE:	APPLICANT: COLLIE CONSTRUCTION 566 BRIDGE STREET PHOENIXVILLE, PA 19460
		SITE LOCATION: 564 & 566 BRIDGE STREET PHOENIXVILLE, PA 19460 PHOENIXVILLE BOROUGH CHESTER COUNTY, PENNSYLVANIA
CONSULTING * CIVIL ENGINEERING * SITE PLANNING LAND DEVELOPMENT * LAND SURVEYING 9533 OLD 22 ~ P. O. BOX 135 ~ BETHEL, PA 717.742.4245 ~ bas.cartat@outlook.com	PARCEL IDS: DRAWN/CHECKED: DLH/CPD/BAS DATE: 01/07/2025 SCALE: 1" = 20' PROJECT: 24_094 SHEET NO: 8 OF 10	



GRAPHIC SCALE

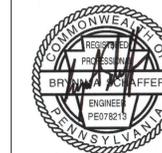


(IN FEET)
1 inch = 20 ft.

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8. UTILITY CONSTRUCTION DETAILS
9. EROSION AND SEDIMENT CONTROL PLAN
10. EROSION AND SEDIMENT CONTROL DETAILS

* ALL PLAN SHEETS SHALL BE RECORDED



SEAL

EROSION AND SEDIMENT CONTROL PLAN
FOR

BRECKENRIDGE TOWERS

REVISIONS:	DATE:	APPLICANT:
NO. NOTES/REMARKS:		COLLIE CONSTRUCTION 566 BRIDGE STREET PHOENIXVILLE, PA 19460
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CONSULTING * CIVIL ENGINEERING * SITE PLANNING LAND DEVELOPMENT * LAND SURVEYING	SCALE:	1" = 20'
9533 OLD 22 ~ P. O. BOX 135 ~ BETHEL, PA 717.742.4245 ~ bas.cartat@outlook.com	PROJECT:	24_094
	SHEET NO.:	9 OF 10



PERMANENT SEEDING

- PERMANENT SEEDING SHALL OCCUR IMMEDIATELY AFTER THE FINE GRADING IS COMPLETED AND BETWEEN THE PERIODS: MARCH 1 TO JUNE 1 OR AUGUST 1 TO OCTOBER 1, WITH THE PERMANENT SEEDING MIXTURE LISTED. (SEE CHART)
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS INCLUDING LARGE STONES, OVER 6" IN ANY DIMENSION.
- APPLY LIMESTONE AND PERMANENT SEED AT THE RATES LISTED. (SEE CHART)
- MULCH WITH HAY, STRAW OR WOOD-CELLULOSE FIBER WITHIN 48 HOURS AFTER SEEDING AND AT THE RATES LISTED. (SEE CHART)
- PERMANENT STABILIZATION: MINIMUM 70 PERCENT UNIFORM VEGETATIVE COVER.

TEMPORARY SEEDING

- THE FOLLOWING SURFACES OF THE SITE SHALL BE TEMPORARILY SEEDED AND MULCHED:
 - THE SURFACE OF ALL STOCKPILES
 - THE SURFACE OF EXPOSED ROUGH GRADED EARTH AREAS THAT WILL BE EXPOSED WITHOUT CONSTRUCTION ACTIVITY THEREON FOR A PERIOD IN EXCESS OF 20 DAYS
 - FINE GRADED AREAS WHICH WILL NOT RECEIVE PERMANENT SEEDING WITHIN 20 DAYS.
 - THE SURFACE OF ALL TEMPORARY SWALES AND EARTH BERMS REQUIRED FOR STORMWATER SILTATION CONTROL.
- SEEDING SHALL OCCUR IMMEDIATELY AFTER ESTABLISHMENT OF THE AREAS TO BE SEEDED. SEEDING SHALL BE WITH THE TEMPORARY SEED MIXTURE INDICATED. (SEE CHART)
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, INCLUDING LARGE STONES OVER 6 INCHES IN ANY DIMENSION.
- APPLY LIMESTONE AND TEMPORARY SEED AT THE RATES LISTED. (SEE CHART)
- MULCH WITH HAY, STRAW OR WOOD-CELLULOSE FIBER WITHIN 48 HOURS AFTER SEEDING AND AT THE RATES LISTED. (SEE CHART)
- SHOULD SEEDING OCCUR BETWEEN OCTOBER 1 AND MARCH 1, USE AN ACCEPTABLE MATTING (SUCH AS JUTE MATTING) IN ADDITION TO MULCH TO PROTECT AGAINST EROSION AND SEDIMENTATION RUNOFF
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.

STABILIZATION

- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES OF 3:1 OR STEEPER.
 - STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
 - NOTE: THE FOLLOWING SEEDING SPECIFICATIONS ARE GENERAL GUIDELINES ONLY AND ARE INTENDED FOR THE STABILIZATION OF DISTURBED AREAS. ALL CONTRACTORS, LOT OWNERS SHOULD CONDUCT A SOIL TEST PRIOR TO STABILIZATION TO DETERMINE THE EXACT NUTRIENT REQUIREMENTS OF THE SOIL PRIOR TO STABILIZATION EFFORTS. TEMPORARY SEEDING AND MULCHING ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS CEASED TEMPORARILY SHALL BE STABILIZED AS FOLLOWS:

DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE OR WHICH WILL BE REDISTURBED WITHIN 1 YEAR SHALL BE SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 64 LBS. PER ACRE AFTER WORKING LIME AND FERTILIZER INTO THE SOIL (DOES NOT APPLY TO NON-GERMINATING SEASONS). DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN ONE YEAR SHALL BE PERMANENTLY SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. ALL SEED SHALL BE LABELED, DATED AND OF QUALITY CONSISTENT WITH ITEM 6 OF THE PERMANENT SEEDING SPECIFICATIONS.

APPLY HAY OR STRAW MULCH IN ACCORDANCE WITH MULCHING SPECIFICATIONS. DURING NON GERMINATING PERIODS, APPLY MULCH ONLY. OCTOBER 15TH TILL APRIL 15TH.

WHEN THE FINISHED GRADE SURFACE IS TO BE STABILIZED BY SEEDING, THE FOLLOWING PROCEDURE SHALL BE USED:

- A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE SPREAD OVER AREAS TO BE SEEDED. TOPSOIL SHALL BE FREE OF STONES, STICKS, WASTE MATERIAL AND SIMILAR DEBRIS. FROZEN GROUND SHALL NOT BE SPREAD AS TOPSOIL AND TOPSOIL SHALL NOT BE SPREAD OVER FROZEN GROUND. TOPSOIL SHALL BE SPREAD ONLY WHEN PREPARED TO FOLLOW UP WITH FERTILIZATION AND SEEDING.
- AFTER SPREADING AND RAKING THE TOPSOIL, THE FOLLOWING SHALL BE SPREAD AND WORKED INTO THE SOIL TO AGRICULTURAL GRADE LIMESTONE AT A RATE OF 6 TONS PER ACRE OR RATE DETERMINED FROM SOIL TESTING FERTILIZER, 10-10-20 AT A RATE OF 1,000 LBS. PER ACRE.
- SEEDING SHALL BE DONE DURING THE PERIODS OF APRIL 15TH TO OCTOBER 15TH UNLESS OTHERWISE DIRECTED.
- GRASS SEED SHALL NOT BE PLANTED AFTER A HEAVY RAIN OR WATERING.
- ALL SEED SHALL BE LABELED IN ACCORDANCE WITH THE US DEPT. OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT AT TIME OF PURCHASE. INERT MATTER SHALL NOT EXCEED 15% AND BLUE TAG CERTIFIED SEED SHALL BE PROVIDED WHEREVER POSSIBLE.
- SMOOTH AND FIRM SEED BED WITH A CULTIPACKER OR SIMILAR EQUIPMENT PRIOR TO SEEDING.
- APPLY SEED UNIFORMLY BY BROADCASTING, DRILLING OR HYDROSEEDING. COVER SEEDS WITH 1/4" OF SOIL WITH SUITABLE.
- APPLY MULCH PER SPECIFICATIONS.

DURING NON-GERMINATING PERIODS (OCTOBER 15TH THRU APRIL 15TH) APPLY HAY OR STRAW MULCH IN ACCORDANCE WITH MULCHING SPECIFICATIONS.

REVEGETATED AREAS SHALL BE INSPECTED ON A WEEKLY BASIS FOR THE FIRST FEW MONTHS TO ENSURE ESTABLISHMENT OF VEGETATION. THEREAFTER, REVEGETATED AREAS SHOULD BE INSPECTED BIANNUALLY FOR EROSION OR NEED FOR REPLACEMENT.

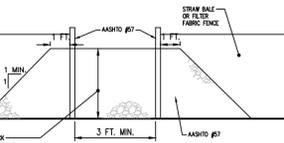
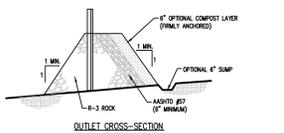
UPON DISCOVERY OF BARE OR ERODED AREAS, PERMANENT SEEDING SPECIFICATIONS SHALL BE RE-APPLIED TO RE-ESTABLISH STABILIZED VEGETATION.

SEEDING TABLE

TEMPORARY SEED (* SEE NOTES)		
ANNUAL RYEGRASS	64 lbs PER ACRE	1.5 lbs PER 1000 S.F.
PERMANENT SEED (TYPE A) (* SEE NOTES)		
KENTUCKY BLUEGRASS	25-50 lbs PER ACRE	9-18 oz. PER 1000 S.F.
PENNLAWN RED FESCUE	30 lbs PER ACRE	20 oz PER 1000 S.F.
PERENNIAL RYEGRASS	20 lbs PER ACRE	8 oz. PER 1000 S.F.
TOTAL	100 lbs PER ACRE	37 oz. PER 1000 S.F.
SPECIAL AREAS (I.E. SWALES, POND EMBANKMENTS) (* SEE NOTES)		
RED TOP	88 lbs PER ACRE	32 oz. PER 1000 S.F.
ORCHARD GRASS	22 lbs PER ACRE	8 oz. PER 1000 S.F.
TOTAL	110 lbs PER ACRE	40 oz. PER 1000 S.F.

FERTILIZER AND MULCH TABLE

LIME (** SEE NOTES)		
TEMPORARY	1 TON PER ACRE	50 lbs PER 1000 S.F.
PERMANENT	6 TONS PER ACRE	280 lbs PER 1000 S.F.
FERTILIZER (** SEE NOTES)		
TEMPORARY: 10-10-10	500 lbs PER ACRE	12 lbs PER 1000 S.F.
PERMANENT: 10-20-20	1000 lbs PER ACRE	25 lbs PER 1000 S.F.
MULCH		
HAY OR STRAW (1" DEEP)	3 TONS PER ACRE	140 lbs PER 1000 S.F.

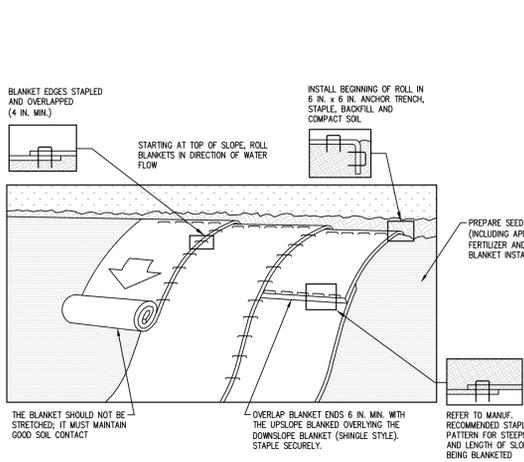


NOTES:

- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAIN BALE BARRELS HAS OCCURRED DUE TO CONCENTRATED FLOW. A COMPOSITE LAYER SHALL BE USED ON UPSLOPE FACE IN HO AND IV WATERWAYS.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE OUTLET.

PADEP STANDARD CONSTRUCTION DETAIL #4-1
Rock Filter Outlet Detail

NOT TO SCALE

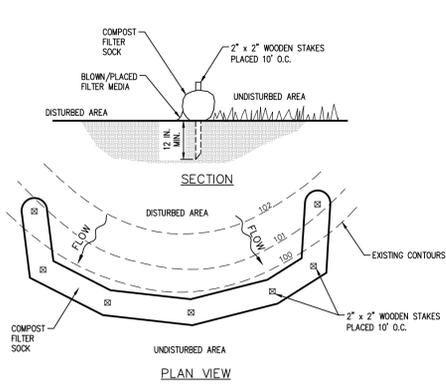


NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

PADEP STANDARD CONSTRUCTION DETAIL #4-1
Erosion Control Blanket Installation

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE, THE MESH SHALL BE LEFT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

PADEP STANDARD CONSTRUCTION DETAIL #4-1
Compost Filter Sock

NOT TO SCALE

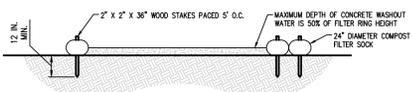
TABLE 4.2 Compost Standards

Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30% - 60% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

TABLE 4.3 Fabric Properties for Silt Fence

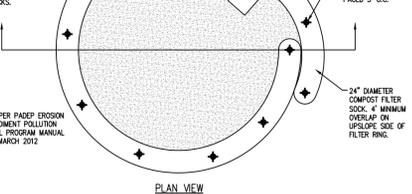
Fabric Property	Minimum Acceptable Value	Test Method
Grab Tensile Strength (lb)	120	ASTM D11652
Elongation at Failure (%)	20% Max.	ASTM D11652
Mullen Burst Strength (psi)	200	ASTM D 3786
Trapezoidal Tear Strength (lb)	50	
Puncture Strength (lb)	40	ASTM D 751 (modified)
Slurry Flow Rate (gal/min/ft)	0.3	ASTM E5141
Equivalent Opening Size	30	US Std. Sieve CW-02215
Ultraviolet Radiation Stability (%)	80	ASTM G-26

Adapted from New York DEC and PennDOT Pub 408



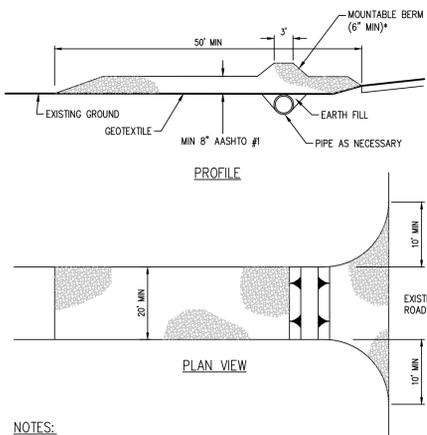
NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STAPLED INTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADD HEIGHT.
- A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING SOCKS.



Typical Compost Sock Washout Installation

NOT TO SCALE



NOTES:

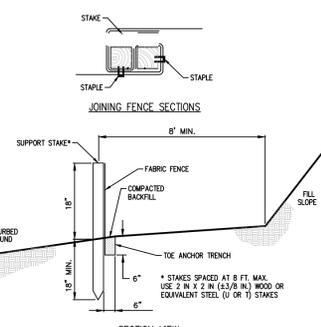
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTAIN BERM SHALL BE INSTALLED WHEREVER OPTIONAL CURBPIPE PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

PADEP STANDARD CONSTRUCTION DETAIL #4-3
Rock Construction Entrance

NOT TO SCALE

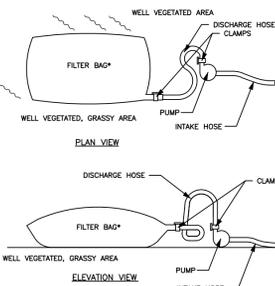


NOTES:

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL. FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES. SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE. ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-1). FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

PADEP STANDARD CONSTRUCTION DETAIL #4-7
Standard Silt Fence (18\"/>

NOT TO SCALE



Filter bags shall be made from non-woven geotextile material sewn with high strength, double stitched "J" type seams. They shall be capable of trapping particles larger than 150 microns. A suitable means of accessing the bag with machinery required for disposal purposes must be provided. Filter bags shall be replaced when they become 1/2 full. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be located in well-vegetated (grassy) areas, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile flow path shall be provided. Bags shall not be placed on slopes greater than 5%. The pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clamped. The pumping rate shall be no greater than 750 gpm or 1/2 the maximum specified by the manufacturer, whichever is less. Pump intakes should be floating and screened. Filter bags shall be inspected daily. If any problem is detected, pumping shall cease immediately and not resume until the problem is corrected.

PUMPED WATER FILTER BAG

NOT TO SCALE

SOIL LIMITATIONS AND RESOLUTIONS:

CUTBANKS CAVE	LAYBACK SLOPES
CORROSIIVE TO STEEL/CONCRETE	CORROSION RESISTANT CONCRETE
DROUGHTY	N/A
EASILY ERODIBLE	MAINTAIN EROSION CONTROL BMP'S
FLOODING	AVOID WORK IN FLOOD AREAS
DEPTH TO WATER TABLE/SATURATED ZONE	PUMPED WATER FILTER, FOOTER DRAINS
HYDRIC/HYDRIC INCLUSIONS	AVOIDANCE
LOW STRENGTH/LANDSLIDE PRONE	LAYBACK SLOPES/ DESIGN FOR CONDITIONS
PITTING	DRAINAGE DITCH, PUMPED WATER FILTER BAG
POOR SOURCE OF TOPSOIL	TRENCH PLUGS
FROST ACTION	AVOID REUSE AS TOPSOIL OR AMEND AS NECESSARY
SPRINK/SWELL	CONSTRUCT BELOW FROST DEPTHS/ POSITIVE SUBGRADE
POTENTIAL SINKHOLE	AVOID USE OF CLAY SOILS IN BUILDING AREAS
SHRINKING	POTENTIAL MITIGATION TECHNIQUES
WETNESS	PROVIDE POSITIVE DRAINAGE
	UTILIZE GOOD WEATHER/ TEMPORARY DRAIN TILE

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* ALL PLAN SHEETS SHALL BE RECORDED

STANDARD EROSION & SEDIMENT CONTROL PLAN NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY DEP PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EROSION AND SEDIMENT POLLUTION CONTROL BMP'S SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EROSION AND SEDIMENT CONTROL PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE SITE ONTO THE ROAD.
- A LOG SHOWING DATES THAT EROSION CONTROL BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH PHASE OF CONSTRUCTION. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DESIGNLY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- EROSION AND SEDIMENT POLLUTION CONTROL BMP'S MUST REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EROSION AND SEDIMENT POLLUTION CONTROL BMP'S.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMP'S MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS SHOULD BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- CONCRETE WASHWATER SHALL BE HANDLED IN A MANNER DESCRIBED ON PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL EXCAVATION FOR UTILITY LINE INSTALLATION SHALL BE LIMITED TO THE AMOUNT THAT CAN BE EXCAVATED. INSTALLED, BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED ON THE UPSLOPE SIDE OF THE TRENCH.
- SEDIMENT REMOVED FROM EROSION CONTROL BMP'S SHALL BE SPREAD OUT ON-SITE AND STABILIZED OR DEPOSITED IN THE STOCKPILE AREA.

MULCH

- GENERAL: All areas which are seeded with the temporary or permanent seeding or hydroseeding will receive mulch. Grass hay and cereal straw are preferred mulches. On steep slopes, hay rather than straw mulch is recommended but typical hay mulch may introduce undesirable weeds; therefore, for steep slopes use clean mulch if weeds might be a problem.
- WINTER MULCH: If the fall or winter seeding time periods were missed and disturbance occurs apply mulch and the anchoring system as stated below until the spring seeding mixture can be applied.
- MULCH APPLICATION: Apply mulch to produce a loose layer of 0.75 to 1.0 inch deep, generally a minimum of three (3) tons of mulch per acre. As a guideline, a thickness of five (5) to six (6) overlapping straw or hay stems is acceptable for mulching. Straw or hay should not be chopped or finely broken during application.

STABILIZATION NOTES:

Upon completion of an earth disturbance activity or any stage or phase of an activity, the operator shall immediately stabilize the disturbed areas to protect from accelerated erosion. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which are either at finished grade or will not be redisturbed within 1 year must be stabilized in accordance with permanent seeding specifications.

Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.

Until the site has achieved final stabilization the owner and/or contractor shall properly implement, operate and maintain all the best management practices. Maintenance shall include inspections of all erosion and sedimentation control after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseedling, rearming, and renetting, must be performed immediately.

An area shall be considered to have achieved final stabilization when it has a minimum of 70% uniform perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.

Mulch with mulch control netting or erosion control blankets must be installed on all slopes greater than 3:1.

GRADING PERMIT AND EROSION CONTROL PLAN FOR

BRECKENRIDGE TOWERS

	REVISIONS:	DATE:	APPLICANT:
	NO. / NOTES/REMARKS:		COLLIE CONSTRUCTION 566 BRIDGE STREET PHOENIXVILLE, PA 19460
			SITE LOCATION: 564 & 566 BRIDGE STREET PHOENIXVILLE, PA 19460 BOROUGH OF CHESTER COUNTY, PENNSYLVANIA
			PARCEL IDS: DRAWN/CHECKED: DLH/CPD/BAS DATE: 01/07/2025 SCALE: 1" = 20' PROJECT: 24_094 SHEET NO: 10 OF 10

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