

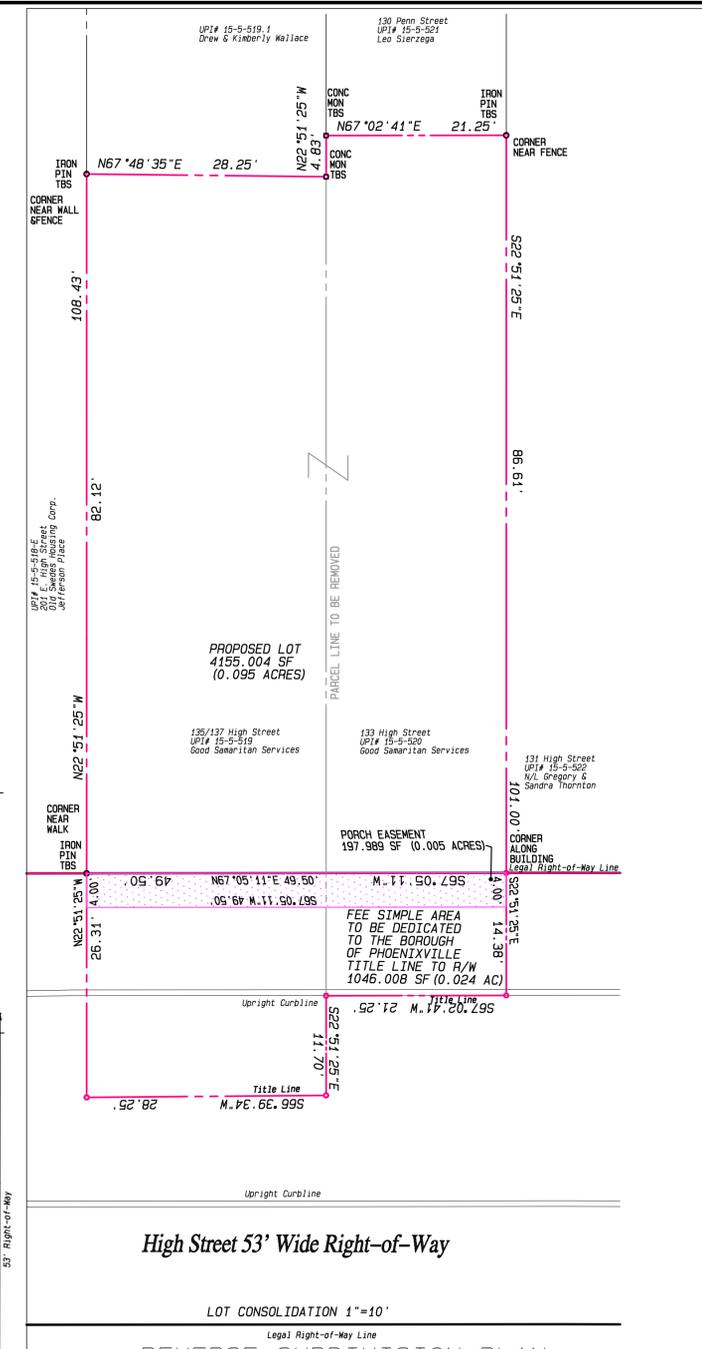
LIST OF UTILITIES
 Borough of Phoenixville
 Water Street
 Phoenixville, Pa. 19460
 610-353-8801
 Contact: Brian Watson
 Gas & Electric: PECO Energy
 (GAS WILL NOT BE USED AT THIS TIME)
 450 Henderson Road
 King of Prussia, Pa. 19406
 Contact: Mikisha Simpkins
 Email: mikishasimpkins@peco.com
 Cable T.V.:
 190 Shoemaker Road
 Pottsville, Pa. 19464
 Dave Fielder
 215-263-8883
 Verizon Pennsylvania LLC
 1050 Virginia Drive
 P.O. Box 10000, Pa. 19034
 Contact: Darlene Leppard Johnson
 215-591-6253

PARKING NOTES:
 1. EXISTING PARKING 133, 135, 137 HIGH STREET IS ZERO OFF STREET PARKING SPACES.
 2. THE MULTI-FAMILY HOUSING TYPE 201 W/10 RISES CONTAINING THREE TO TEN FLOORS THE AVERAGE PEAK DEMAND IS 1.23 SPACES PER DWELLING UNIT. IN THIS CASE 1 UNITS X 1.23 = 1.23 (2) TWO SPACES REQUIRED.
 3. THE TRIP GENERATOR 5.49 TRIPS PER UNIT X 1 UNITS = 5.49 PROPOSED TRIPS TOTAL PER DAY. MAXIMUM 300 TRIPS AS PER TRAFFIC IMPACT STUDY 22-600.
 4. EXISTING BOROUGH PARKING LOT OPPOSITE PROJECT EQUALS 8 PARKING SPACES.
 5. SEE EXISTING PARKING DATA FROM GOOD SAMARITAN SERVICES 1-10-25. MAXIMUM (1) RESIDENTS HAVE CARS. ADDITIONAL PARKING LOCATED AT 104 HIGH STREET EIGHT (8) SPACES PROVIDED. (3) EMPLOYEES. (3) OPEN THREE (3) SPACES CAN BE USED AT 104 HIGH STREET FOR THE USE OF 133-137 HIGH STREET.

EXISTING IMPERVIOUS AREAS TO BE REMOVED:
 Buildings/Porch: 2,160 SF
 Walks/Steps/Concrete: 300 SF
 Deck: 200 SF
 Total: 2,660 SF
 Reduction 20% = 2,128 SF

PROPOSED IMPERVIOUS AREAS:
 PROPOSED BUILDING: 139 SF IN RIGHT OF WAY NOT INCLUDED IN CALCULATIONS
 PROPOSED PATIO: 277 SF
 PROPOSED 3' WALK: 108 SF
 PROPOSED WALLS/STEPS: 120 SF
 TOTAL IN R/W: 2,665 SF

NOTES:
 1. BOUNDARY SURVEY AS SHOWN WAS BASED ON EXISTING DEEDS AND RECORDS. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EXISTING EASEMENTS, RESTRICTIONS OR COVENANTS THAT IMPACT THIS PROPERTY THAT ARE NOT SHOWN. IT IS THE OWNERS RESPONSIBILITY TO RESOLVE ANY ISSUES CREATED BY ANY EASEMENTS, RESTRICTIONS OR COVENANTS.
 2. BOUNDARY SURVEY, TOPOGRAPHY, AND LOCATIONS FROM A FIELD SURVEY BY HOPKINS AND SCOTT INC., PROFESSIONAL SURVEYORS NOVEMBER 2023.
 3. ALL BEARINGS, DISTANCES AND ELEVATIONS SHOWN ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM- SOUTH ZONE, VERTICAL DATUM IS (NAVD 88), HORIZONTAL DATUM (NAD83) ESTABLISHED BY GPS OBSERVATIONS.
 4. THIS SITE HAS PUBLIC SEWER AND PUBLIC WATER.
 5. THE SITE IS LOCATED IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ON FEMA PANEL 42029C00606, EFFECTIVE DATE 09-29-2017.
 6. STREAM CLASSIFICATION OF THE SITE IS T5E-WF- TROUT STOCKING, MIGRATORY FISH.
 7. THE PURPOSE OF THIS PLAN IS TO COMBINE UP# 15-5-519 & 15-5-520 INTO ONE LOT FOR THE PURPOSE OF CONSTRUCTING A DWELLING AS A SHORT TERM HOUSING UNIT. (RESIDENTIAL USE)
 8. THE PROPOSED BUILDING WILL BE REPLACING EXISTING DWELLINGS OF 133-135-137 HIGH STREET. PROPOSED BUILDING USE TO REMAIN THE SAME. (RESIDENTIAL USE)
 9. THE BOROUGH OF PHOENIXVILLE IS GRANTING A BLANKET EASEMENT TO ENTER THE SITE AND ACCESS THE STORMWATER BMP'S.
 10. THE DUST CONTROL MEASURE FOR THIS PROJECT WILL BE SPRINKLING OF WATER UNTIL THE GROUND IS MOIST. TO BE REPEATED AS NEEDED.
 11. CALCULATIONS TO SUPPORT THE SIZING OF THE PROPOSED WATER SERVICES (DOMESTIC AND FIRE) WILL BE COMPLETED. THE CALCULATIONS WILL BE REVIEWED AND ACCEPTED BY THE BOROUGH ENGINEER PRIOR TO INSTALLATION OF THE WATER SERVICES.
 12. THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN WERE LOCATED IN THE FIELD BY VISIBLE MARKINGS.
 13. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
 14. SOME UTILITIES ARE SHOWN AS (APPROXIMATE LOCATION) AND OR (UNKNOWN DIRECTION) CONTRACTOR TO VERIFY ALL UTILITIES BEFORE ANY CONSTRUCTION OR DESIGN STARTS.
 15. THERE ARE NO WETLANDS PRESENT ON THIS SITE AS PER THE U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY.
 16. AN AS-BUILT PLAN OF THE STORMWATER MANAGEMENT SYSTEMS WILL BE PROVIDED TO THE BOROUGH AFTER CONSTRUCTION.



NOTES:
 Any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District or municipality (as applicable) for a determination of adequacy prior to construction of the revised features.

OWNER: _____ DATE: _____

I, Jerry L. Miller, a Pennsylvania Professional Land Surveyor, hereby certify to the best of my knowledge that the SWM Site Plan meets all design standards and criteria of the Borough of Phoenixville Ordinance No. 2022-2359, Borough of Phoenixville's Stormwater Management Ordinance.

Jerry L. Miller, P.L.S. Date: 4-22-24
 SU032024E

SCALE IN FEET
 0 10 20 30 40

SHEET INDEX:
 SHEET 1 LAYOUT PLAN/ REVERSE SUBDIVISION PLAN
 SHEET 2 GRADING/EGS/UTILITY PLAN/LANDSCAPE PLAN
 SHEET 3 STORMWATER MANAGEMENT PLAN
 SHEET 4 EXISTING CONDITIONS/ DEMO PLAN
 SHEET 5 DETAILS
 SHEET 6 NOTES

LOCATION MAP 1"=100
 Penn Street, High Street, Railroad Street, East 50th Street, North Street

WAIVER REQUESTED:
 23-306-C.1 (INFILTRATION REQUIREMENTS)
 Existing adjoining owners dwelling and proposed dwelling within 25' isolation distance from infiltration practices. Using option 23-306-c.2 for runoff volume required as in 23-305, options may include, but are not limited to, reuse, evaporation, transpiration, and infiltration. Capture and reuse the difference of pre-post development 100 Year runoff of stormwater with 50 Gallons Rain Barrel and 2,000 Gallon underground Storage Tank (cistern) with piping into the building for non-potable water for use inside the building for flushing toilets.

22-502.1.A (LANDSCAPING PLAN BY CERTIFIED PLANTING PROFESSIONAL)
 Due to the size of the project and limited areas to plant we are asking for a waiver from having a certified planting professional design the landscaping for this project. We are showing landscaping and details in the plan set designed by Hopkins and Scott Inc Professional Land Surveyors. Street Trees, Buffers/Screening of Utilities.

AFFIDAVIT OF OWNERSHIP
 Commonwealth of Pennsylvania) SS:
 County of Chester

Before me, the undersigned notary public, this day personally appeared NATE HOFFER, to me known (or satisfactorily proven), who being duly sworn according to law, deposes and says: He is an officer of GOOD SAMARITAN SERVICES, which is the record owner of all the property ("Property") UP# 15-5-519 & 15-5-520 to which this plan applies and of all rights which are necessary to implement this plan. The source of title to the Property is the deeds recorded, with the Office ("Recorder's Office") of the Recorder of Deeds in and for Chester County, Pennsylvania in Deed Book 6662 Page 674 & Deed Book 6520 Page 1926. This plan is GOOD SAMARITAN SERVICES, act and deed and is authorized by GOOD SAMARITAN SERVICES to be recorded with the Recorder's Office and that such recording shall be effective for all purposes. He is authorized by said GOOD SAMARITAN SERVICES to make this affidavit.

By: _____
 Sworn and subscribed to before me this ____ day of _____
 Notary Public

RECORDER OF DEEDS
 Recorded in the office of the recording of deeds in and for the County of Chester, at West Chester, PA in Plan book _____ Page no. _____ on _____, 2025.
 Recorder of Deeds

I hereby certify that the Borough of Phoenixville Planning Commission reviewed this plan and issued its comments to Borough Council prior to Council's adoption of Resolution No. _____ which approves this plan as a final plan pursuant to the Borough's Subdivision and Land Development Ordinance.

Catherine Bianco
 Planning Commission Chairperson

We hereby certify that the Borough Council of the Borough of Phoenixville, Chester County, Pennsylvania, by its Resolution No. _____ adopted _____ approved this plan as a final subdivision and/or land development plan, pursuant to the Borough's then current Subdivision and Land Development Ordinance and the Pennsylvania Municipalities Planning Code and that the Borough on _____ hereby authorizes this plan for recording.

E. Jean Krack, Borough Manager
 Jonathan M. Ewald, Council President

I, Owen M. Hyne, a Pennsylvania Professional Engineer, have reviewed this plan for the Borough, and have determined that it has been amended as required by Borough Resolution No. _____ and that, based on the information provided by the Applicant and with any waivers specifically identified and shown hereon, the plan complies with the Borough Subdivision and Land Development Ordinance.

Owen M. Hyne, P.E. Date: _____

I, Jerry L. Miller, a Pennsylvania Professional Land Surveyor, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land development regulations and that the error of closure is not greater than 1:10,000.

Jerry L. Miller, P.L.S. Date: 4-22-24
 SU032024E

LAYOUT PLAN/ REVERSE SUBDIVISION PLAN

TOTAL AREA:
 5,201.012 SF (0.119 AC) GROSS
 4,155.004 SF (0.095 AC) NET

OWNER: GOOD SAMARITAN SERVICES
 PO BOX 551
 PHOENIXVILLE, PA 19460
 Applicant: Nate Hoffer CEO
 nateh@goodsamaritanservices.org
 866-477-0025

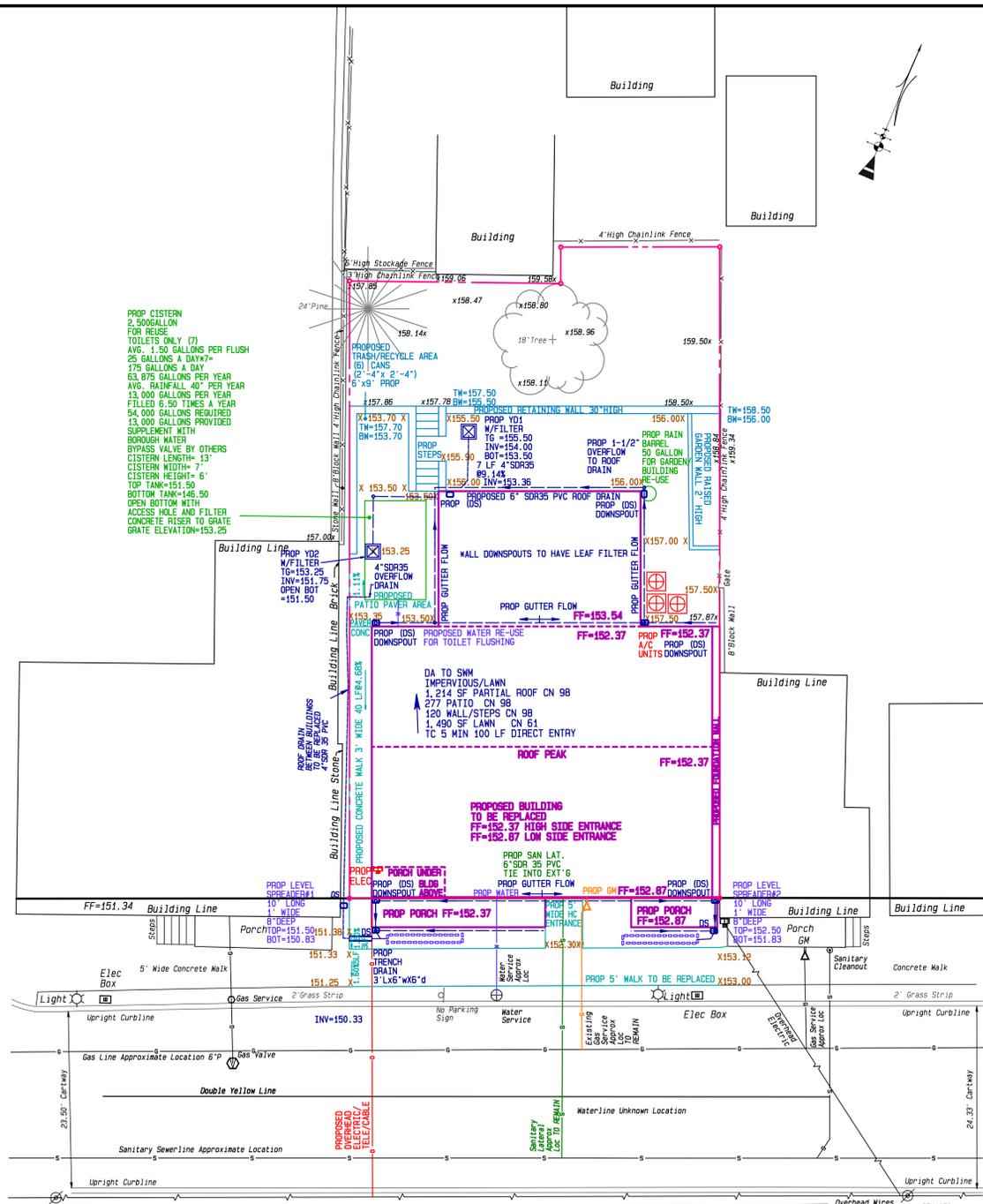
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 OF
133-137 HIGH STREET
 MADE FOR:
GOOD SAMARITAN SERVICES
 SITUATE IN:
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA.

DATE: 4-22-24
 SCALE: 1"=10'
 SHEET 1 OF 6
 DRAWN BY: AM
 N.B.#:

REV: 2-20-25 AS PER RVE LETTER DATED 1-8-25, GILMORE LETTER DATED 1-6-25
 REV: 12-18-24 AS PER RVE LETTER DATED 6-6-24, GILMORE LETTER DATED 6-6-24

PREPARED BY:
 HOPKINS AND SCOTT INC.
 PROFESSIONAL LAND SURVEYORS
 207 FRANKLIN AVENUE
 PHOENIXVILLE, PA. 19460
 Phone: 610-933-1754 Fax: 610-933-0268

JERRY L. MILLER
 LAND SURVEYOR
 No. 2024E



High Street 53' Wide Right-of-Way

- LEGEND:**
- ADJOINING OWNERS PROPERTY LINE
 - BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVING
 - FENCE LINE
 - BUILDING
 - OVERHEAD WIRES
 - STORMSEWER LINE
 - SANITARY SEWERLINE
 - TELEPHONE
 - WATERLINE
 - ELECTRIC
 - UNDERGROUND UTILITIES
 - GASLINE
 - PROP SANITARY SEWERLINE
 - PROP TELEPHONE
 - PROP WATERLINE
 - PROP ELECTRIC
 - PROP OVERHEAD UTILITIES
 - PROP UNDERGROUND UTILITIES
 - PROPOSED BUILDING
 - PROPOSED WALK
 - PROPOSED WALL
 - PROPOSED 6"SDR35 PVC ROOF DRAIN
 - PROPOSED 4"SDR 35 PVC OVERFLOW
 - 200 PROPOSED CONTOURS
 - 200 PROPOSED SPOT ELEVATION
 - PROPOSED STORAGE TANK/CISTERN
 - PROPOSED RAINBARREL
 - PROPOSED LEVELSPREADER



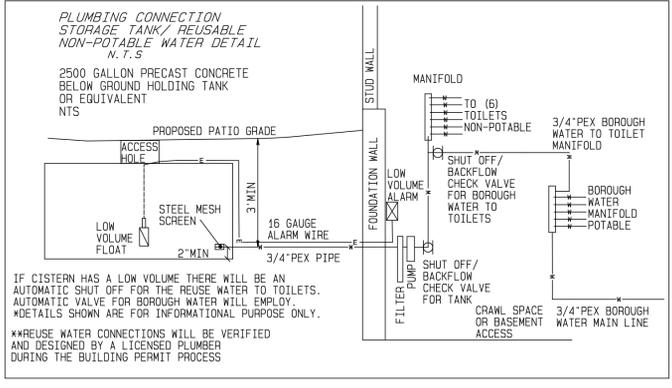
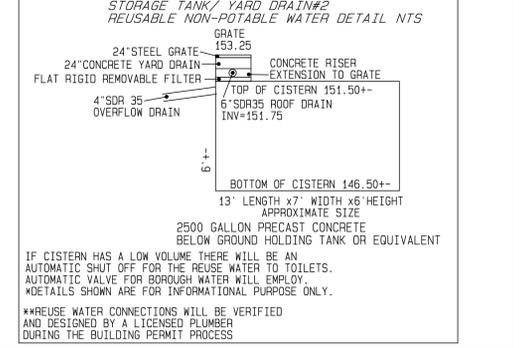
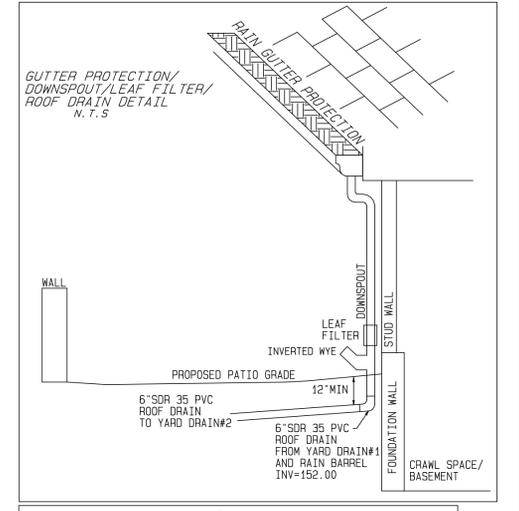
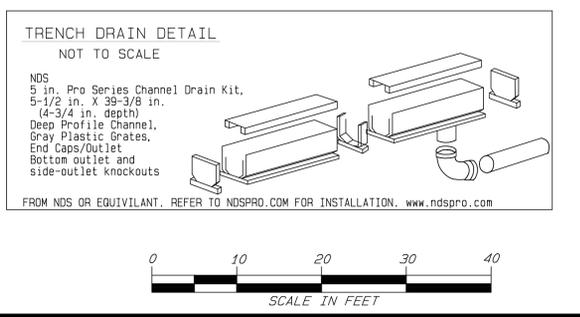
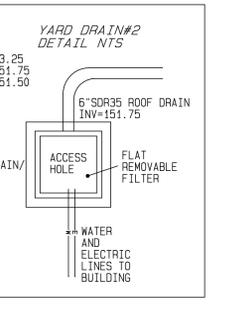
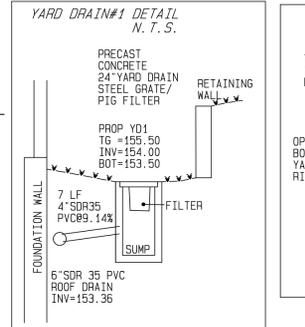
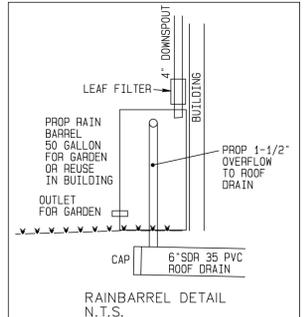
PIG® Adjustable Storm Drain Frame with Replaceable Filters
INT400-1110-OFS Fits 16" - 26" W to 16" - 26" L
Rectangular Drains, Oils, Fuels, Sediment, Floatables
Or Equivalent

FOR YARD DRAIN#1
LAWN AREA

Inspection & Maintenance

- Inspect monthly or after every 1/2" rainfall event
- Use a shovel or broom to remove accumulated sediment from around the edge of drain
- Replace product seasonally; slow filtration or moderate amounts of sediment and floatables in the filter may indicate the product is not filtering at maximum efficiency
- TO CHANGE FILTER, lift out using green handle on interior, then follow Steps 5-6
- Dispose of the product in compliance with local, state, federal and country regulations

Keep the frame installed long-term and just replace the filters! (Frames and filters sold individually.)

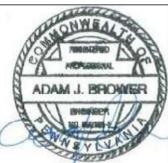


Any revision to the approved SWM site plan shall be submitted to and approved by the municipality and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District or municipality (as applicable) for a determination of adequacy prior to construction of the revised features.

OWNER: _____ DATE: _____

I, Adam J. Brower, a Pennsylvania Professional Engineer, hereby certify to the best of my knowledge that the SWM Site Plan meets all design standards and criteria of the Borough of Phoenixville Ordinance No. 2022-2359, Borough of Phoenixville's Stormwater Management Ordinance.

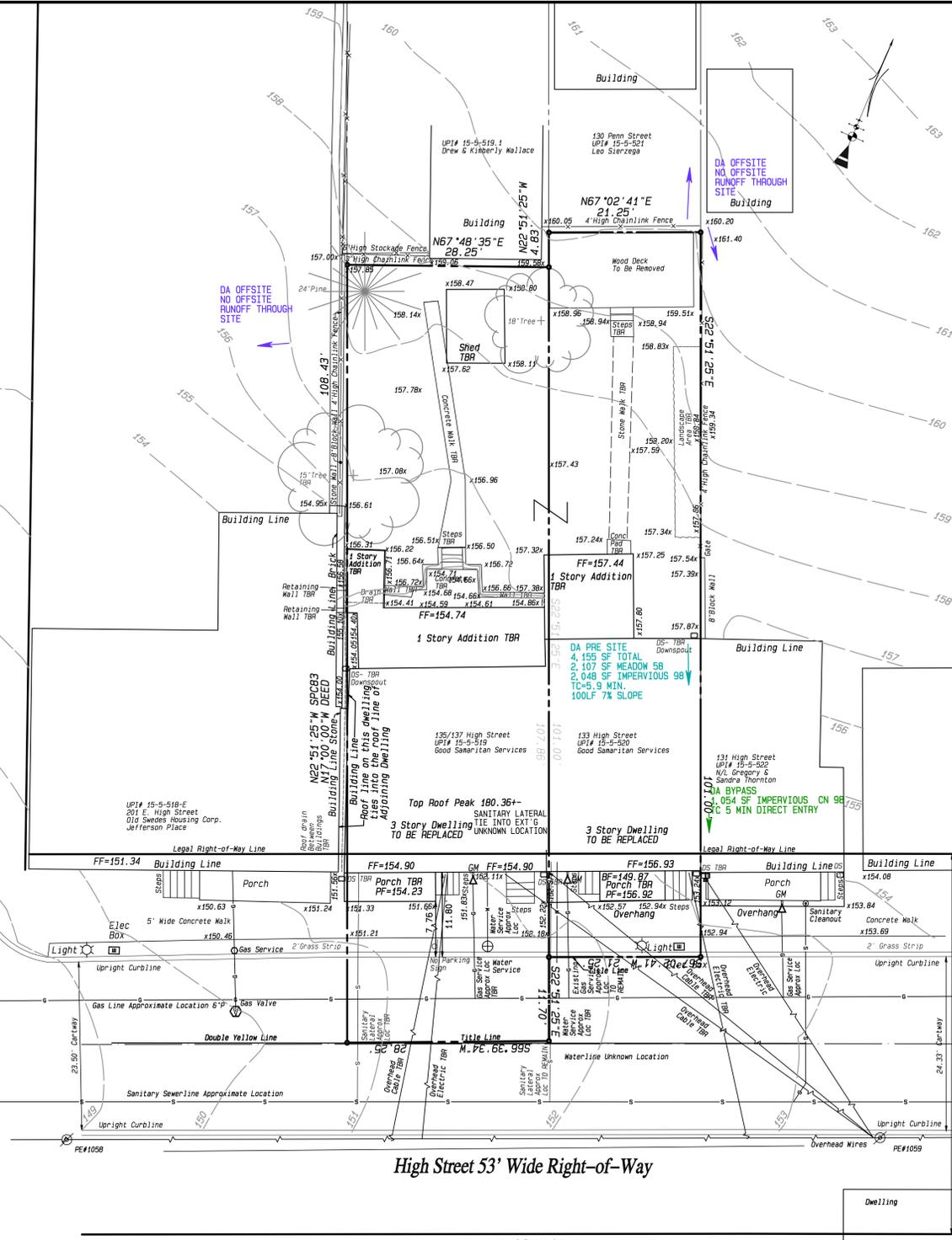
Adam J. Brower 052195E
P.E. Date: 2-2-2025



STORMWATER MANAGEMENT PLAN

TOTAL AREA: 5,201,012 SF (0.119 AC) GROSS 4,155,004 SF (0.095 AC) NET	OWNER: GOOD SAMARITAN SERVICES PO BOX 551 PHOENIXVILLE, PA 19460 Applicant: Nate Hoffer CEO nateh@goodsamaritanservices.org 886-477-0025
UPI# 15-5-519 & 15-5-520 DB 6662 PG 674 & DB 6520 PG 1926	
REV: 2-20-25 AS PER RVE LETTER DATED 1-8-25, GILMORE LETTER DATED 1-6-25 REV: 12-18-24 AS PER RVE LETTER DATED 6-6-24, GILMORE LETTER DATED 6-6-24	
DATE: 4-22-24 SCALE: 1"=10' SHEET 3 OF 6 DRAWN BY: AM N.B.#:	PRELIMINARY/FINAL LAND DEVELOPMENT PLAN OF 133-137 HIGH STREET MADE FOR: GOOD SAMARITAN SERVICES SITING IN: BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA.
	PREPARED BY: HOPKINS AND SCOTT INC. PROFESSIONAL LAND SURVEYORS 207 FRANKLIN AVENUE PHOENIXVILLE, PA. 19460 Phone: 610-933-1754 Fax: 610-933-0268

South Street 30' Wide Right-of-Way



High Street 53' Wide Right-of-Way

- LEGEND:**
- ADJOINING OWNERS PROPERTY LINE
 - BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVING
 - FENCE LINE
 - CONTOUR MINOR
 - TREE LINE
 - BRUSH LINE
 - BUILDING
 - OVERHEAD WIRES
 - STORMSEWER LINE
 - SANITARY SEWERLINE
 - TELEPHONE
 - WATERLINE
 - ELECTRIC
 - UNDERGROUND UTILITIES
 - GASLINE

1. THERE ARE NO WETLANDS PRESENT ON THIS SITE AS PER THE U.S. ARMY CORPS OF ENGINEERS, AND THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY.
 2. THE SITE IS LOCATED IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) ON FEMA PANEL 42029C00606, EFFECTIVE DATE 09-29-2017.

ZONING REQUIREMENTS

N/C NEIGHBORHOOD CENTER DISTRICT

MIN. LOT AREA:	2,000 SF
MIN. LOT WIDTH:	20
MIN. FRONT YARD:	BUILD TO ADJACENT BUILDING
MIN. REAR YARD:	20
MIN. SIDE YARD:	MATCH ADJACENT PROPERTIES
MAX. BUILDING HEIGHT:	35'
MAX. IMPERVIOUS COVERAGE:	90%

EXISTING IMPERVIOUS AREAS:
TO BE REMOVED AND REPLACED

Buildings/Porch:	2,160 SF
Walks/Steps/Concrete:	200 SF
Deck:	200 SF
Total:	2,560 SF

SCALE IN FEET

EXISTING CONDITIONS/ DEMO PLAN

<p>TOTAL AREA: 5,201,012 SF (0.119 AC) GROSS 4,155,004 SF (0.095 AC) NET</p> <p>UPI# 15-5-519 & 15-5-520 DB 6662 PG 674 & DB 6520 PG 1926</p>	<p>OWNER: GOOD SAMARITAN SERVICES PO BOX 551 PHOENIXVILLE, PA 19460 Applicant: Nate Hoffer CEO nateh@goodsamservices.org 888-477-0025</p>
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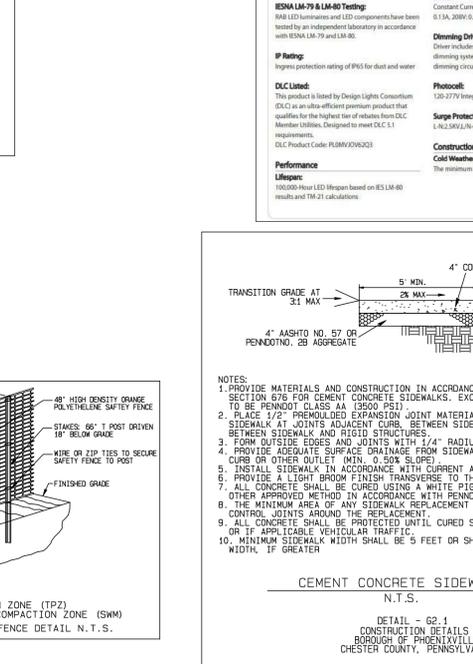
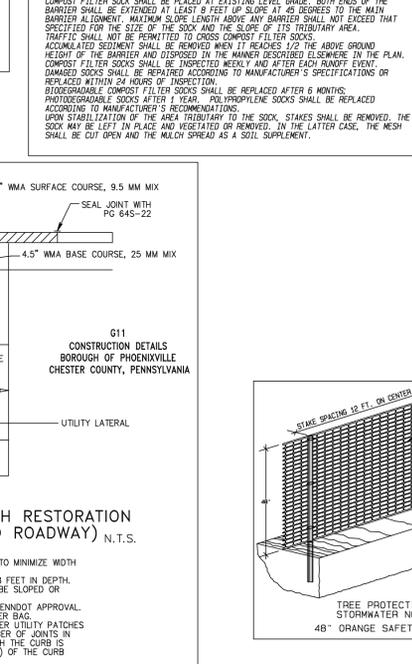
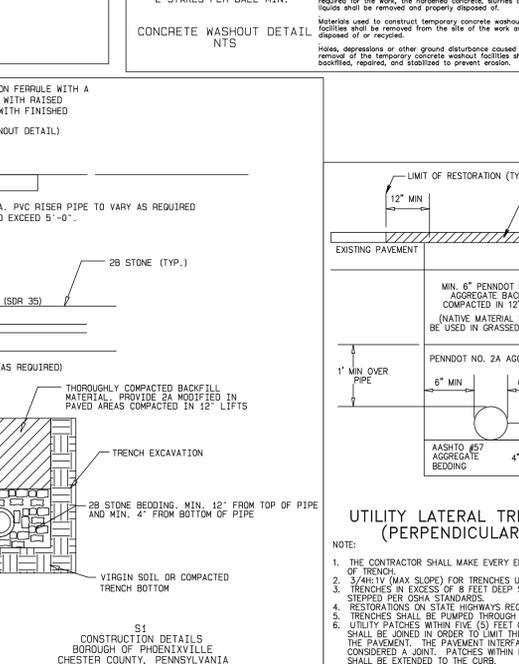
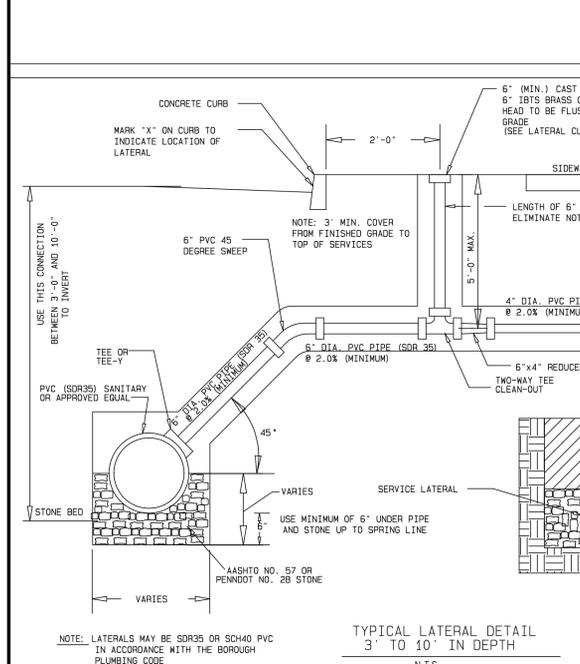
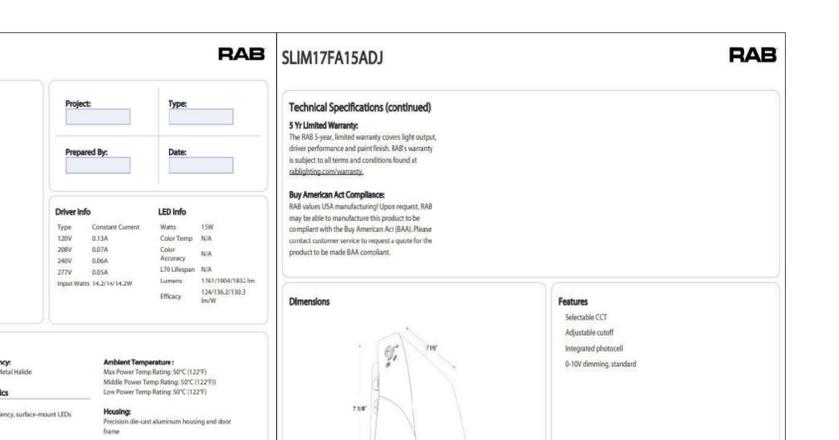
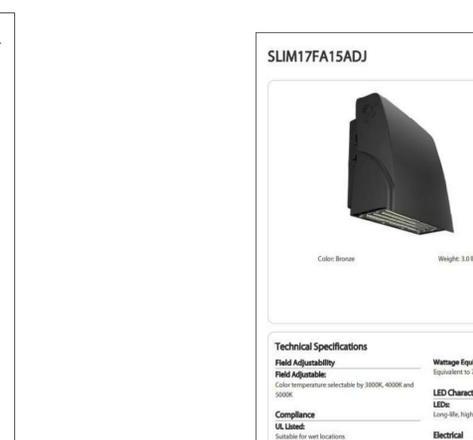
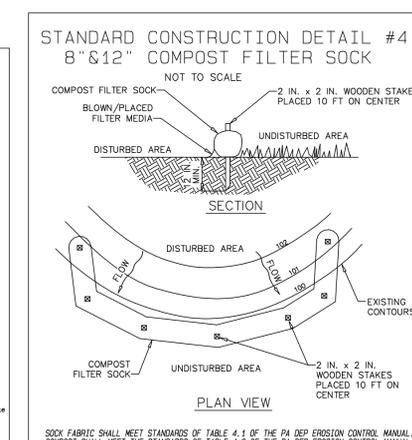
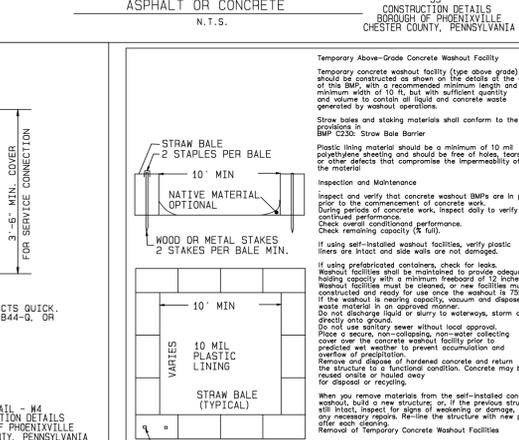
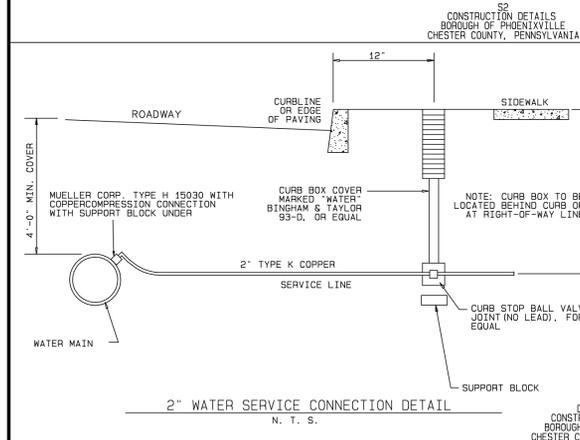
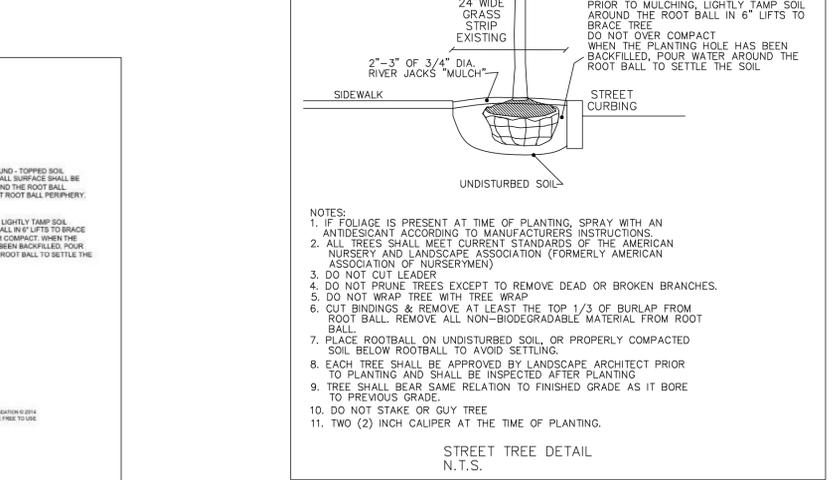
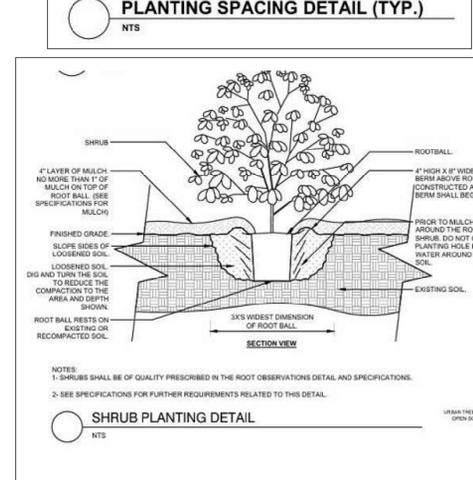
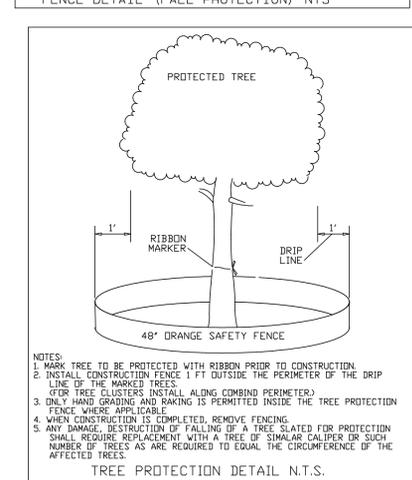
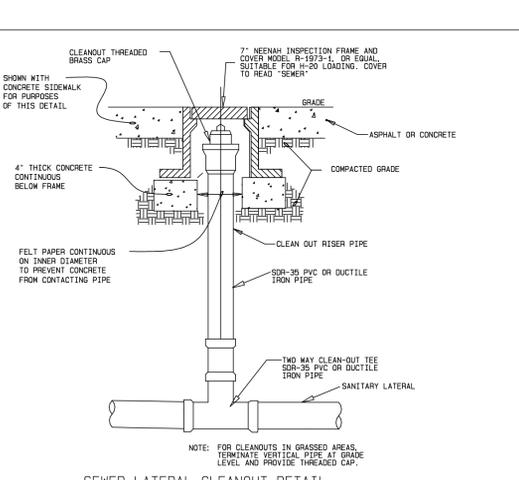
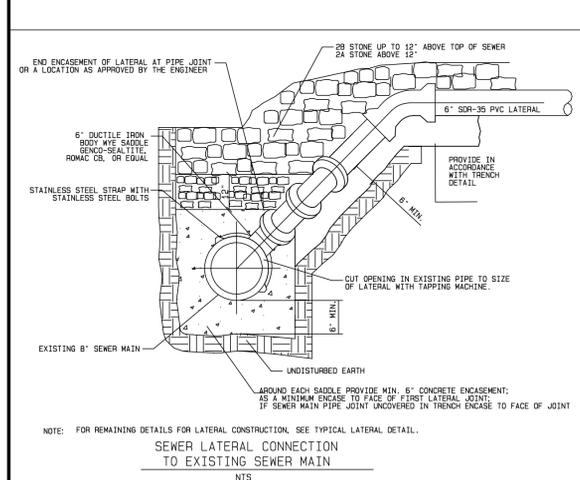
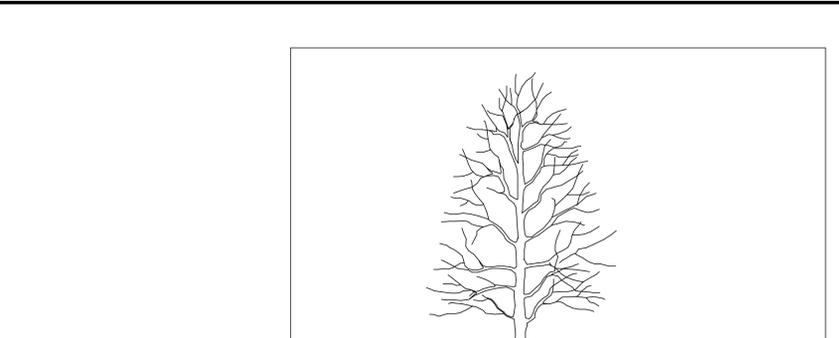
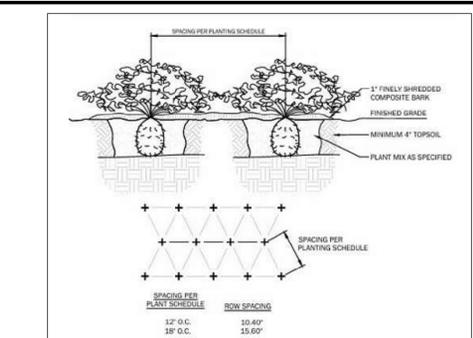
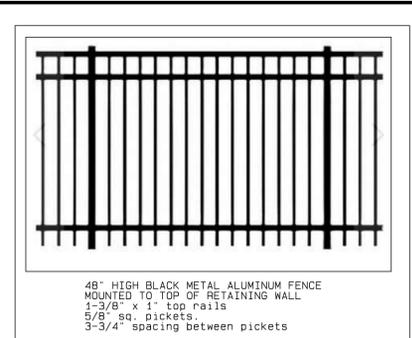
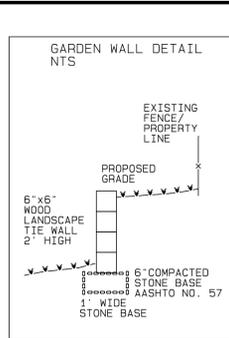
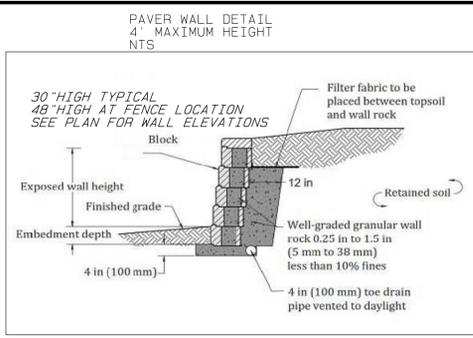
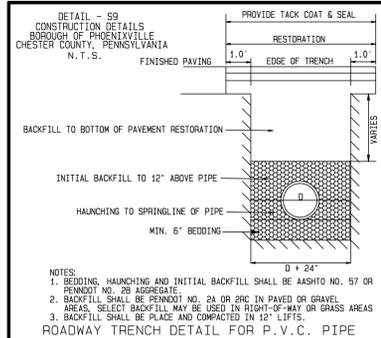
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DATE: 4-22-24
 SCALE: 1"=10'
 SHEET 4 OF 6
 DRAWN BY: AM
 N.B.#:

**PRELIMINARY/FINAL
 LAND DEVELOPMENT PLAN**
 OF
133-137 HIGH STREET
 MADE FOR:
GOOD SAMARITAN SERVICES
 SITUATE IN:
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA.

PREPARED BY:

 HOPKINS AND SCOTT INC.
 PROFESSIONAL LAND SURVEYORS
 207 FRANKLIN AVENUE
 PHOENIXVILLE, PA. 19460
 Phone: 610-933-1754 Fax: 610-933-0268



DETAILS

OWNER: GOOD SAMARITAN SERVICES
 PO BOX 551
 PHOENIXVILLE, PA 19460
 Applicant: Nate Hoffer CEO
 nate@goodsamaritanservices.org
 888-477-0025

TOTAL AREA:
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 DB 6662 PG 674 & DB 6520 PG 1926

REV: 2-20-25 AS PER RVE LETTER DATED 1-8-25, GILMORE LETTER DATED 1-6-25
 REV: 12-18-24 AS PER RVE LETTER DATED 6-6-24, GILMORE LETTER DATED 6-6-24

DATE: 4-22-24
 SCALE: N.T.S.
 SHEET 5 OF 6
 DRAWN BY: AM
 N.B.#:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 OF
133-137 HIGH STREET
 MADE FOR:
GOOD SAMARITAN SERVICES
 SITUATE IN:
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA.

PREPARED BY: H & S
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PLAN NOTES:

As used in the notes and certifications on this Plan, the following terms shall have the following meanings:

APPLICANT- The person(s) and/or entity(ies) who or which has submitted this Plan to the Borough for approval pursuant to the Borough's Subdivision and Land Development Ordinance.

APPLICATION- The Applicant's application, to the Borough, for approval of this Plan pursuant to the Borough's Subdivision and Land Development Ordinance.

Borough- The Borough of Phoenixville, Chester County, Pennsylvania.

Developer- The person(s) or entity(ies) who or which implement the land development shown on this Plan.

Property Owner- All the legal and equitable owners of the Property and their heirs, successors and assigns.

PROPERTY- The property which is subdivided and/or developed pursuant to this Plan and identified by this Plan as being owned by the Property Owner.

Plan- This Plan as approved by the Borough.

UPI- Chester County Uniform Parcel Identifier 15-5-519 & 15-5-520

(1) The Borough of Phoenixville's approval of this Plan, as a final subdivision and land development plan, pursuant to the Borough of Phoenixville Subdivision and Land Development Regulations of 1989, Ordinance No. 1602, as amended, was made by Borough Resolution No. _____ which was adopted on _____. This Plan shows the conditions of its approval per Resolution No. _____. The conditions bind all owners, Developers and users of the Property hereby developed and/or subdivided and their heirs, successors and assigns. The conditions may create on-going obligations, limitations and/or requirements affecting the use of the Property. The Resolution is kept by the Borough Secretary at the Borough Hall and may be inspected there by the public. Copies of the Resolution are also available from the Borough for a charge.

(2) All conditions of plan approval shown on this Plan, and offers of dedication, shall run with the land forever and shall be enforceable by the Borough.

(3) The Applicant represents to the Borough that the Applicant has all the property rights necessary to make the Application and, at the time any permits for the implementation of the Plan are issued and/or work commenced, will have all the rights necessary to implement the Plan completely in compliance with all applicable regulations and without violating the property rights of others. If the Applicant does not have or loses any such property rights this approval shall be voidable by the Borough by written Resolution. If any other party takes any legal action against the Borough for any reason involving and/or alleging the Applicant's or property Owner's lack of any such property right, the Applicant and Property Owner shall hold the Borough harmless and indemnify it from any and all liability, loss, claim, cost and/or expense, including but not limited to attorney's fees resulting from such legal action.

(4) All areas shown as and/or required to be (at the time the Borough adopted Resolution No. _____) open space or common area shall be used only as open undeveloped areas and shall not be further subdivided and/or alienated so as to create any rights that could infringe on this open space use limitation.

(5) At the Borough's request, the Property Owner shall execute and record, with the appropriate offices and officials and in the appropriate and legally effective manner for the purpose, all documents, plans, deeds and declarations (collectively "Recordings") required to be recorded, by applicable regulations, the terms of final plan approval and/or notes on this Plan, and shall provide the Borough with copies, certified by the recording official, of all such Recordings, or, at the Borough's option, the Borough may record such documents and the Property Owner shall pay the Borough's costs.

(6) At the Borough's request, the Property Owner will execute, acknowledge and deliver all documents, deeds and/or instruments necessary or appropriate, in the opinion of the Borough Solicitor, to implement this Plan as approved and to record all instruments, deeds, covenants, easements and/or rights-of-way which are required by the terms of final plan approval and/or notes on this Plan to be conveyed to the Borough.

(7) The Borough may withhold building and/or occupancy permits and/or refuse to accept dedication of improvements and/or release improvement security if the land development and/or subdivision is/are not and is/are not implemented in full compliance with any other governmental unit's regulations which apply to the building, structure, occupancy, work and/or improvement for which Borough action is requested. However, the Borough does not hereby assume any duty to inspect or to approve any work or condition pursuant to any other governmental entities' regulations, and it is the responsibility of the Developer and the Property Owner to comply with all regulations of other governmental entities by working directly with such entity. To the extent that such approvals of other governmental entities are required, for the improvements, work and/or proposed use, the Property Owner represents that these approvals have been applied for and all are granted and in effect or will be so prior to the issuance of any Borough building permit to construct new improvements pursuant to this Plan. By requiring compliance with the regulations of other governmental entities and/or by approving the Development / Subdivision Plan or any plan amendments, neither the Borough nor any Borough Official represents that the subject matter of the Borough's approval complies with such other entities' regulations or has been approved by or is entitled to be approved by such other entity or that the subject of the approval has been designed correctly or will function safely.

(8) The streets, street rights-of-way and street drainage rights, public water supply facilities and the easements therefore and the public sanitary sewer system and the easements therefore, as shown on this Plan, are offered hereby for dedication to the Borough perpetually and irrevocably. The street drainage rights include the right to use, maintain, repair and replace any stormwater management facility which drains runoff from a dedicated road (this right does not include any duty to repair or maintain any such facility). Also offered hereby for dedication to the Borough, perpetually and irrevocably, is an exclusive easement, right-of-way and rights (all called "Utility Easement Rights" for the purposes of "Utility Purposes") of any utility and all utilities, with free and uninterrupted right of entry upon the Property for access to the Easement Area. "Utility" includes, but is not limited to, any and all water, sanitary sewer, stormwater management, electric, telephone, cable TV and information transmission lines, facilities, systems, structures and/or operations no matter who the operator(s) and owner(s) are. The Utility Purposes include, but are not limited to, the free right to lay out, place, construct, operate, inspect, test, maintain, repair, replace, relocate, reconstruct, enlarge, change and/or use the area subject to the Utility Easement Rights ("Easement Area") and/or any part thereof (e.g., over, under, upon and through it) for any and all Utility Purposes, including but not limited to any and all line(s), structure(s), facility(ies) and/or system(s) and any and all appurtenance(s) thereto. The Easement Area shall include and is limited to all of the area of the Property, which area is within all water supply and sanitary sewer easements and/or all street rights-of-way. All the offered rights include a negative easement which prohibits, in the offered right-of-way and/or easement area, any activity, use, condition, plant, improvement, structure and/or building which, in the sole judgment of the Borough, is inconsistent in any way with and/or may in any way interfere with, endanger and/or obstruct the safe or efficient use of and/or any purpose of the offered rights. The negative easement shall also provide that no structure shall be permitted on, over and/or under any part of the right-of-way and/or easement area, without the Borough's prior approval, by written Resolution, specifically authorizing such use.

If and when requested by the Borough, the Applicant and [its / his / her / their] heirs, successors and assigns shall transfer title to any and/or all of the offered rights and improvements to the Borough. Such transfer shall be by deed(s) or agreement(s) of dedication which shall be in such form as the Borough may require and title to all such rights and improvements shall be good and marketable and free from any encumbrance. When transferring to [its / his / her / their] assigns the Property Owner shall and hereby does reserve and except for itself (and the Homeowners Association all interests and rights necessary for either to make, fully and completely, all the dedications required hereby; however, these reserved rights to dedicate shall not be exclusive and the [lot owners / Applicant's and property owner's(s) successors and assigns] may also make such dedications. In any event, the Applicant's and property owner's(s) successors and assigns shall be obligated to make such transfer to the Borough, at the Borough's request.

Neither the Borough's approval of this Plan, the Plan's recording nor any note hereon is intended to or does obligate the Borough to maintain and/or accept, in any way, any street, stormwater management, water supply and/or sanitary sewer facility, easement or right-of-way and/or any other improvements shown hereon and/or any Utility. If the Borough, in its discretion, takes dedication of a street or street right-of-way, unless the deed of dedication expressly and clearly provides otherwise, the Borough will not take fee title to the area within such street right of way and will not own or be responsible for any street tree, sidewalks (either existing, required or provided hereafter whether or not shown on this plan) and yard areas within such right-of-way. Responsibility for such street trees, sidewalks and yard areas shall remain, for all purposes, with the owner(s) of the fee title. The Borough, at any time prior to accepting dedication of a street, may require a street tree to be moved. All rights dedicated to and accepted by the Borough, unless the Borough shall require otherwise, shall be perpetual, run with the land and be assignable by the Borough.

(9) The Utility systems shall be installed, and inspected and approved as required by the Borough Engineer, before paving of cartway, pouring of concrete for and/or paving of sidewalks and the construction of any other Improvement with which the construction of the Utility system might interfere. No Utility system shall be installed and/or easement for such system granted, within any right-of-way and/or easement for any road, street, sewer, water supply, and/or stormwater management facility, proposed to be dedicated to the Borough, unless and until the plans for such Utility system and/or easement and the timing of its construction are approved by the Borough Engineer in writing.

(10) If the Borough accepts, from the Developer s successor or assign or any other grantor, a deed or other instrument of dedication for any Improvement, the Developer and its successors and assigns shall hold the Borough harmless and defend the Borough and all Borough Officials, from and against any and all claims, demands, suits, judgments and liabilities whatsoever resulting from the negligent construction, design and/or inspection of the Improvements.

(11) All trees existing in and/or planted in the public street right-of-way shall be owned and maintained in good, healthy and safe condition, at all times, by the fee owner of the part of the Property where the tree is located. The Borough shall have the right, but not the duty, to inspect any such tree and to require its owner, at the owner's expense, to prune, maintain and, if the tree is dead, diseased, damaged or malformed, or a threat to public safety, to remove the tree and replace it with a tree of at least a three (3") inch caliper and of the same species or a species approved by the Borough. All liability for any tree on the Property shall be on the fee owner of the part of the Property where the tree is located. Without limitation, such owner shall have the duty to ensure that the tree does not create any nuisance or safety hazard.

(12) Irrevocable licenses and rights of entry upon any of the property subject to this Plan are hereby granted to the Borough of Phoenixville, its officers and agents, plan the purpose of correcting or abating a public nuisance and/or to add to, repair, modify and/or replace any drains, stormwater management facilities, sewers, water lines and/or other utilities which are connected to a public facility or utility and to inspect and enforce the Borough's regulations and/or compliance with this Plan. These rights create no Borough duty to do any such work or inspections.

(13) Any improvement shown on this Plan which does not function safely, as intended and/or in complete compliance with all applicable regulations shall be redesigned and reconstructed promptly, by the Developer and/or the Property Owner, at such party's expense, to be safe, function as intended and to comply with all applicable regulations. All such new designs and specifications shall be subject to the Borough Engineer's prior written approval and inspection, during and after construction, all at the Applicant's cost.

(14) The stormwater management facilities (individually "Stormwater Facility," and collectively "Stormwater Facilities") located on the Property and shown on this Plan are permanent and are not to be removed or altered. Stormwater Facilities include, but are not limited to, swales designed or used to convey stormwater. The owner(s) of each parcel where any Stormwater Facility is located and [such owner's / their] heirs, successors and assigns ([collectively] the "Owner") shall be responsible for the perpetual maintenance of the Stormwater Facilities located on the Parcel. The Owner shall maintain the Stormwater Facilities, for which the Property Owner is responsible, in a condition which is structurally sound and functional and in compliance with all regulations and shall not cause or allow any such facility to be altered, removed, silted up, overgrown and/or to fail to function as designed and/or as required by applicable regulations. If the Owner does not do so upon notification by the Borough, the Property Owner, as promptly as possible, shall correct, repair, reconstruct and/or replace such facility to achieve and maintain the facility's design specifications, functions and its compliance with all applicable regulations. If the Owner fails to so restore and/or correct the Stormwater Facility, within the time specified by the Borough, the condition of the Stormwater Facility shall be a public nuisance and the Borough shall have the free right to enter upon the Property and to do such repairs, maintenance, replacement and/or reconstruction as the Borough determines necessary with respect to such Stormwater Facility. All such construction, repairs, reconstruction and/or replacement and the design costs thereof shall be at the expense of the Owner jointly and severally. The Borough may lien and execute on the Property (as a municipal claim and lien and/or in any other manner provided by law) for the cost of all such work, including any engineering and design cost, and for attorneys' fees for enforcement and collection.

(15) Each assignee of any parcel on this Plan shall be responsible for all the terms and conditions of this Plan as applicable to such parcel. As used in these Plan notes, "Applicant," "Property Owner" and "Developer" include such party's heirs, successors and assigns.

(16) Each lot shown on this plan shall have private implied access easements and rights-of-way over the roads shown hereon which are actually constructed.

(17) All plants which are provided pursuant to the Plan shall conform to the current American Standard for Nursery Stock of the American Association of Nurserymen, Inc. Each plant shall be a minimum size and planted with three inches of mulch approved by the Borough. Trees and shrubs, which grow to heights of five feet or taller, shall be placed so that their branches will not grow into any buildings, obstruct driveway and/or street sight triangles or interfere with overhead public utilities.

(18) As part of the land development / subdivision plan review and approval process, the Borough did not determine whether there are any wetlands on the Property. If the U.S. Army Corps of Engineers ("Corps") or Pennsylvania Department of Environmental Protection ("DEP") determine that there are such wetlands on the tract and the applicable wetland regulations result in a relocation and/or redesign of any improvement or affect compliance with any applicable regulation, this Plan shall be voidable by the Borough, by written Resolution, and the Borough may require the Property Owner to amend the Plan and the Borough may require the Property Owner to pay the cost of the amendment. Approval of the amendment which approval may be granted subject to such conditions as Borough Council determines appropriate.

(19) The waivers specifically granted by Resolution _____, relate only to Subdivision and Land Development Ordinance requirements. Nothing shown hereon shall be construed to vary, waive or reduce any requirements of the Zoning Ordinance or any other Borough Ordinance or regulation.

(20) The Borough and Borough Engineer have reviewed the Development / Subdivision Plan and all information supplied with it only for Borough purposes and only for compliance with Borough regulations, such as those relating to stormwater management and erosion and sedimentation control. The Borough does not warrant, in any way, the improvements or work shown on the Plan. In reviewing the Development / Subdivision Plan and any future plans, plan changes and/or specifications and designs concerning the proposed use, improvements and/or work, the Borough Engineer and all Borough officials have relied and may rely on the information supplied by the Applicant. The Applicant is responsible for the accuracy and completeness of all information (e.g., property ownership, encumbrances, measurements, calculations, plans, locations, surveys and site data) supplied to the Borough at all times. It is the Applicant's and Applicant's Engineer's duty to identify all relevant conditions both on and off the Property. The Applicant must determine and the Applicant's Engineer must certify to the Borough that all Plans do comply and that all improvements and work, when implemented in the field as shown on the Plans, will comply with all applicable regulations, will in all ways reflect good engineering and construction practices and will not result in damage to any persons or property. In making these determinations, neither the Applicant nor the Applicant's Engineer has relied or shall rely upon any approval, permit, determination of or information or recommendations from or specifications established by the Borough, the Borough Engineer or any other Borough Official. No Borough Official is responsible for designing, choosing specifications for or proper construction and/or suitability of any improvement or work or for determining title issues concerning the tract and/or any encumbrance or for field checking anything shown on the Plan as part of the plan review and/or inspection process. The Borough has assumed and may assume that the Applicant warrants to the Borough, and the Applicant does so warrant, that any plan, application and/or request for Borough approval, submitted to the Borough, complies with all applicable regulations and shows all relevant information completely and accurately and that the Applicant's Engineer has so certified. The issuance of any permit or approval by any Borough official does not relieve the Applicant of the responsibility to determine independently and insure that the improvements and/or work are designed and constructed properly, comply with all applicable regulations and will be fit and safe for their intended purposes. If the improvements and/or work are not so designed and constructed, the Borough may require redesign and reconstruction to achieve such compliance.

(21) Prior to the issuance of any building permits to implement the Plan, the Applicant and, if the Borough requires, the Property Owner, must enter into a Development Agreement and an Improvement Security Agreement, with the Borough, with terms and conditions satisfactory to the Borough and must provide the requisite improvement security as identified by the Borough Engineer. The improvement security shall secure, for the Borough's benefit the proper and timely completion of the Developer's obligations under the Development Agreement. The improvement security shall be a bond. The Development Agreement may provide that the Borough may withhold and/or revoke permits if the Developer is in default of its obligations thereunder. No work shall be done to implement the Plan and no building permits shall be issued for ant such purpose until the Development Agreement is executed, the Plans are finally approved in all respects and the requisite improvement security is posted to the Borough's satisfaction.

NOTES

Table with 2 columns: TOTAL AREA (5,201,012 SF GROSS, 4,155,004 SF NET) and OWNER (GOOD SAMARITAN SERVICES, PHOENIXVILLE, PA 19460). Includes UPI# 15-5-519 & 15-5-520 and DB 6662 PG 674 & DB 6520 PG 1926.

REV: 2-20-25 AS PER RVE LETTER DATED 1-8-25, GILMORE LETTER DATED 1-6-25
REV: 12-18-24 AS PER RVE LETTER DATED 6-6-24, GILMORE LETTER DATED 6-6-24

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN OF 133-137 HIGH STREET. MADE FOR: GOOD SAMARITAN SERVICES. SITUATE IN: BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA. Includes a north arrow and contact info for HOPKINS AND SCOTT INC.