

# PRELIMINARY-FINAL LAND DEVELOPMENT PLANS FOR PROPOSED SPOTLESS CAR WASH

DEED BOOK 7722 PAGE 30  
ZONE CD (CORRIDOR DEVELOPMENT)

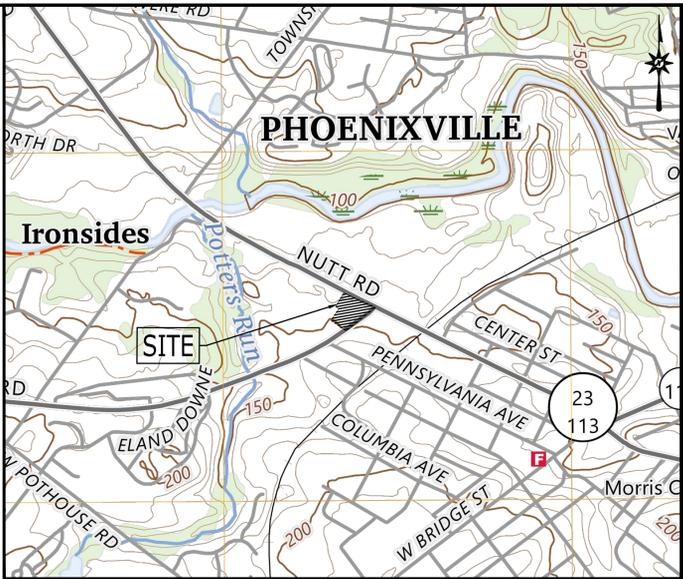
200 KIMBERTON ROAD,  
PHOENIXVILLE, PA 19460

PHOENIXVILLE BOROUGH, CHESTER COUNTY, PENNSYLVANIA



LOCATION MAP

SCALE: 1"=200'



VICINITY MAP

SCALE: 1"=800'

**ACT 287 LIST OF UTILITIES**

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. SERIAL NUMBER IS 20242753095.

**DESIGN CONTACT INFORMATION:**

|   |  |
|---|--|
| PHOENIXVILLE BOROUGH OF WATER<br>1 WATER STREET<br>PHOENIXVILLE, PA. 19460<br>BRIAN WATSON<br>EMAIL: BWATSON@PHOENIXVILLE.ORG<br>PHONE: 610-933-8801 EXT. 320 | COMCAST<br>1250 HADDONFIELD-BERLIN RD<br>CHERRY HILL, NJ. 08034<br>WYATT PARRISH<br>EMAIL: WYATT_PARRISH@CABLE.COMCAST.COM<br>PHONE: 484-368-4391                            |
| PHOENIXVILLE BOROUGH OF SEWER<br>17 2ND AVENUE<br>PHOENIXVILLE, PA. 19460<br>BRIAN WATSON<br>EMAIL: BWATSON@PHOENIXVILLE.ORG<br>PHONE: 610-933-8801 EXT. 320  | PECO AN EXELON COMPANY C/O USIC<br>450 S HENDERSON ROAD SUITE B<br>KING OF PRUSSIA, PA. 19406<br>NIKKIA SIMPKINS<br>EMAIL: NIKKIASIMPKINS@USICLLC.COM<br>PHONE: 484-681-5720 |
| BUCKEYE PARTNERS<br>THE BUCKEYE BUILDING<br>6161 HAMILTON BLVD<br>ALLENTOWN, PA. 18106<br>BRIAN BARR<br>EMAIL: BBARR@BUCKEYE.COM<br>PHONE: 610-904-4185       | VERIZON BUSINESS FORMERLY MCI<br>7000 WESTON PKWY<br>CARY, NC. 27513<br>VICTOR WOOD<br>EMAIL: VICTOR.S.WOOD@VERIZON.COM<br>PHONE: 919-414-2782                               |

PREPARED FOR:  
**FLAGSHIP PENNSYLVANIA PROPCO, LLC**  
2 MID AMERICA PLAZA, SUITE 450  
OAKBROOK TERRACE, IL 60181

PREPARED BY:



1100 First Avenue  
Suite 104  
King of Prussia, PA 19406  
(610) 994-4608



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20242753095

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

|   |   |
|---|---|
| DEVELOPER:<br>FLAGSHIP PENNSYLVANIA PROPCO, LLC<br>2 MID AMERICA PLAZA, SUITE 450<br>OAKBROOK TERRACE, IL 60181 | OWNER:<br>GIUSEPPE VENTIMIGLIA<br>660 KINGS HIGHWAY, SUITE 201<br>CHERRY HILL, NJ 08034 |
|---|---|

**DATES**

|             |   |
|-------------|---|
| ISSUE DATE: | OCTOBER 10, 2024  |
| REVISION:   | DECEMBER 16, 2024<br>JANUARY 10, 2025<br>MARCH 31, 2025 |

**GO.00**  
1 OF 23

| Sheet Number | BL Sheet Number | Sheet Title                       |
|--------------|-----------------|-----------------------------------|
| 1            | G0.00           | COVER SHEET                       |
| 2            | G0.01           | GENERAL NOTES                     |
| 3            | V1.00           | EXISTING CONDITIONS PLAN          |
| 4            | C0.00           | DEMOLITION PLAN                   |
| 5            | C1.00           | RECORD PLAN                       |
| 6            | C1.01           | SITE PLAN                         |
| 7            | C1.20           | GARBAGE TRUCK AND VEHICLE TURNING |
| 8            | C1.21           | FIRE TRUCK TURNING                |
| 9            | C1.100          | SITE DETAILS                      |
| 10           | C1.101          | SITE DETAILS                      |
| 11           | C1.102          | SITE DETAILS                      |
| 12           | C1.103          | SITE DETAILS                      |
| 13           | C2.00           | GRADING AND DRAINAGE PLAN         |
| 14           | C3.00           | UTILITIES PLAN                    |
| 15           | C3.100          | UTILITY DETAILS                   |
| 16           | C3.101          | UTILITY DETAILS                   |
| 17           | C5.00           | LANDSCAPING PLAN                  |
| 18           | C5.100          | LANDSCAPING NOTES AND DETAILS     |
| 19           | C6.00           | LIGHTING PLAN                     |
| 20-23        | -               | 2021 ALTA/NSPS LAND TITLE SURVEY  |



**EXISTING CONDITIONS LEGEND**

- = CATCH BASIN (C.B.)
- = WATER VALVE CAP
- = LIGHT POLE
- ⊕ = FIRE HYDRANT
- MH = MANHOLE
- = SANITARY OR STORM MANHOLES (AS INDICATED)
- ⊕ = ELECTRIC BOX
- ⊕ = GAS VALVE
- ⊕ = GAS METER
- ⊕ = STREET SIGN (AS NOTED)
- ⊕ = UTILITY POLE W/GUY WIRE
- ⊕ = CLEAN OUT/VENT (C.O.)
- = BOLLARDS
- E— = EXIST. ELECTRIC
- T— = EXIST. TAX PARCEL LINE
- B— = EXIST. BOUNDARY LINE
- X— = EXIST. FENCE LINE
- = EXIST. EASEMENT LINES
- = RIP-RAP
- = EXISTING BUILDINGS

**STEEP SLOPES LEGEND**

- 15% - 25% SLOPES
- > 25% SLOPES

**NOTES**

- EXISTING CONDITIONS MAP IS COMPILED FROM DRAWING TITLED "2021 ALTA/NSPS LAND TITLE SURVEY" SCALE 1"=20', DATE: 6-7-24, LAST REVISED 12-16-24, PREPARED BY LUDGATE ENGINEERING AND COORDINATED BY PARTNER ENGINEERING AND SCIENCE, INC. AND IS FOR INFORMATIONAL PURPOSES ONLY. REFER TO ADD-ON PLANS.
- SURVEY REPORTED THAT NO PROPERTY CORNER MONUMENTATION WAS FOUND DURING FIELD WORK. SURVEY SHALL SET REQUIRED MONUMENTATION FOR ALL PROPERTY CORNERS.
- ELEVATIONS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM (NAVD) 88.
- EXISTING 10 FOOT SETBACK SHOWN PER RECORDED SITE PLANS. TO BE RELINQUISHED AND REPLACED BY PROPOSED SITE PLANS.
- WATER, SANITARY AND GAS UTILITIES SHOWN WITHIN NUTT ROAD AND KIMBERTON ROAD ARE APPROXIMATE BASED ON SURVEY LOCATED MANHOLES, VALVES, AND HISTORICAL DESIGN DATA. CONTRACTOR TO POTHOLE AND CONFIRM EXISTING UTILITY LOCATIONS AS REQUIRED FOR PROPOSED IMPROVEMENTS.

**MAPPED SOIL TYPES**

| MAP UNIT SYMBOL | DESCRIPTION                                    | HYDRIC SOIL? | HYDROLOGIC SOIL GROUP |
|-----------------|--|--------------|-----------------------|
| Urbx            | URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES | NO           | B                     |

**NOTICE OF CONDEMNATION  
OF EASEMENTS AND RIGHTS-OF-WAY**

(DB 4618, PG 2260)  
4A) ROAD ROW: AN EASEMENT, RIGHT-OF-WAY AND RIGHTS (COLLECTIVELY "ROAD ROW"), FOR ALL ROAD PURPOSES, WITH FREE AND UNINTERRUPTED RIGHT OF ENTRY AND USE, UPON, OVER, UNDER AND ACROSS THE EASEMENT AREA. THIS ROAD ROW INCLUDES, BUT IS NOT LIMITED TO, THE RIGHT TO DESIGNATE, LAY OUT, OPEN, USE AND MAINTAIN ON THE EASEMENT AREA OR ANY PART THEREOF, A PUBLIC ROAD. THIS ROAD ROW ALSO INCLUDES, BUT IS NOT LIMITED TO, THE FREE RIGHT TO PLACE, CONSTRUCT, BUILD, OPERATE, MAINTAIN, REPAIR, RE-CONSTRUCT, REPLACE, RELOCATE, ENLARGE, CHANGE AND/OR REMOVE EXISTING AND/OR NEW STREETS, CURBS, AND RELATED FACILITIES, INCLUDING SIGNAGE, TRAFFIC CONTROLS AND STORMWATER MANAGEMENT FACILITIES AND STRUCTURES FOR STORMWATER RUNOFF.  
4B) UTILITY EASEMENT RIGHTS: AN EXCLUSIVE EASEMENT, RIGHT-OF-WAY AND RIGHTS (ALL CALLED "UTILITY EASEMENT RIGHTS") FOR ANY AND ALL UTILITY PURPOSES ("UTILITY PURPOSES"), WITH FREE AND UNINTERRUPTED RIGHT OF ENTRY UPON AND USE OF THE EASEMENT AREA THEREFOR. THE UTILITY EASEMENT RIGHTS INCLUDE, BUT ARE NOT LIMITED TO THE FREE RIGHT TO LAY OUT, PLACE, CONSTRUCT, OPERATE, INSPECT, TEST, MAINTAIN, REPAIR, REPLACE, RELOCATE, RECONSTRUCT, ENLARGE, CHANGE AND/OR USE THE EASEMENT AREA AND/OR ANY PART THEREOF FOR ANY AND ALL FACILITIES, UTILITY PURPOSES, LINES, STRUCTURES AND/OR SYSTEMS) AND ANY AND ALL APPURTENANCES THERETO, UPON, OVER, UNDER AND THROUGH THE EASEMENT AREA. "UTILITY PURPOSES" INCLUDE, BUT ARE NOT LIMITED TO, ANY AND ALL WATER, SANITARY SEWER, STORMWATER MANAGEMENT, ELECTRIC, TELEPHONE, CABLE TV AND INFORMATION TRANSMISSION LINES, FACILITIES, SYSTEMS AND/OR STRUCTURES.  
4C) NEGATIVE EASEMENT: NO USE, CONDITION, BUILDING OR STRUCTURE WHICH IS INCONSISTENT IN ANY WAY WITH OR MAY IN ANY WAY INTERFERE WITH, ENDANGER OR OBSTRUCT THE SAFE AND EFFICIENT USE OF OR ANY PURPOSE OF THE CONDEMNED RIGHTS SHALL BE CONDUCTED, CONSTRUCTED, MAINTAINED OR USED ON THE EASEMENT AREA OR ANY PART THEREOF.

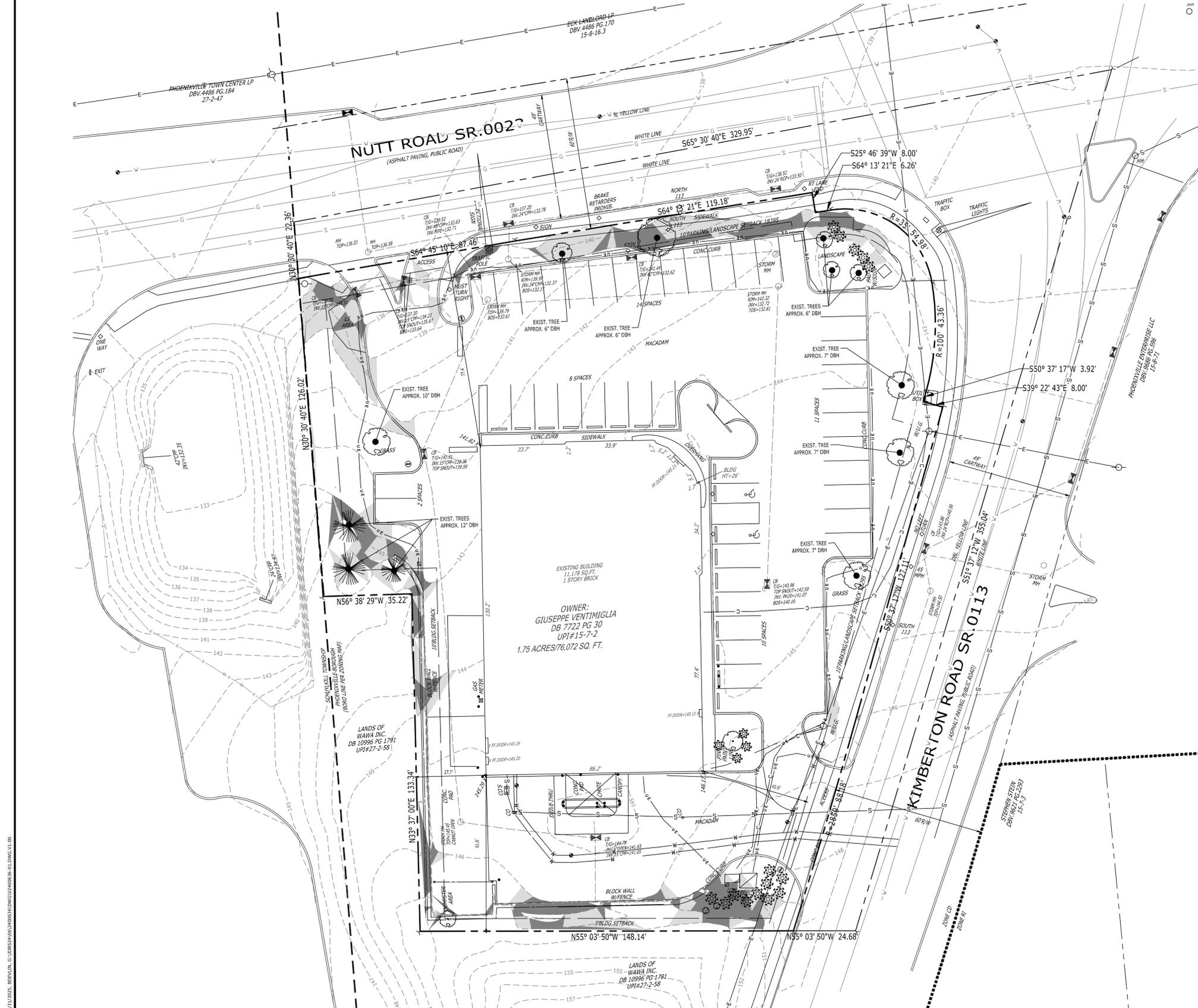
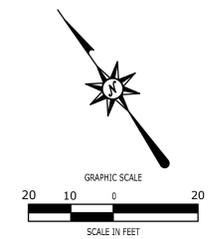
**RESTRICTIVE COVENANT BY AND BETWEEN  
STEICO AND SMCB PROPERTIES, INC.**

(DB 4924, PG 1257)  
COVENANTS AND RESTRICTIONS:  
A) STEICO HEREBY MAKES THE FOLLOWING COVENANTS, AGREEMENTS, RESTRICTIONS AND SERVITUDES (THE "RESTRICTIONS"); THE PROPERTY SHALL NOT BE USED FOR BANKING OR FINANCIAL SERVICES OTHER THAN AN ATM MACHINE.  
B) THE RESTRICTIONS SHALL BE EFFECTIVE FROM THE DATE HEREOF FOR A PERIOD WHICH SHALL END ON, AND THE RESTRICTIONS SHALL AUTOMATICALLY EXPIRE WITHOUT FURTHER ACTION OF ANY PARTY ON, THE EARLIER OF (I) THE DATE BANK CEASES TO MAINTAIN AN OFFICE WITHIN 5 MILES OF THE PROPERTY, OR (II) FIVE (5) YEARS FROM THE DATE HEREOF (MARCH 27, 2001).

**SUPPLEMENTAL HIGHWAY OCCUPANCY PERMIT**

(DB 7242, PG 2660) (SOME TEXT OF ORIGINAL SCANNED PERMIT IS ILLEGIBLE AND THE FOLLOWING DESCRIPTION MAY CONTAIN INACCURACIES AS A RESULT)  
DESCRIPTION OF WORK:  
INSTALL LOW VOLUME DRIVEWAY AT SR 0023 SEG 0400 OFFSET 1248 TO SEG 0400 OFFSET 1286  
PERFORM ROADWAY IMPROVEMENT AT SR 0013 SEG 0270 OFFSET 0897 TO SEG (ILLEGIBLE) OFFSET 1250  
INSTALL ONE (1) LOW VOLUME RIGHT IN RIGHT OUT DRIVEWAY  
INSTALL ONE (1) LOW VOLUME FULL MOVEMENT DRIVEWAY  
INSTALL LEFT TURN LANE AT DRIVEWAY  
CONTACT DISTRICT PERMIT STAFF AT LEAST 3 WORK DAYS PRIOR TO START OF WORK @ 610-205-8805  
CONTACT CITY PERMIT INSPECTOR AT LEAST 3 WORK DAYS PRIOR TO START OF WORK @ 484-840-3220  
THIS ACCESS IS RESTRICTED AS FOLLOWS SR 0023, SEG 0400 OFFSET 1338 DRIVEWAY NO LEFT TURNS ENTERING OR EXITING  
RESTORATION SECURITY SHALL BE SUBMITTED TO THE DEPARTMENT AT LEAST 30 DAYS PRIOR TO START OF WORK. NO WORK MAY BE PERFORMED UNTIL SECURITY IS APPROVED.  
AN INSPECTOR, WHEN AVAILABLE, WILL BE ASSIGNED ON MORE THAN A YEARLY INSPECTION BASIS. PERMITTING WILL BE CHARGED ALL INSPECTION COSTS (INURED BY THE DEPARTMENT ALL DISTURBED AREAS. THE PAVEMENT SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT WHICH EXISTED BEFORE THE START OF WORK.

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NOT RELEASED FOR CONSTRUCTION



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ZONING INFORMATION

Table with 6 columns: ITEM, REQUIREMENTS, EXISTING, PROPOSED, VARIANCE, ME. Rows include Minimum Lot Area, Minimum Lot Width, Build to (Front Yard), Minimum Side Yard, Minimum Rear Yard, Maximum Building Height, Maximum Impervious Coverage, and Minimum Building Spacing.

1. THE BUILD-TO LINE SHALL BE WITHIN THE RANGE OF BUILD-TO LINES OF EXISTING BUILDINGS ON THE SAME STREET FRONTAGE OF THE BLOCK

GROSS FLOOR AREA USES

Table with 2 columns: ITEM, FLOOR AREA. Row: FULL SERVICE CAR WASH, 11,272 SF (100%).

THE PURPOSE OF THIS PLAN IS TO PRESENT SITE MODIFICATIONS THAT DETAIL THE CONVERSION OF A FORMER PHARMACY BUILDING INTO A CAR WASH. THESE MODIFICATIONS INCLUDE RECONFIGURING EXISTING PARKING TO PROVIDE VACUUM SPACES AND STANDARD PARKING, RECONFIGURING VEHICLE CIRCULATION AND PAVEMENT AREAS TO FACILITATE TURNING MOVEMENTS INTO THE CAR WASH, AND CREATING PEDESTRIAN ACCESS TO THE SITE FROM EXISTING SIDEWALKS ON ADJACENT STREETS.

NOTICE OF CONDEMNATION OF EASEMENTS AND RIGHTS-OF-WAY

(DB 4618, PG 2260) 431 ROAD ROW, AN EASEMENT, RIGHT-OF-WAY AND RIGHTS (COLLECTIVELY "ROAD ROW"), FOR ALL ROAD PURPOSES, WITH FREE AND UNINTERRUPTED RIGHT OF ENTRY AND USE, UPON, OVER, UNDER AND ACROSS THE EASEMENT AREA, THIS ROAD ROW INCLUDES, BUT IS NOT LIMITED TO, THE RIGHT TO DESIGNATE, LAY OUT, OPEN, USE AND MAINTAIN ON THE EASEMENT AREA OR ANY PART THEREOF, A PUBLIC ROAD, THIS ROAD ROW ALSO INCLUDES, BUT IS NOT LIMITED TO, THE FREE RIGHT TO PLACE, CONSTRUCT, BUILD, OPERATE, MAINTAIN, REPAIR, RE-CONSTRUCT, REPLACE, RELOCATE, ENLARGE, CHANGE AND/OR REMOVE EXISTING AND/OR NEW STREETS, CURBS, AND RELATED FACILITIES, INCLUDING SIGNAGE, TRAFFIC CONTROLS AND STORMWATER MANAGEMENT FACILITIES AND STRUCTURES FOR STORMWATER RUNOFF.

RESTRICTIVE COVENANT BY AND BETWEEN STEICO AND SMCB PROPERTIES, INC.

(DB 4924, PG 1257) COVENANTS AND RESTRICTIONS: A) STEICO HEREBY MAKES THE FOLLOWING COVENANTS, AGREEMENTS, RESTRICTIONS AND SERVITUDES (THE "RESTRICTIONS"); THE PROPERTY SHALL NOT BE USED FOR BANKING OR FINANCIAL SERVICES OTHER THAN AN ATM MACHINE.

SUPPLEMENTAL HIGHWAY OCCUPANCY PERMIT

(DB 7342, PG 2060) (SOME TEXT OF ORIGINAL SCANNED PERMIT IS ILLEGIBLE AND THE FOLLOWING DESCRIPTION MAY CONTAIN INACCURACIES AS A RESULT) DESCRIPTION OF WORK: INSTALL LOW VOLUME DRIVEWAY AT SR 0023 SEG 0400 OFFSET 1248 TO SEG 0400 OFFSET 1286 PERFORM ROADWAY IMPROVEMENT AT SR 0013 SEG 0270 OFFSET 0897 TO SEG (ILLEGIBLE) OFFSET 1250

PARKING INFORMATION

Table with 5 columns: ITEM, REQUIREMENTS, PROPOSED, VARIANCE, CODE REFERENCE. Rows include Parking Required, Stacking Required, Minimum Accessible Parking Spaces, Minimum Parking Dimensions, Minimum Aisle Width, Minimum Front Landscape Buffer, and Minimum Parking Setback.

- 1. REQUIRED PARKING SPACES ARE CALCULATED USING THE APPLICANT'S STANDARDS FOR SIMILARLY SIZED CAR WASHES
2. INCLUDES EXISTING 4 FOOT WIDE SIDEWALK

THE FOLLOWING WAIVERS WERE GRANTED BY THE BOROUGH OF PHOENIXVILLE PLANNING COMMISSION VIA RESOLUTION NO. \_\_\_\_\_ ON \_\_\_\_\_:

WAIVER #1 ORDINANCE: SUBDIVISION AND LAND DEVELOPMENT SECTION: 22-414.10.D REQUIREMENT: DRIVE ENTRANCES INTO ALL NON RESIDENTIAL, SINGLE-USE PROPERTIES SHALL BE NO LESS THAN 22 FEET IN WIDTH, SHALL NOT EXCEED 36 FEET IN WIDTH AT THE STREET LINE UNLESS PROVIDED WITH A MEDIAN DIVIDER, AND SHALL BE CLEARLY DEFINED BY THE USE OF CURBING, THE LENGTH OF THE STOPPING AREA FOR ALL DRIVEWAYS OTHER THAN THOSE IDENTIFIED IN (§ 425-407.E.1) SHALL BE A MINIMUM OF 30 FEET OR THE LENGTH OF THE LONGEST VEHICLES ANTICIPATED TO USE THE DRIVEWAY, WHICHEVER IS GREATER, MEASURED FROM THE ULTIMATE RIGHT-OF-WAY LINE.

PARTIAL WAIVER #2 ORDINANCE: SUBDIVISION AND LAND DEVELOPMENT SECTION: 22-419.2.B & 22-419.3.A REQUIREMENT: THE BOROUGH COUNCIL MAY REQUIRE ADDITIONAL SIDEWALK WIDTH IN AREAS WHERE HIGHER VOLUMES OF PEDESTRIAN TRAFFIC ARE ANTICIPATED, THE MINIMUM WIDTH IS GOVERNED BY THE ZONING ORDINANCE (§ 27-401), WHICH STATES NON-RESIDENTIAL STREET SHOULD HAVE A SIDEWALK WIDTH OF 10'.

GENERAL NOTES

- 1. EXISTING CONDITIONS SHOWN BASED ON "2021 ALTA/NPS LAND TITLE SURVEY" BY LUDGATE ENGINEERING LAST REVISED JUNE 12, 2024.
2. THE BOROUGH OF PHOENIXVILLE IS GRANTED A BLANKET EASEMENT TO ENTER THE SITE AND INSPECT STORMWATER BMP'S.
3. ACCORDING TO PADEP EMAPPING, NO KARST TOPOGRAPHY EXISTS WITHIN SITE OR ITS VICINITY.

OWNER: GIUSEPPE VENTIMIGLIA 660 KINGS HIGHWAY, SUITE 201 CHERRY HILL, NJ 08033

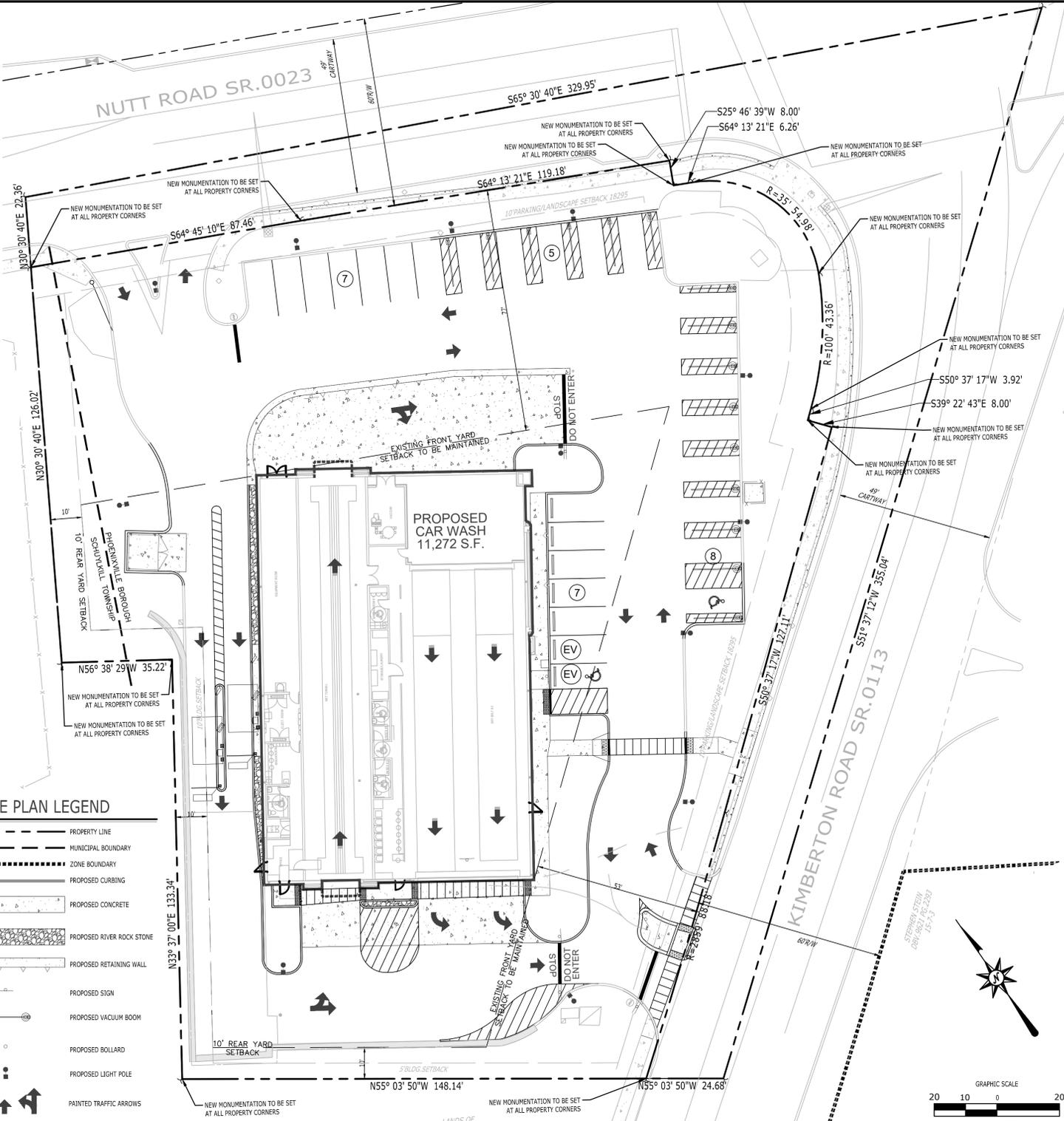
RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

RECORDER OF DEEDS

SITE PLAN LEGEND

- PROPERTY LINE
MUNICIPAL BOUNDARY
ZONE BOUNDARY
PROPOSED CURBING
PROPOSED CONCRETE
PROPOSED RIVER ROCK STONE
PROPOSED RETAINING WALL
PROPOSED SIGN
PROPOSED VACUUM BOOM
PROPOSED BOLLARD
PROPOSED LIGHT POLE
PAINTED TRAFFIC ARROWS
PARKING COUNT



SPECIAL EXCEPTION APPROVAL WITH CONDITIONS

PER APPROVAL DECISION DATED OCTOBER 2, 2024, THE ZONING HEARING BOARD OF PHOENIXVILLE BOROUGH GRANTED THE SPECIAL EXCEPTION REQUEST SUBJECT TO THE FOLLOWING CONDITIONS:

- a. APPLICANT SHALL COMPLETE A TRAFFIC IMPACT STUDY, AND COMPLY WITH ALL FINDINGS AND RECOMMENDATIONS CONTAINED THEREIN, IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE TO THE SATISFACTION OF THE BOROUGH AND BOROUGH ENGINEER
b. THE HOURS OF OPERATION OF THE USE SHALL BE 8:00 A.M. TO 8:00 P.M., SEVEN (7) DAYS PER WEEK, INCLUSIVE OF HOLIDAYS, AND INCLUSIVE OF THE USE OF THE EXTERIOR VACUUMS (I.E., USE OF EXTERIOR VACUUMS OUTSIDE OF THESE OPERATING HOURS IS EXPRESSLY PROHIBITED)
c. THE ARCHITECTURAL FACADE SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE BOROUGH COUNCIL DURING THE LAND DEVELOPMENT PLAN REVIEW PROCESS
d. ALL EXTERIOR FIXTURES, EQUIPMENT (I.E., HVAC), TRASH CONTAINER ENCLOSURES, AND EXTERIOR VACUUMS SHALL BE SCREENED WITH LANDSCAPING AND/OR FENCING TO THE SATISFACTION OF THE BOROUGH AND ITS CONSULTANTS, WHICH SHALL BE DEMONSTRATED DURING THE LAND DEVELOPMENT PLAN REVIEW PROCESS
e. ALL PROPOSED LIGHTING AND LANDSCAPING SHALL BE CONSISTENT WITH APPLICABLE BOROUGH ORDINANCES AND SHALL BE TO THE SATISFACTION OF THE BOROUGH AND ITS CONSULTANTS, WHICH SHALL BE DEMONSTRATED DURING THE LAND DEVELOPMENT PLAN REVIEW PROCESS.

COMMONWEALTH OF PENNSYLVANIA )
COUNTY OF CHESTER )
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED
PROVENI, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE(S) AND SAYS:
SHE/HE IS THE AUTHORIZED REPRESENTATIVE OF FLAGSHIP PENNSYLVANIA PROPCO, LLC WHICH IS A LIMITED LIABILITY CORPORATION AND IS THE EQUITABLE OWNER OF ALL THE PROPERTY ("PROPERTY") TO WHICH THIS PLAN APPLIES AND OF ALL RIGHTS WHICH ARE NECESSARY TO IMPLEMENT THIS PLAN.

CERTIFICATE OF STORMWATER DESIGN

I ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED STORMWATER SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

FLAGSHIP PENNSYLVANIA PROPCO, LLC AUTHORIZED REPRESENTATIVE

CERTIFICATE OF DESIGN

I, ALARIC JAMES BUSHER, A PENNSYLVANIA PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

ALARIC JAMES BUSHER, P.E. DATE

I, ALARIC JAMES BUSHER, ON THIS DATE HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2239, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE.

ALARIC JAMES BUSHER, P.E.

I, THOMAS BRYAN LUDGATE, A PENNSYLVANIA PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE LOT LINES, STREET, RIGHTS-OF-WAY AND EASEMENTS SHOWN ON THIS PLAN WERE SURVEYED AND PLOTTED BY ME AND ARE ACCURATE. I FURTHER CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THAT THE ERROR OF CLOSURE IS NOT GREATER THAN 1:10,000.

THOMAS BRYAN LUDGATE, P.L.S. DATE

BOROUGH OF PHOENIXVILLE

I HEREBY CERTIFY THAT THE BOROUGH OF PHOENIXVILLE PLANNING COMMISSION REVIEWED THIS PLAN AND ISSUED ITS COMMENTS TO BOROUGH COUNCIL PRIOR TO COUNCIL'S ADOPTION OF RESOLUTION \_\_\_\_\_, WHICH APPROVES THIS PLAN AS A FINAL PLAN PURSUANT TO THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

CATHERINE BIANCO PLANNING COMMISSION CHAIRPERSON

WE HEREBY CERTIFY THAT THE BOROUGH COUNCIL OF THE BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA, BY ITS RESOLUTION \_\_\_\_\_, ADOPTED APPROVED THIS PLAN AS A FINAL SUBDIVISION AND/OR LAND DEVELOPMENT PLAN, PURSUANT TO THE BOROUGH'S THEN CURRENT SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE AND THAT THE BOROUGH, ON \_\_\_\_\_, 20\_\_\_\_, HEREBY AUTHORIZES THIS PLAN FOR RECORDING.

E. JEAN KRACK BOROUGH MANAGER JONATHAN EWALD COUNCIL PRESIDENT

BOROUGH ENGINEER'S CERTIFICATION

I, OWEN M. HYNE, A PENNSYLVANIA PROFESSIONAL ENGINEER, HAVE REVIEWED THIS PLAN, FOR THE BOROUGH, AND HAVE DETERMINED THAT IT HAS BEEN AMENDED AS REQUIRED BY BOROUGH RESOLUTION \_\_\_\_\_, AND THAT, BASED ON THE INFORMATION PROVIDED BY THE APPLICANT AND WITH ANY WAIVERS PROVIDED BY THE APPLICANT AND WITH ANY WAIVERS SPECIFICALLY IDENTIFIED AND SHOWN HEREON, THE PLAN COMPLIES WITH THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

OWEN M. HYNE, P.E. DATE

CHESTER COUNTY PLANNING COMMISSION

THIS PLAN OR AN EARLIER VERSION HEREOF WAS REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON \_\_\_\_\_.

CCPC# \_\_\_\_\_ SECRETARY

FOR PERMITTING PURPOSES ONLY NOT RELEASED FOR CONSTRUCTION



1100 First Avenue Suite 104 King of Prussia, PA 19406 (610) 337-3630

PROPOSED SPOTLESS CARWASH 200 KIMBERTON ROAD BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

REGISTRARS: DISC: BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS BOROUGH OF PHOENIXVILLE REVIEW #2 COMMENTS BOROUGH OF PHOENIXVILLE REVIEW #3 COMMENTS

Designed M.M. Drawn S.J.S. Reviewed A.J.B. Scale 1"=20' Project No. 2400636 Date 10/10/2024 CAD File: C2400636-09

Title RECORD PLAN

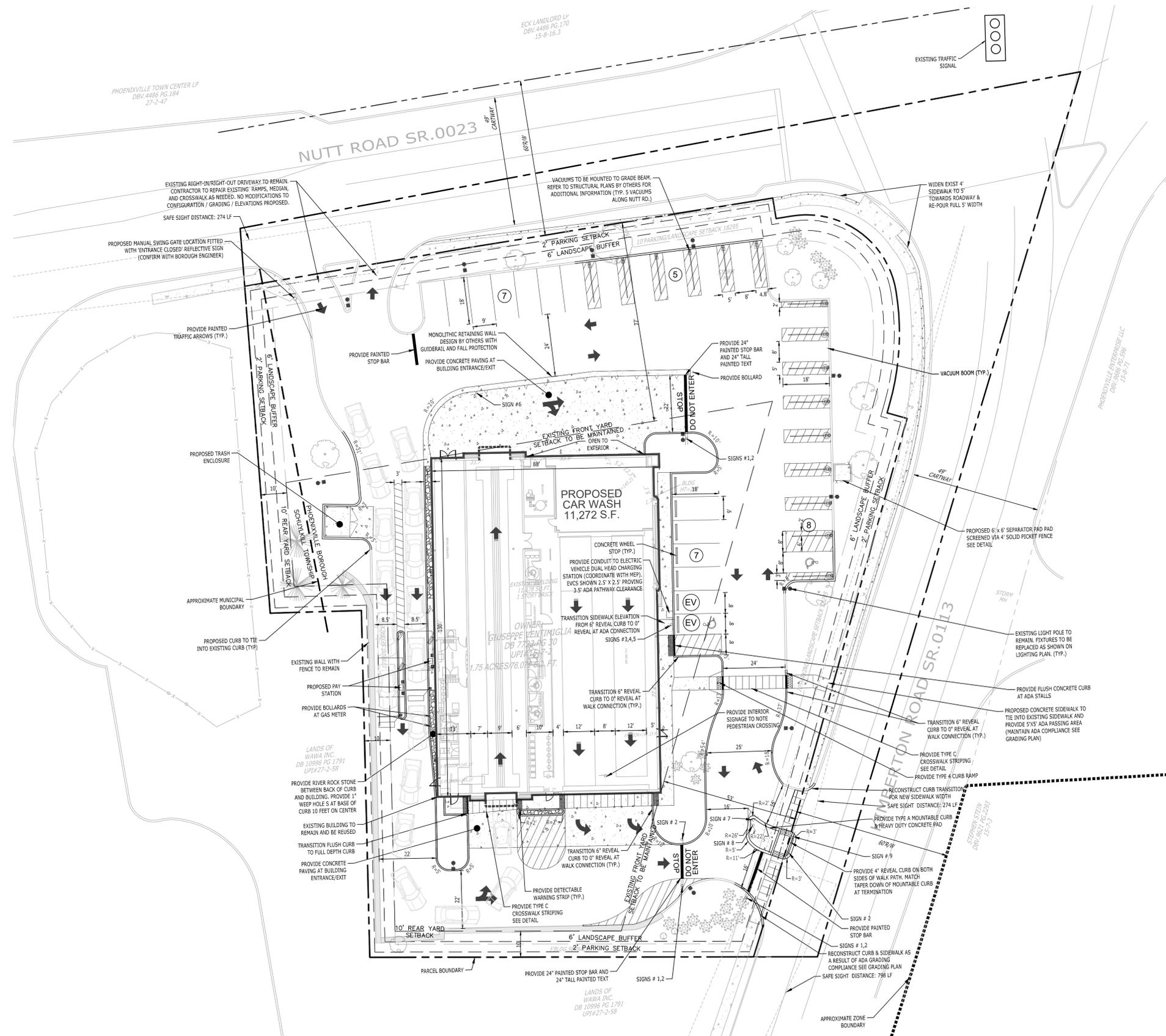
Sheet No. C1.00 5 OF 23

**SITE PLAN LEGEND**

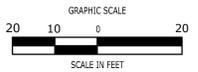
-  PROPERTY LINE
-  MUNICIPAL BOUNDARY
-  ZONE BOUNDARY
-  PROPOSED CURBING
-  PROPOSED CONCRETE
-  PROPOSED RIVER ROCK STONE
-  PROPOSED RETAINING WALL
-  PROPOSED SIGN
-  PROPOSED VACUUM BOOM
-  PROPOSED BOLLARD
-  EXISTING LIGHT POLE
-  PROPOSED BUILDING MOUNTED LIGHT
-  PAINTED TRAFFIC ARROWS
-  PARKING COUNT

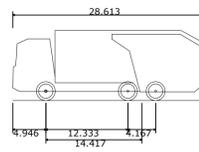
**SIGN LEGEND**

| SIGN NO. | MUTCD NO., SIGN NAME AND SIZE       | LEGEND  |
|----------|-------------------------------------|---|
| 1        | R1-1, STOP SIGN, 30"x30"            |    |
| 2        | R5-1, DO NOT ENTER SIGN, 30"x30"    |    |
| 3        | R7-8, RESERVED PARKING, 12"x18"     |   |
| 4        | R7-RF, VIOLATORS, 12"x18"           |  |
| 5        | R7-RP/R7-Ra, VAN ACCESSIBLE, 12"x6" |  |
| 6        | W1-6R, CHEVRON RIGHT SIGN, 12"x18"  |  |
| 7        | X-R4-7, KEEP RIGHT SIGN, 24"x30"    |  |
| 8        | X-R3-2, NO LEFT TURN SIGN, 24"x24"  |  |
| 9        | X-R4-7A, KEEP RIGHT SIGN, 24"x30"   |  |

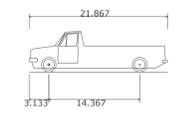


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NOT RELEASED FOR CONSTRUCTION

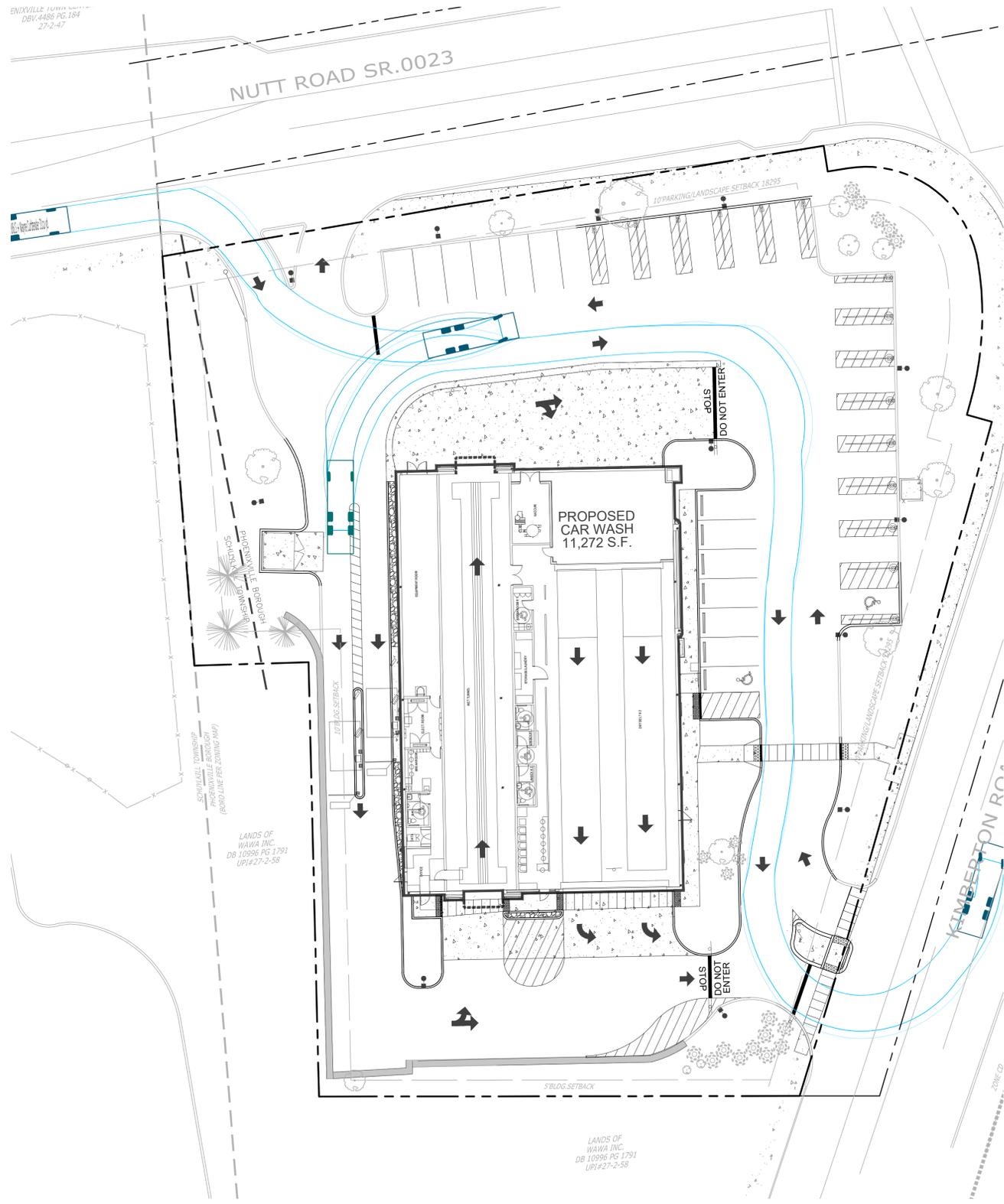




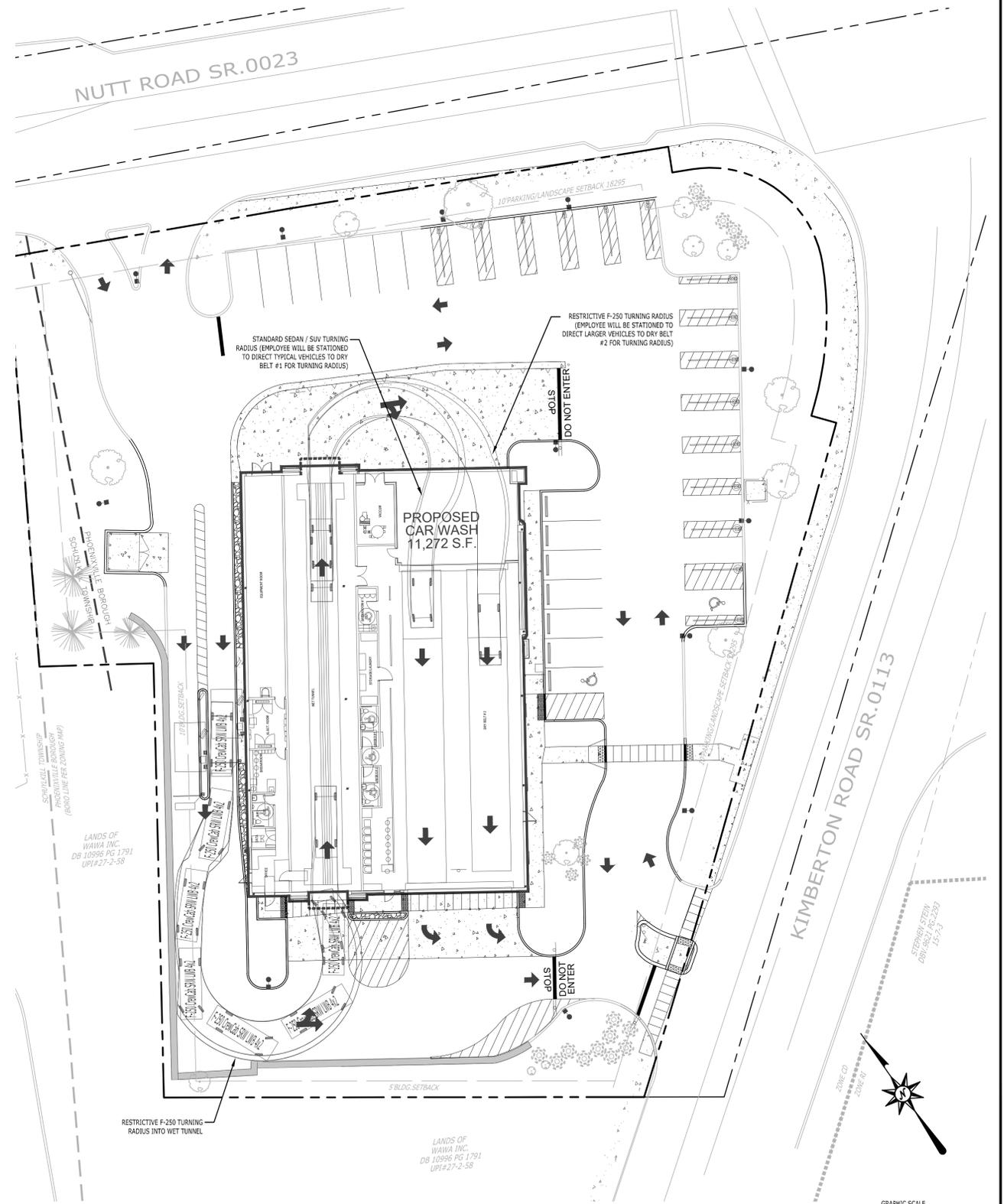
Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd  
 Overall Length 28.613ft  
 Overall Width 8.000ft  
 Overall Body Height 10.481ft  
 Min Body Ground Clearance 1.311ft  
 Track Width 8.000ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 33.500ft



F-250 CrewCab SRW LWB 4x2  
 Overall Length 21.867ft  
 Overall Width 6.553ft  
 Overall Body Height 6.392ft  
 Min Body Ground Clearance 0.583ft  
 Track Width 6.658ft  
 Lock-to-lock time 5.00s  
 Curb to Curb Turning Radius 29.250ft

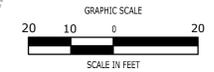


**GARBAGE TRUCK TURNING INSET**



**VEHICULAR TURNING MOVEMENTS**

**FOR PERMITTING PURPOSES ONLY  
 NOT RELEASED FOR CONSTRUCTION**



ENXVILLE TOWNSHIP  
 DBV 4486 PG.184  
 27-2-47

SCHWITZEL TOWNSHIP  
 PHOENIXVILLE BOROUGH  
 (ROAD LINE PER ZONING MAP)

LANDS OF  
 WAHA INC.  
 DB 10096 PG 1791  
 UPI#27-2-58

LANDS OF  
 WAHA INC.  
 DB 10096 PG 1791  
 UPI#27-2-58

SCHWITZEL TOWNSHIP  
 PHOENIXVILLE BOROUGH  
 (ROAD LINE PER ZONING MAP)

LANDS OF  
 WAHA INC.  
 DB 10096 PG 1791  
 UPI#27-2-58

LANDS OF  
 WAHA INC.  
 DB 10096 PG 1791  
 UPI#27-2-58

| REVISIONS | DATE     | BY            | DESCRIPTION                                |
|-----------|----------|---------------|--|
| No. 1     | 12/16/24 | STEPHEN STEIN | BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS |
| 2         | 1/10/25  | STEPHEN STEIN | BOROUGH OF PHOENIXVILLE REVIEW #2 COMMENTS |
| 3         | 3/31/25  | STEPHEN STEIN | BOROUGH OF PHOENIXVILLE REVIEW #3 COMMENTS |

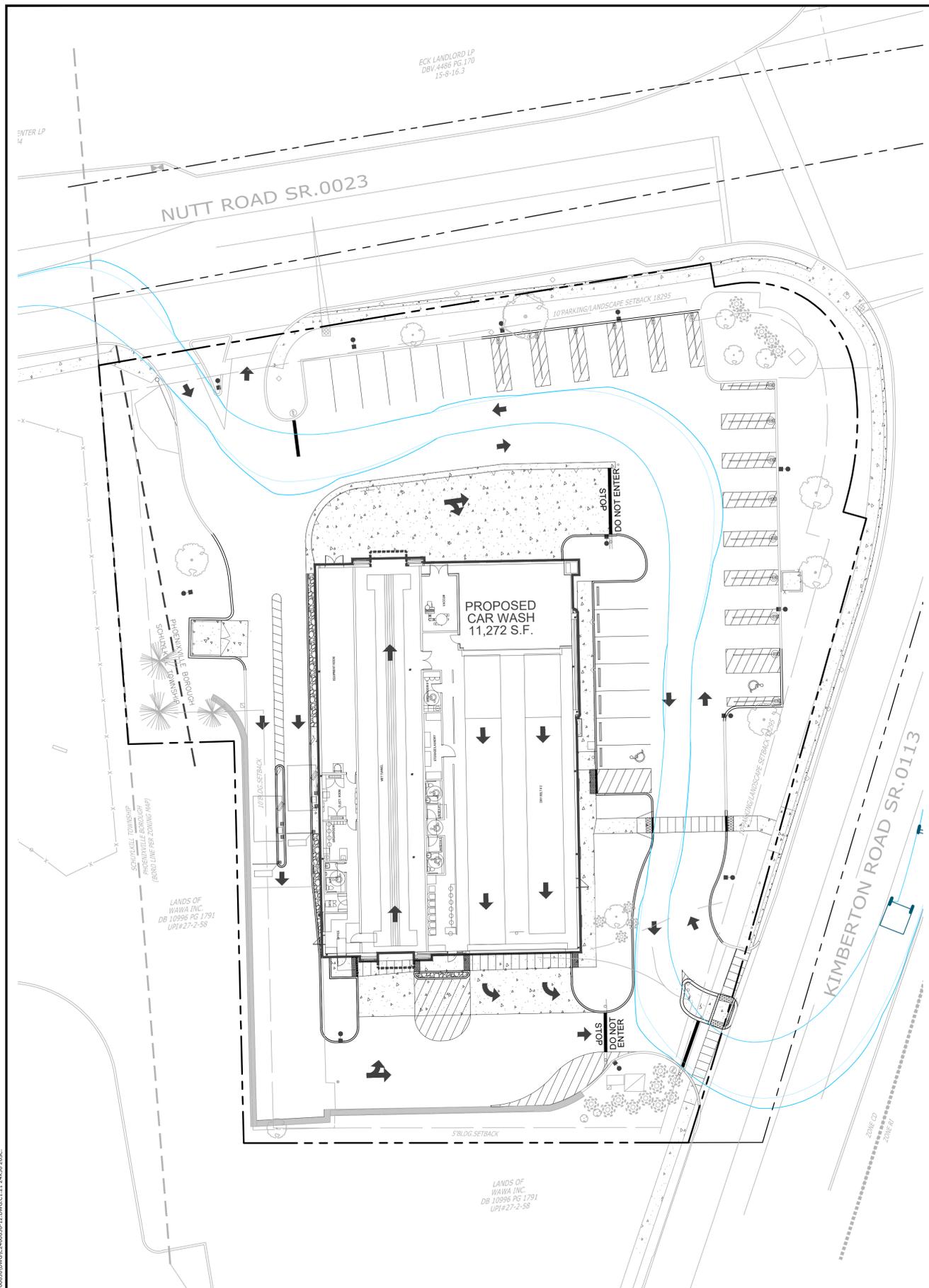
|             |             |
|-------------|-------------|
| Designed    | M.M.        |
| Drawn       | S.J.S.      |
| Reviewed    | A.J.B.      |
| Scale       | 1"=20'      |
| Project No. | 2400636     |
| Date        | 10/10/2024  |
| CAD File:   | C2400636-12 |

Title  
**GARBAGE TRUCK AND VEHICLE TURNING**

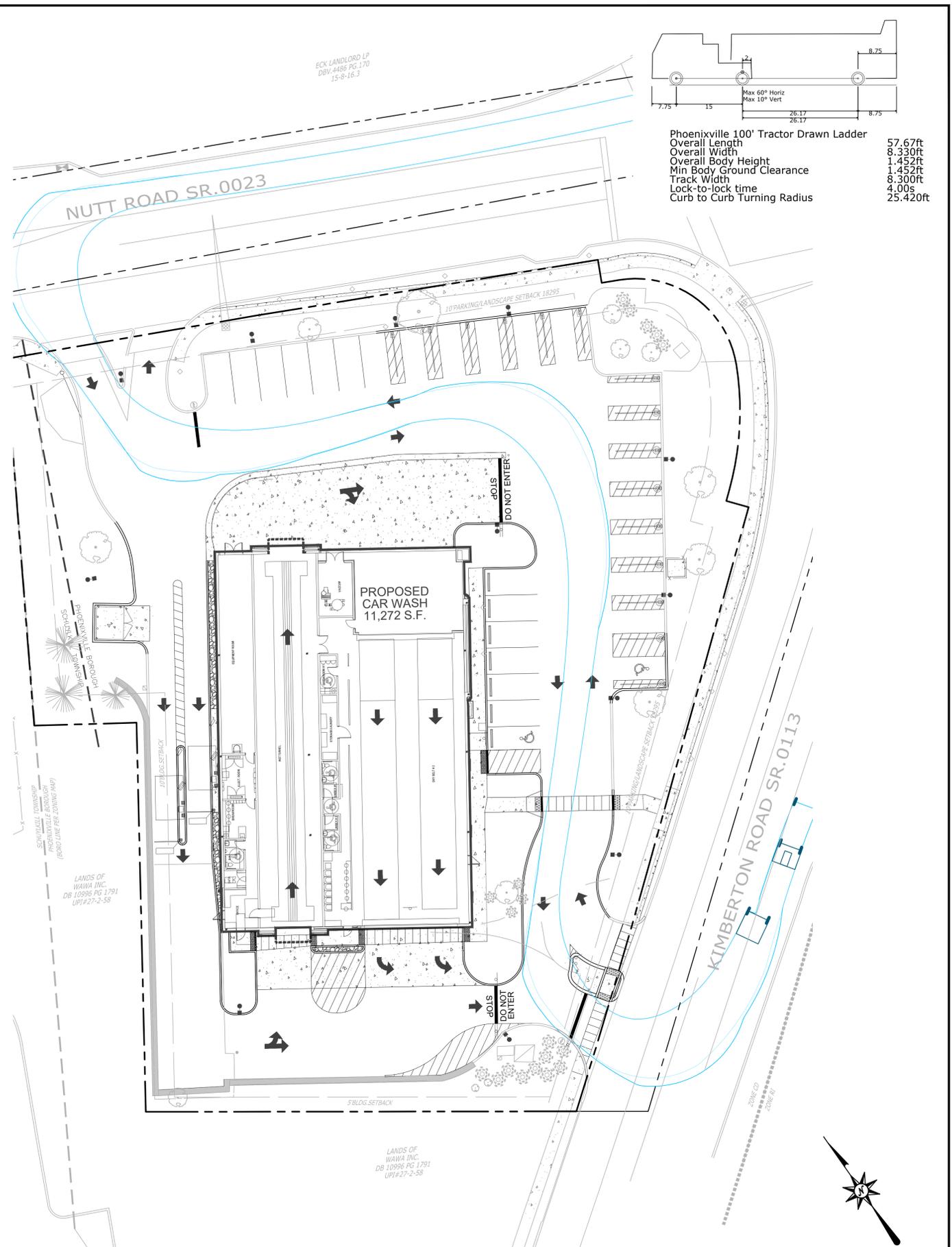
Sheet No.

3/31/2025, 9:04 AM, G:\00524\W03\00524\DWG\C1.20\00524-C1.20-2400636-12.DWG, C1.20 2400636-12

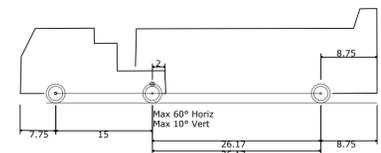
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**EASTBOUND SR 23  
FIRE TRUCK TURNING**

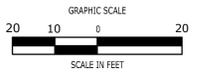


**WESTBOUND SR 23  
FIRE TRUCK TURNING**



Phoenixville 100' Tractor Drawn Ladder  
 Overall Length 57.67ft  
 Overall Width 8.330ft  
 Overall Body Height 1.452ft  
 Min Body Ground Clearance 1.452ft  
 Track Width 8.300ft  
 Lock-to-lock time 4.00s  
 Curb to Curb Turning Radius 25.420ft

**FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION**



**PROPOSED SPOTLESS CARWASH**  
200 KIMBERTON ROAD  
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

| REV | DATE     | DESCRIPTION                                |
|-----|----------|--|
| 1   | 12/16/24 | BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS |
| 2   | 1/10/25  | BOROUGH OF PHOENIXVILLE REVIEW #2 COMMENTS |
| 3   | 3/31/25  | BOROUGH OF PHOENIXVILLE REVIEW #3 COMMENTS |

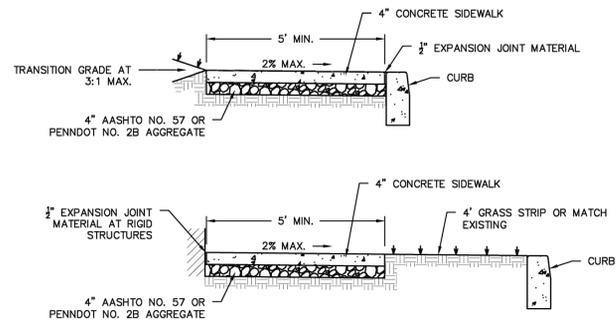
|             |             |
|-------------|-------------|
| Designed    | M.M.        |
| Drawn       | S.J.S.      |
| Reviewed    | A.J.B.      |
| Scale       | 1"=20'      |
| Project No. | 2400636     |
| Date        | 10/10/2024  |
| CAD File:   | C2400636-12 |

Title: **FIRE TRUCK TURNING**

Sheet No.

3/17/2025, 9:04 AM, G:\00524\WAWA\2400636\DWG\C1.21\_2400636-12.DWG, C1.21\_2400636-12

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- NOTES:**
1. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 676 FOR CEMENT CONCRETE SIDEWALKS. EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,750 PSI).
  2. PLACE 3" PREMOLDED EXPANSION JOINT MATERIAL FOR THE FULL DEPTH OF THE SIDEWALK AT JOINTS ADJACENT CURB, BETWEEN SIDEWALK AND CURB, AND BETWEEN SIDEWALK AND RIGID STRUCTURES.
  3. FORM OUTSIDE EDGES AND JOINTS WITH 1/4" RADIUS EDGING TOOL.
  4. PROVIDE ADEQUATE SURFACE DRAINAGE FROM SIDEWALK TO THE TOP OF ADJACENT CURB OR OTHER OUTLET (MIN. 0.5% SLOPE).
  5. INSTALL SIDEWALK IN ACCORDANCE WITH CURRENT ADA STANDARDS.
  6. PROVIDE A LIGHT BROOM FINISH TRANSVERSE TO THE DIRECTION OF TRAVEL.
  7. ALL CONCRETE SHALL BE CURED USING A WHITE PIGMENTED CURING COMPOUND OR OTHER APPROVED METHOD IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 501.
  8. THE MINIMUM AREA OF ANY SIDEWALK REPLACEMENT SHALL EXTEND TO EXISTING CONTROL JOINTS AROUND THE REPLACEMENT.
  9. ALL CONCRETE SHALL BE PROTECTED UNTIL CURED SUFFICIENTLY FOR PEDESTRIAN OR, IF APPLICABLE, VEHICULAR TRAFFIC.
  10. MINIMUM SIDEWALK WIDTH SHALL BE 5 FEET OR SHALL MATCH ADJOINING SIDEWALK WIDTH, IF GREATER.

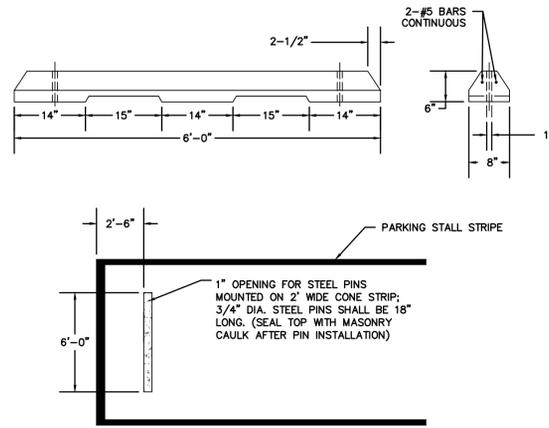
### CEMENT CONCRETE SIDEWALK

N.T.S.

62.1  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA

Supp 44, Dec 2023

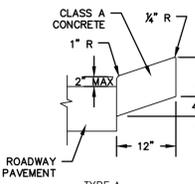
22 Attachment 1:5



- NOTES:**
1. SEE SITE PLAN FOR PARKING SPACE SIZE AND FOR WHEEL STOP LOCATIONS. PAINT WHEEL STOPS OSHA YELLOW.

### WHEEL STOP DETAIL

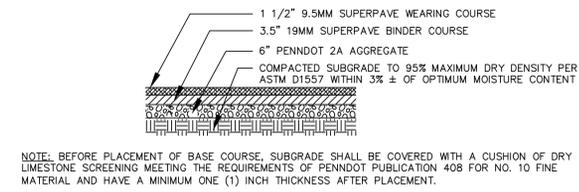
N.T.S.



- NOTES:**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 633.
  2. INSTALL TYPE M INLET WITH CONCRETE MOUNTABLE CURBS AND LOCATE INLET AS SHOWN ON THE DRAWINGS. MAKE THE BACKSLOPE TRAVERSABLE IN THE AREA OF THE INLET AS INDICATED.
  3. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS AND SEAL AS SPECIFIED IN PUBLICATION 408, SECTION 501.3(n).
  4. PLACE PREMOLDED EXPANSION JOINT FILLER MATERIAL 3/4" THICK ADJACENT TO CURBS AND OTHER STRUCTURES AND AT THE END OF THE WORK DAY, CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
  5. PROVIDE ELONGATED ISLANDS NOT LESS THAN 4'-0" WIDE AND 20'-0" LONG, EXCEPT IN SPECIAL CASES WHERE SPACE IS SEVERELY LIMITED.

### PENNDOT MOUNTABLE CURB DETAIL

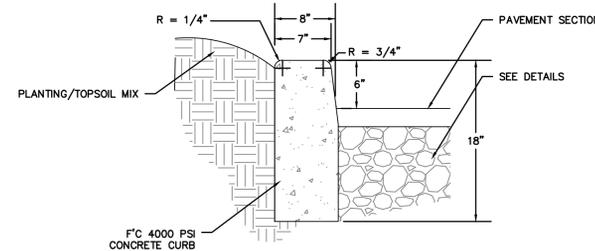
N.T.S.



NOTE: BEFORE PLACEMENT OF BASE COURSE, SUBGRADE SHALL BE COVERED WITH A CUSHION OF DRY LIMESTONE SCREENING MEETING THE REQUIREMENTS OF PENNDOT PUBLICATION 408 FOR NO. 10 FINE MATERIAL AND HAVE A MINIMUM ONE (1) INCH THICKNESS AFTER PLACEMENT.

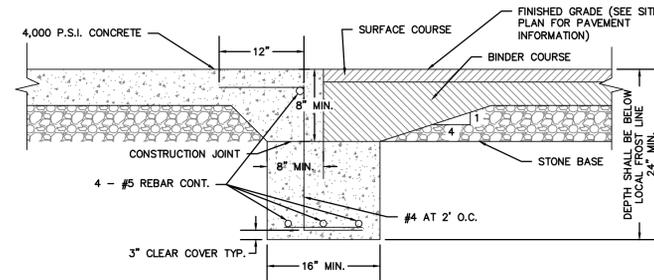
### STANDARD DUTY ASPHALT PAVEMENT

N.T.S.



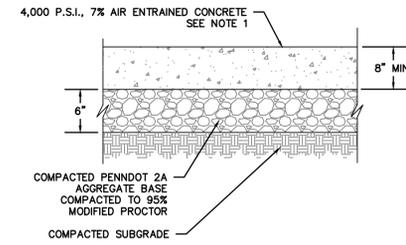
### 6" REVEAL CONCRETE CURB

N.T.S.



### CONCRETE/ASPHALT JOINT DETAIL

N.T.S.

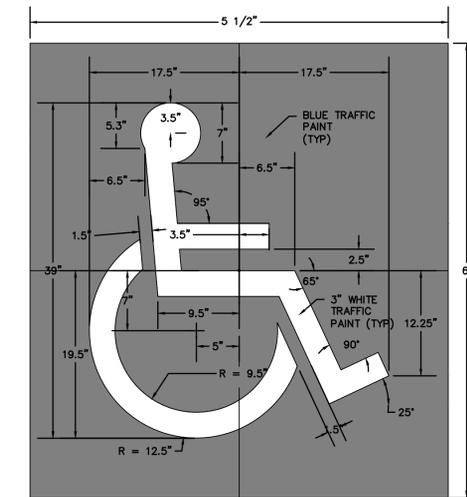


NOTE:  
SEE CONCRETE CONTROL JOINT DETAIL

### HEAVY DUTY CONCRETE PAVEMENT PAD SECTION

N.T.S.

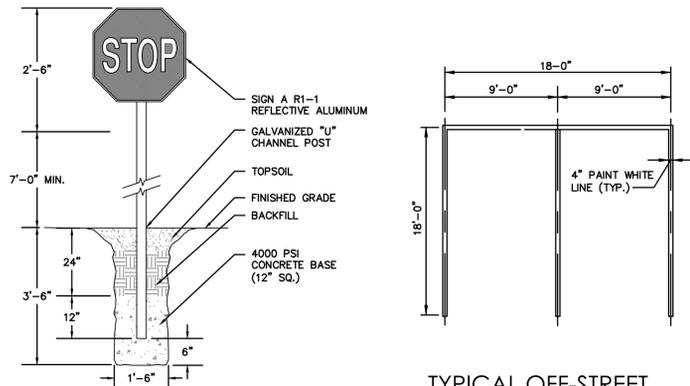
- NOTES:**
1. SLABS SHALL BE TREATED WITH ONE OF THE FOLLOWING:  
- BARRICADE WB24, EUCLID CHEMICAL CO.  
- SS HARDEN X SI, SEALSOURCE INTERNATIONAL, LLC.
  2. REINFORCE CONCRETE WITH MACRO SYNTHETIC FIBER REINFORCEMENT.
  3. F'C=4000 PSI MINIMUM.



### ACCESSIBLE PARKING SYMBOL

N.T.S.

SEE SITE PLAN FOR LOCATIONS



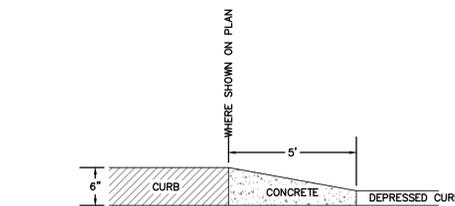
### TYPICAL OFF-STREET PARKING SPACE DETAIL

N.T.S.

- NOTES:**
1. CONSTRUCT SIGN IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.

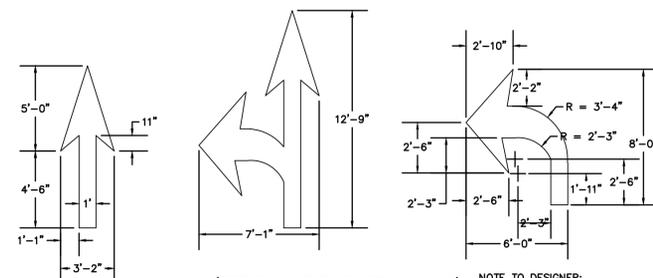
### STOP SIGN DETAIL

N.T.S.



### 6" CURB REVEAL TAPER TO 0" CURB REVEAL TAPER DEPRESSED CURB DETAIL

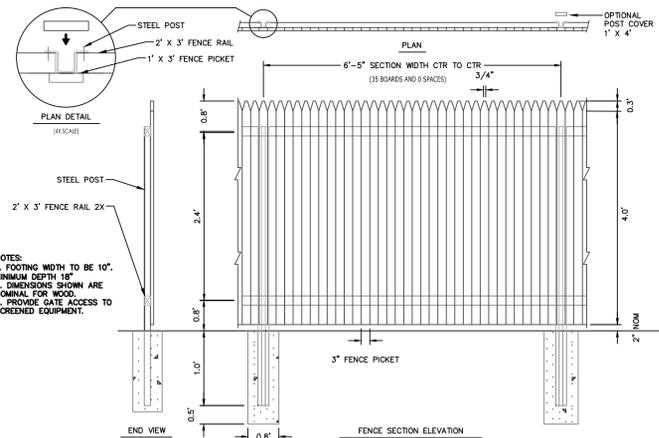
N.T.S.



### PAVEMENT ARROW DETAILS

N.T.S.

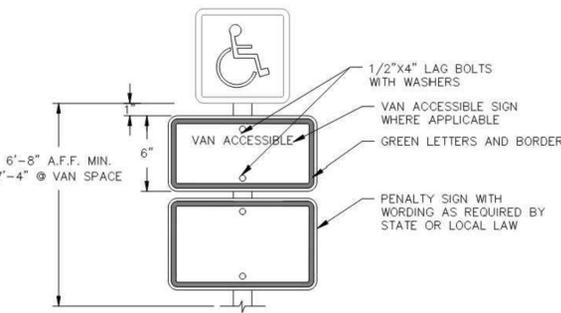
(REFER TO ADJACENT VIEWS FOR DIMENSIONS)  
NOTE TO DESIGNER:  
SCALE TO 6" LONG FOR PARKING LOT APPLICATIONS



### 4" SOLID PICKET FENCE

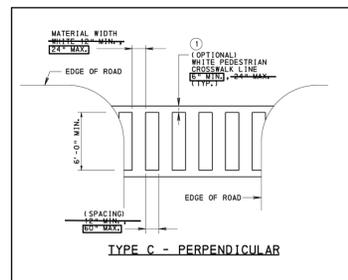
N.T.S.

- NOTES:**
1. FOOTING WIDTH TO BE 10".
  2. DIMENSIONS SHOWN ARE NOMINAL FOR WOOD.
  3. PROVIDE GATE ACCESS TO SORRENTO EQUIPMENT.



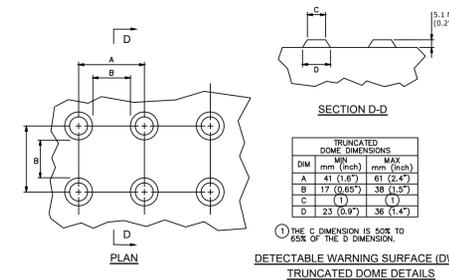
### TYPICAL ADA SIGN DETAIL

N.T.S.



### PENNDOT CROSSWALK DETAIL

N.T.S.



### DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME DETAILS

- NOTES:**
1. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN THE DOMES.
  2. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST (70%) IN LIGHT REFLECTANCE WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT OR SAFETY YELLOW.
  3. PROVIDE DOMES MEETING THE MOST RECENT PENNDOT STANDARDS.

### DETECTABLE WARNING SURFACE DETAIL

N.T.S.

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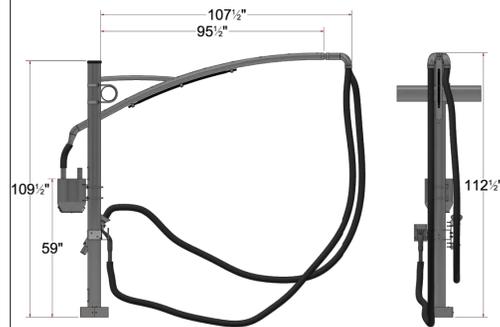
# AVW Standard Vacuum Arch (108 in. Post)(Double)

## VA5129A-2

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### AVW Standard Vacuum Arch (108 in. Post)(Double) - VA5129A-2



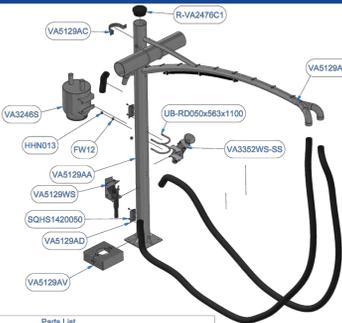
2 of 6

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 Technical Support: [techsupport@avequipment.com](mailto:techsupport@avequipment.com)



### AVW Standard Vacuum Arch (108 in. Post)(Double) - VA5129A-2

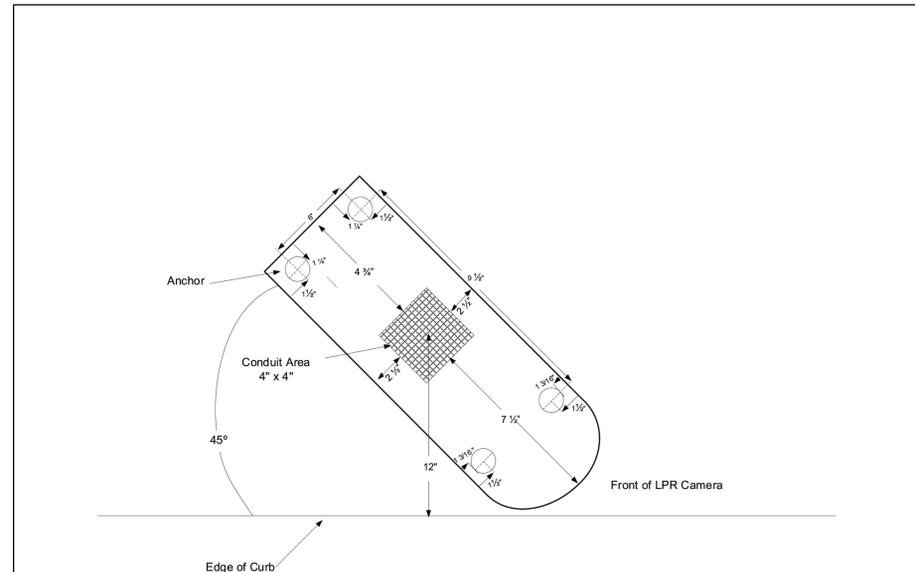


| PART NUMBER       | QTY | DESCRIPTION                                   |
|-------------------|-----|---|
| SQHS1420050       | 4   | 1/4" - 20 x 0.8" UNC Square Screw             |
| VA5129AD          | 2   | Sheet Metal #14Ga. 5.314" x 3.114"            |
| FW12              | 8   | 1/2" Flat Washer                              |
| HN013             | 8   | 1/2"-13 Stainless Steel Hex Nut               |
| R-VA2476C1        | 1   | LHMW Vacuum Cap                               |
| UB-RD050x67x58375 | 2   | Round U-Bolts                                 |
| UB-RD050x63x1100  | 2   | Round U Bolt D 1/2" x 5.98" x 6 1/2" LG       |
| VA3248S           | 1   | VACUUM SEPARATOR - TWO INLETS                 |
| VA332WS-SS        | 1   | Claw Holder (Stainless Steel) - D             |
| VA5129AA          | 1   | Vacuum Arch Post - 5 In Pipe x Sch10 x 108 LG |
| VA5129AC          | 2   | Vacuum Pipe Clamp                             |
| VA5129AV          | 1   | Base Plate Cover Assembly                     |
| VA5129AB-2        | 1   | Vacuum Canopy Top Pipe Assembly               |
| VA5129WS          | 1   | Vacuum Nozzle Holder Assembly                 |

3 of 6

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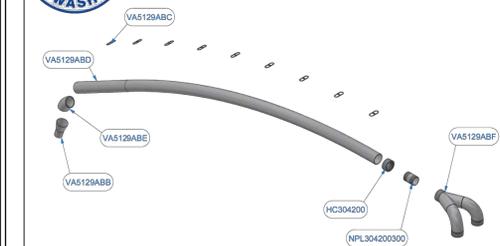
[www.avequipment.com](http://www.avequipment.com)  
 General Inquiries: [info@avequipment.com](mailto:info@avequipment.com)  
 Technical Support: [techsupport@avequipment.com](mailto:techsupport@avequipment.com)



| Micrologic Associates |       | LogicWash LPR |              |
|-----------------------|-------|---------------|--------------|
| 1895 LIS 46           |       |               |              |
| Ledgewood, NJ 07852   |       |               |              |
| P: 973-598-0808       | REV   | FCM NO        | DWG NO       |
| F: 973-598-8969       | SCALE | None          | SHEET 1 OF 1 |



### Vacuum Canopy Top Pipe Assembly - VA5129AB-2



| PART NUMBER  | QTY | DESCRIPTION  |
|--------------|-----|--|
| HC304200     | 1   | Half Coupling - 2 NPT  |
| NPL304200300 | 1   | Nipple - 2" NPT x 3" LG  |
| VA5129ABB    | 1   | Round Tubing 2" OD x .049 Wall x 4 1/2" LG w/ Flared End 2 7/8" OD |
| VA5129ABC    | 9   | D-Rings Canopy   |
| VA5129ABD    | 1   | Pipe - 2 1/2 x Sch10 x 109" LG                                     |
| VA5129ABE    | 1   | 45 Deg Pipe Sweep Elbow - 2 1/2" Pipe Sch40                        |
| VA5129ABF    | 1   | 90 Deg Dual Hose Pipe Splitter w/ Three 2" Couplings               |

4 of 6

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 General Inquiries: [info@avequipment.com](mailto:info@avequipment.com)  
 Technical Support: [techsupport@avequipment.com](mailto:techsupport@avequipment.com)



### Stainless Steel Claw Holder - VA332WS-SS



| PART NUMBER      | QTY | DESCRIPTION                    |
|------------------|-----|--------------------------------|
| VA332WSB         | 1   | Holder Bracket 1 w/Slots       |
| VA332WSA-SS      | 1   | Stainless Steel Vacuum Holder  |
| UB-RD050x563x725 | 2   | Round U-Bolts                  |
| HN004            | 4   | 5/16"-18 Heavy Hex Nut         |
| NFW002           | 4   | 5/16" N Flat Washer            |
| SB3816075        | 2   | SQUARE BOLT - 3/8"-16 x 3/4" L |
| HN3816           | 2   | 3/8"-16 Hex Heavy Hex Nut      |
| NFW003           | 2   | 3/8" N Flat Washer             |
| VA332WSC         | 1   | Holder Bracket 2               |

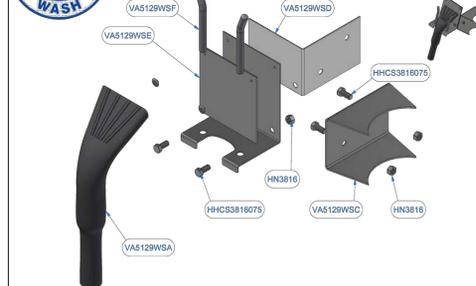
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### Vacuum Nozzle Holder Assembly - VA5129WS

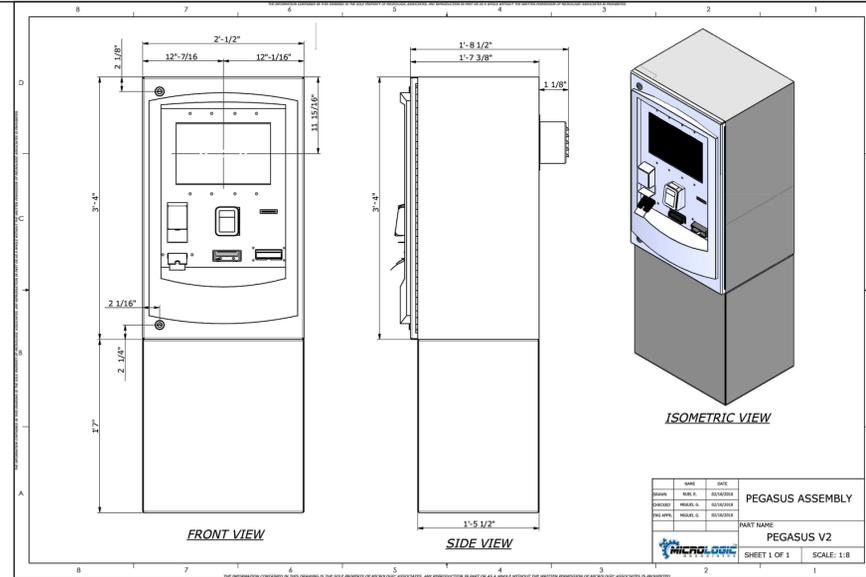


| PART NUMBER | QTY | DESCRIPTION   |
|-------------|-----|---|
| HHC3816075  | 4   | 3/8" - 16 x 3/4" HEX SCREW                          |
| HN3816      | 4   | Hex Nut - 3/8"-16                                   |
| RIVET       | 2   | Rivet 3/16" dia x 1/4" Lg. 5/8" head dia.           |
| VA5129WSA   | 1   | Vacuum Claw Holder                                  |
| VA5129WSC   | 1   | 1/2 Ga. 10.314" x 6"                                |
| VA5129WSP   | 2   | SS Rod 1/2" dia x 6" lg.                            |
| VA5129WSB   | 1   | 14 Ga. 11" x 5 1/2"                                 |
| VA5129WSE   | 1   | 3/32" thk. x 5 1/2" x 5 1/2" Clear Flexible Plastic |
| VA5129WSD   | 1   | 1/4 Ga. 10 11/16" x 3 7/8"                          |

6 of 6

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 105 S 9th Ave, Maywood, IL 60153  
 Phone: 708.343.7738 | Fax: 708.343.9065

[www.avequipment.com](http://www.avequipment.com)  
 General Inquiries: [info@avequipment.com](mailto:info@avequipment.com)  
 Technical Support: [techsupport@avequipment.com](mailto:techsupport@avequipment.com)



| DATE       | BY      | DESCRIPTION            |
|------------|---------|------------------------|
| 06/01/2024 | M.M.    | DESIGN                 |
| 06/01/2024 | S.J.S.  | DRAWING                |
| 06/01/2024 | A.J.B.  | REVIEW                 |
| 06/01/2024 | N.T.S.  | SCALE                  |
| 06/01/2024 | 2400636 | PROJECT NO.            |
| 10/10/2024 |         | DATE                   |
|            |         | CAD FILE: C2400636-100 |
|            |         | TITLE: SITE DETAILS    |
|            |         | SHEET 1 OF 1           |
|            |         | SCALE: 1:8             |



1100 First Avenue  
 Suite 104  
 King of Prussia, PA 19406  
 (610) 337-3630

**PROPOSED SPOTLESS CARWASH**  
 200 KIMBERTON ROAD  
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

Desc: BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS  
 No. 1  
 Date: 12/16/24  
 No. 2  
 Date: 3/21/25

Designed: M.M.  
 Drawn: S.J.S.  
 Reviewed: A.J.B.  
 Scale: N.T.S.  
 Project No: 2400636  
 Date: 10/10/2024  
 CAD File: C2400636-100

Title: SITE DETAILS  
 Sheet No.

C1.102  
 11 OF 23

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3/31/2025, 9:51:00 AM, REVISED, BREVIN, E:\V\85854\042400636\DWG\C2400636-100.DWG, C1.102, 2400636

Rev: 12/16/24, 3/21/25



### WDGE2 LED Architectural Wall Sconce Precision Reflective Optic



|                |  |
|----------------|--|
| Catalog Number |  |
| Notes          |  |
| Type           |  |

Use the Tab key or mouse over the page to see all interactive elements.

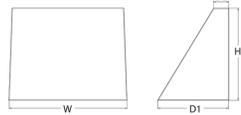
#### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision reflective optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

#### Specifications

**Depth (D1):** 7"  
**Depth (D2):** 1.5"  
**Height:** 9"  
**Width:** 11.5"  
**Weight:** 13.5 lbs (without options)



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect). \*See ordering tree for details.

#### WDGE LED Family Overview

| Luminaire | Optics               | Standard EM, @ C | Cold EM, 20°C | Sensor            | Approximate Lumens (4000K, 80CRI) |        |        |        |        |        |        |    |   |   |
|-----------|----------------------|------------------|---------------|-------------------|-----------------------------------|--------|--------|--------|--------|--------|--------|----|---|---|
|           |                      |                  |               |                   | P0                                | P1     | P2     | P3     | P4     | P5     | P6     | P7 |   |   |
| WDGE1 LED | Visual Comfort       | 4W               | —             | —                 | 750                               | 1,200  | 2,000  | —      | —      | —      | —      | —  | — | — |
| WDGE2 LED | Visual Comfort       | 10W              | 18W           | Standard / nLight | —                                 | 1,200  | 2,000  | 3,000  | 4,500  | 6,000  | —      | —  | — | — |
| WDGE2 LED | Precision Reflective | 10W              | 18W           | Standard / nLight | 700                               | 1,200  | 2,000  | 3,200  | 4,200  | —      | —      | —  | — |   |
| WDGE3 LED | Precision Reflective | 15W              | 18W           | —                 | —                                 | 7,500  | 8,500  | 10,000 | 12,000 | —      | —      | —  | — |   |
| WDGE4 LED | Precision Reflective | —                | —             | Standard / nLight | —                                 | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 | —  | — |   |

#### Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

| Series    | Package         | Color Temperature | CRI   | Distribution             | Voltage             | Mounting         | Shipped included   | Shipped separately  |
|-----------|-----------------|-------------------|-------|--------------------------|---------------------|------------------|--|---|
| WDGE2 LED | P0 <sup>1</sup> | 27K               | 2700K | 70CRI <sup>2</sup>       | T1S Type I Short    | 8000             | SPM Surface mounting bracket   | ANS Architectural wall spacer <sup>3</sup>  |
|           | P1 <sup>1</sup> | 30K               | 3000K | 80CRI                    | T2M Type II Medium  | 347 <sup>4</sup> | ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) | PBBW Surface-mounted back box (top, left, right, conduit entry). Use when there is no junction box available <sup>5</sup> |
|           | P2 <sup>1</sup> | 40K               | 4000K | LW Limited Wavelength    | T3M Type III Medium | 480 <sup>1</sup> |  |   |
|           | P3 <sup>1</sup> | 50K               | 5000K |                          | T4M Type IV Medium  |                  |  |   |
|           | P4 <sup>1</sup> | AMB <sup>6</sup>  | Amber | TFM Forward Throw Medium |                     |                  |  |   |

#### Options

| Options  | Finish                          |
|--|---------------------------------|
| E10WH Emergency battery backup, Certified in CA Title 20 MAECRS (18W, 5°C min)   | DDBRD Dark bronze               |
| E20WK Emergency battery backup, Certified in CA Title 20 MAECRS (18W, -20°C min)   | DDBLD Black                     |
| PE Photocell, Button Type <sup>7</sup>   | DDBAL Natural aluminum          |
| DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)  | DDBWH White                     |
| PIR PIR (100/590) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching                                   | DDBTD Textured dark bronze      |
| PIRH PIRH (100/590) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching                                | DDBLDK Textured black           |
| PIRHCV PIRHCV (100/590) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.   | DDBXD Textured natural aluminum |
| PIRHCV PIRHCV (100/590) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.  | DDBWD Textured white            |
| Networked Sensors/Controls   | DDBSD Textured sandstone        |
| NI2AIR2 PIR Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.                                       |                                 |
| NI2AIR2 PIRH Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.                                     |                                 |
| NI2AIR2M2 PIR Embedded wireless controls by nLight with UL524 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.   |                                 |
| NI2AIR2M2 PIRH Embedded wireless controls by nLight with UL524 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights. |                                 |

See page 4 for out-of-box flexibility

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) WDGE2 LED Rev. 07/08/24



### D-Series Size 0 LED Area Luminaire



|                |  |
|----------------|--|
| Catalog Number |  |
| Notes          |  |
| Type           |  |

Use the Tab key or mouse over the page to see all interactive elements.

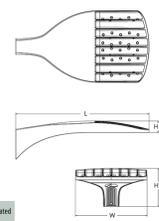
#### Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

#### Specifications

**EPA:** 0.44 ft<sup>2</sup> (0.04 m<sup>2</sup>)  
**Length:** 26.18" (6.65 m)  
**Width:** 14.06" (3.57 m)  
**Height H1:** 2.26" (5.7 m)  
**Height H2:** 7.46" (18.9 m)  
**Weight:** 23 lbs (10.4 kg)



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect). \*See ordering tree for details.

#### Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

| Series   | LEDs           | Color Temperature                                    | Color Rendering Index <sup>1</sup> | Distribution             | Voltage                         | Mounting         | Shipped included  |   |   |  |            |            |            |
|----------|----------------|--|------------------------------------|--------------------------|---------------------------------|------------------|---|---|---|--|------------|------------|------------|
| DSX0 LED | Forward optics | (this section 70CRI only)                            | 70CRI                              | AFR Automotive front row | MVOLT (100V-277V) <sup>11</sup> | Shipped included | SPA Square pole mounting (8" drilling, 3" min. 50 pole) |   |   |  |            |            |            |
|          |                |  |                                    | T1S Type I short         |                                 |                  | TSW Type V wide   | RPA Round pole mounting (8" drilling, 3" min. 80D pole) |   |  |            |            |            |
|          |                |  |                                    | P6 40K 3000K             |                                 |                  | TSW Type V wide   | SPA Square pole mounting (8" drilling, 3" min. 50 pole) |   |  |            |            |            |
|          |                |  |                                    | P7 50K 5000K             |                                 |                  | BC3 Type III backlight control <sup>12</sup>            | RPA Round pole mounting (8" drilling, 3" min. 80D pole) |   |  |            |            |            |
|          |                |  |                                    | Rotated optics           |                                 |                  | (this section 80CRI only, extended lead times apply)    | 80CRI   | T3M Type III medium                         | 240 v.l.v.   | 277 v.l.v. | 347 v.l.v. | 449 v.l.v. |
|          |                |  |                                    |                          |                                 |                  |   |   | T3M Type III medium                         |  |            |            |            |
|          | Rotated optics | (this section 80CRI only, extended lead times apply) | 80CRI                              | T3M Type III medium      | 240 v.l.v.                      | 277 v.l.v.       | 347 v.l.v.  | 449 v.l.v.  |   |  |            |            |            |
|          |                |  |                                    | T3M Type III medium      |                                 |                  |   |   | BC4 Type IV backlight control <sup>12</sup> | SPAS Square pole mounting (8" drilling, 3" min. 50 pole) |            |            |            |
|          |                |  |                                    | T3M Type III medium      |                                 |                  |   |   | BC4 Type IV backlight control <sup>12</sup> | SPAS Square pole mounting (8" drilling, 3" min. 50 pole) |            |            |            |
|          |                |  |                                    | T3M Type III medium      |                                 |                  |   |   | BC4 Type IV backlight control <sup>12</sup> | SPAS Square pole mounting (8" drilling, 3" min. 50 pole) |            |            |            |
|          |                |  |                                    | T3M Type III medium      |                                 |                  |   |   | BC4 Type IV backlight control <sup>12</sup> | SPAS Square pole mounting (8" drilling, 3" min. 50 pole) |            |            |            |
|          |                |  |                                    | T3M Type III medium      |                                 |                  |   |   | BC4 Type IV backlight control <sup>12</sup> | SPAS Square pole mounting (8" drilling, 3" min. 50 pole) |            |            |            |

#### Control options

| Control options   | Other options   | Finish                          |
|---|---|---------------------------------|
| NI2AIR2 PIRH nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 20, 15, 10' | PER7 Seven-pin acceptable only (control ordered separately) <sup>13</sup>               | DDBRD Dark bronze               |
| PER Field adjustable output <sup>14</sup>   | FAO   | DDBLD Black                     |
| BLS0 Bi-level switched dimming, 50% v.l.v.  | BLS0  | DDBAL Natural aluminum          |
| DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>15</sup>                       | DMG   | DDBWH White                     |
| PIR High/lux, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 20, 15, 10'   | L90 Left-rotated optics <sup>1</sup>  | DDBTD Textured dark bronze      |
| PER NEMA twist-lock, acceptable only (control ordered separately) <sup>16</sup>   | R90 Right-rotated optics <sup>1</sup>   | DDBLDK Textured black           |
| PER5 Five-pin acceptable only (control ordered separately) <sup>17</sup>  | CE Coastal Construction <sup>18</sup>   | DDBXD Textured natural aluminum |
|   | HA 50°C ambient operation <sup>19</sup>   | DDBWD Textured white            |
|   | BAA Bay Area (AIA) Art Compliant  | DDBSD Textured sandstone        |
|   | SF Single Size (20, 27, 34, 41) <sup>20</sup>   |                                 |
|   | DF Double Size (20, 240, 480V) <sup>21</sup>  |                                 |
|   | ESGR External Glass Shield (reversible, field install required, matches housing finish) |                                 |
|   | BS08 Best Spikes (field install required)   |                                 |

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com) DSX0 LED Rev. 03/26/24 Page 1 of 9

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**GRADING AND DRAINAGE LEGEND**

- PROPERTY LINE
- LIMIT OF DISTURBANCE (0.85 AC)
- PROPOSED CONTOUR LINE
- PROPOSED SPOT GRADE

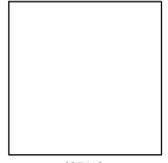
**GRADING AND DRAINAGE NOTES**

1. ELEVATIONS SHOWN HEREON REFERENCE NORTH AMERICAN VERTICAL DATUM (NAVD) 88.
2. CONTRACTOR SHALL VERIFY EXISTING STORMWATER FACILITIES ARE CONSISTENT WITH INFORMATION DEPICTED PLAN.
3. THE BOROUGH OF PHOENIXVILLE IS GRANTED BLANKET EASEMENT TO ENTER THE SITE AND INSPECT STORMWATER BMP'S.
4. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP'S, CONVEYANCES, STORMWATER MANAGEMENT FACILITIES, AREAS OR STRUCTURES UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
5. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE, WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
6. EXISTING SNOUT DEVICES EXISTING ON ALL UPSTREAM CATCH BASINS FROM EXISTING UNDERGROUND INFILTRATION BASIN.

**CERTIFICATE OF DESIGN**

I, ALARIC JAMES BUSHER, ON THIS DATE \_\_\_\_\_, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2022-2359, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE.

ALARIC JAMES BUSHER, P.E.

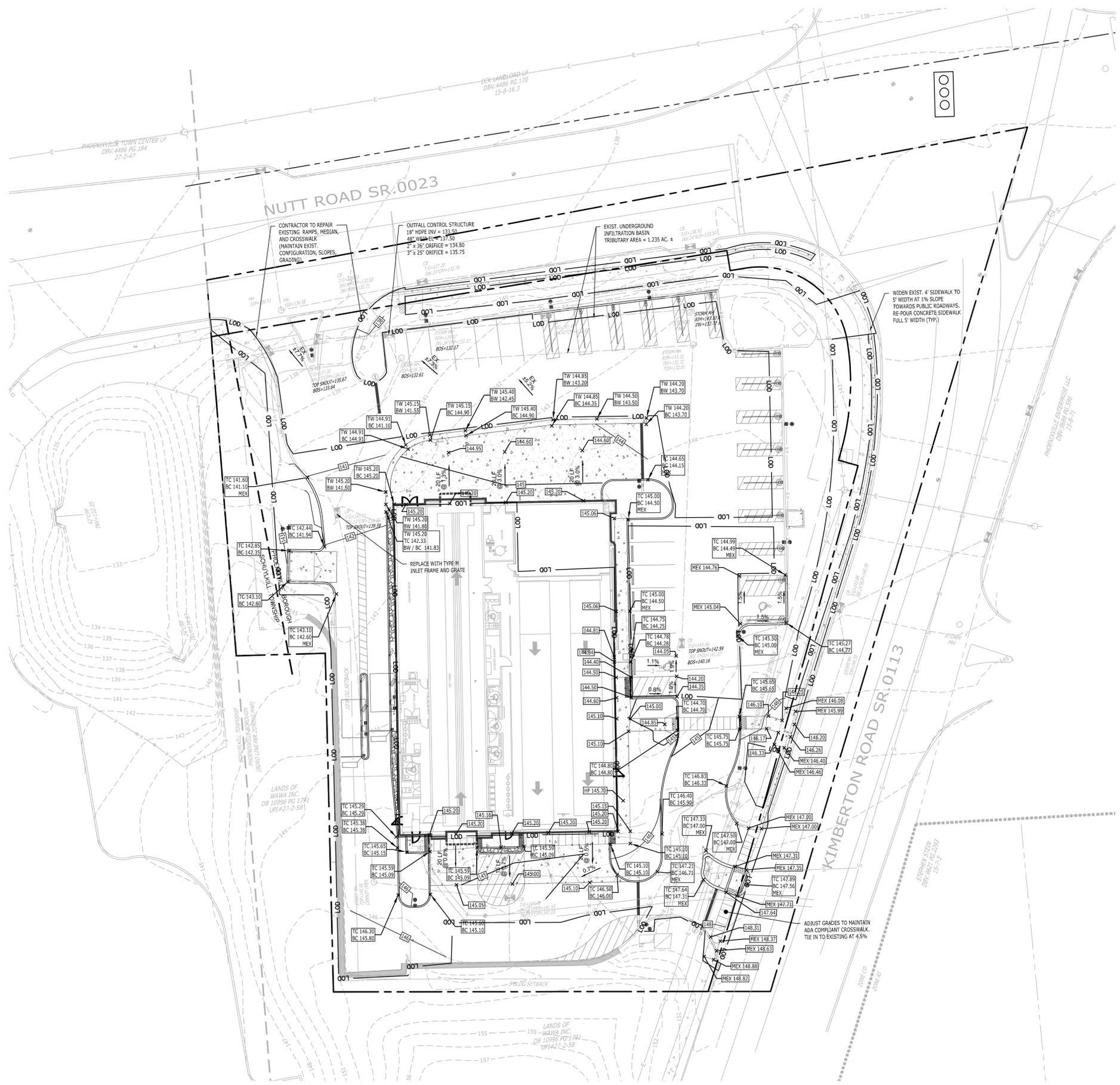


I, \_\_\_\_\_, THE BOROUGH ENGINEER FOR THE BOROUGH OF PHOENIXVILLE, ON THIS DATE \_\_\_\_\_, HAVE REVIEWED AND HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2022-2359, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE.

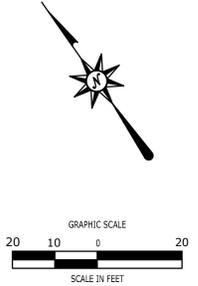
**SUBSURFACE INFILTRATION BASINS & UPSTREAM SNOUT DEVICES**

| OPERATION & MAINTENANCE PROCEDURES  |  | SCHEDULE           |
|---|--|--------------------|
| ACTIVITY  |  |                    |
| INSPECT UPGRADIENT CATCH BASINS AND INLETS FOR DEBRIS TRAPPED BY SNOUT DEVICES. REMOVE DEBRIS AND PROPERLY DISPOSE OF.  |  | ANNUALLY           |
| INSPECT SYSTEM AFTER A RUNOFF EVENT GREATER THAN 0.8 INCHES TO ENSURE THAT RUNOFF DRAINS WITHIN 7 DAYS. IF NOT DRAINING WITH 7 DAYS, ENSURE SYSTEM IS NOT CLOGGED WITH SEDIMENT.                              |  | TWO TIMES PER YEAR |
| INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION OR SPILLS, AND INSTABILITY. RINSE SYSTEM IF NEEDED. LEAF LITTER NEEDS TO BE REMOVED ANNUALLY |  | TWO TIMES PER YEAR |

GENERAL MAINTENANCE NOTES:  
 1. A WRITTEN REPORT DOCUMENTING EACH INSPECTION MUST BE MAINTAINED AND INCLUDE AT A MINIMUM THE DATE OF INSPECTION, EVALUATION SUMMARY WHICH MAY INCLUDE PICTURES AND CORRECTIVE MEASURES TAKEN.  
 2. IN ADDITION TO THE SCHEDULE LISTED ABOVE, THE BMP SHALL ALSO BE INSPECTED WITHIN 7 DAYS AFTER EACH STORM EVENT GREATER THAN THE 1 INCH TO ENSURE PROPER DEWATERING OF THE SYSTEM.



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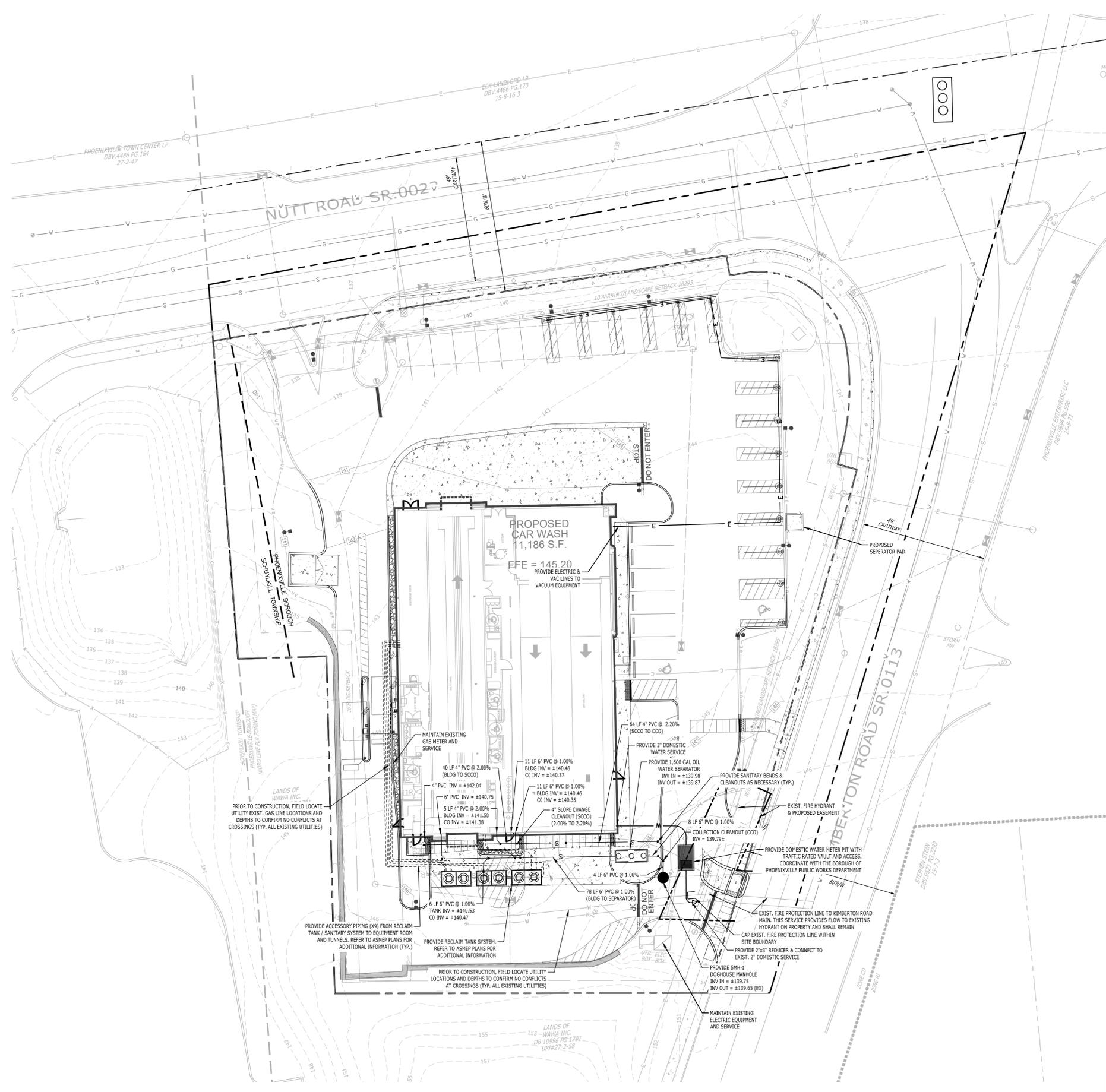
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**SITE UTILITIES LEGEND**

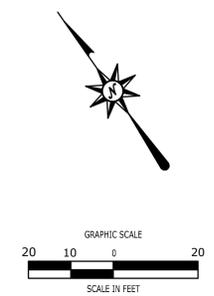
|  |                         |
|--|-------------------------|
|  | PROPERTY LINE           |
|  | LIMIT OF DISTURBANCE    |
|  | ELECTRIC LINE           |
|  | GAS LINE                |
|  | WATER LINE              |
|  | SANITARY SEWER LINE     |
|  | TELECOMMUNICATIONS LINE |
|  | STORM LINE              |

**NOTES**

1. PRIOR TO CONSTRUCTION, FIELD LOCATE EXISTING UTILITY LOCATIONS AND DEPTHS TO CONFIRM NO CONFLICTS AT CROSSINGS.
2. ALL PROPOSED UTILITIES SHOWN SHALL BE INSTALLED UNDERGROUND.
3. ALL INTERNAL WATER AND SEWER LINES ARE CONSIDERED PRIVATE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE.
4. NO PROPOSED WATER OR SEWER INFRASTRUCTURE IS INTENDED TO BE DEDICATED TO THE BOROUGH.
5. RECORD DRAWINGS INDICATE THAT A FIRE PROTECTION LINE WAS INSTALLED ADJACENT TO DOMESTIC WATER SERVICE LINE. CONTRACTOR TO POTHOLE AND CONFIRM LOCATION OF EXISTING FIRE PROTECTION LINE. EXISTING FIRE PROTECTION LINE SERVING THE SITE SHALL BE CAPPED WITHIN PROPERTY BOUNDARY FOR POTENTIAL FUTURE USE.



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1100 First Avenue  
Suite 104  
King of Prussia, PA 19406  
(610) 337-3630

**PROPOSED SPOTLESS CARWASH**  
200 KIMBERTON ROAD  
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

|             |  |
|-------------|--|
| DESIGNED BY | BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS |
| DRAWN BY    | BOROUGH OF PHOENIXVILLE REVIEW #2 COMMENTS |
| CHECKED BY  | BOROUGH OF PHOENIXVILLE REVIEW #3 COMMENTS |

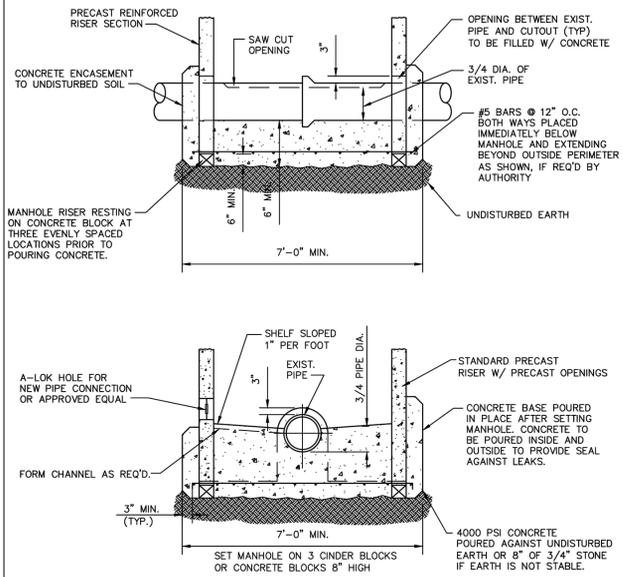
|     |          |           |
|-----|----------|-----------|
| NO. | DATE     | REVISIONS |
| 1   | 12/16/24 |           |
| 2   | 1/10/25  |           |
| 3   | 3/31/25  |           |

Project No. 2400636  
Date 10/10/2024  
CAD File: C2400636-30  
Title UTILITIES PLAN  
Sheet No. C3.00  
14 OF 23

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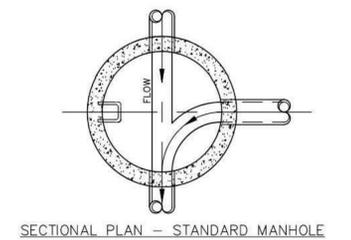




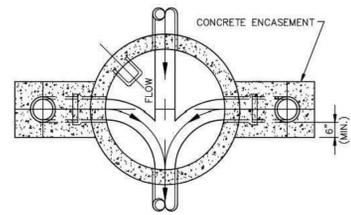
- NOTES:
- EXISTING PIPE TO REMAIN UNTIL SATISFACTORY COMPLETION OF MANHOLE.
  - REMOVE CROWN OF EXISTING PIPE FLUSH WITH CONCRETE SHELF.

**DOGHOUSE SANITARY MANHOLE**  
N.T.S.

**S4**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA



SECTIONAL PLAN - STANDARD MANHOLE

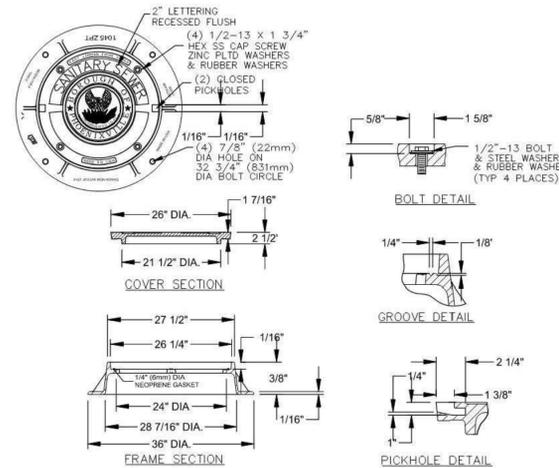


SECTIONAL PLAN - DROP MANHOLE

NOTE: MANHOLE INVERTS OR CHANNELS TO BE PRECAST OR FORMED IN BASE, BY THE INSTALLATION OF CHANNEL PIPE AND FITTINGS, CHANGES IN SIZE, GRADE, AND DIRECTION TO BE MADE SMOOTHLY AND EVENLY WITH AS LARGE OF A RADIUS AS POSSIBLE.

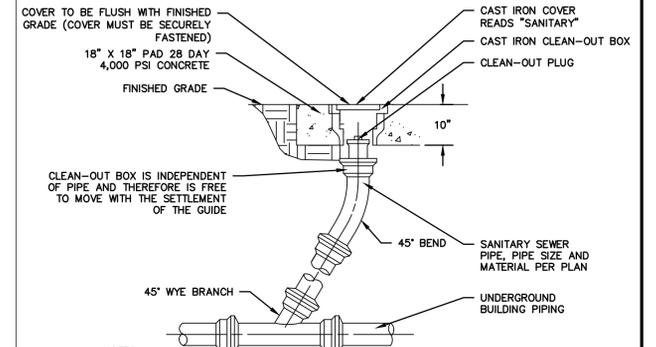
**SECTIONAL PLANS  
STANDARD & DROP SANITARY MANHOLES**  
NOT TO SCALE

**S5**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA



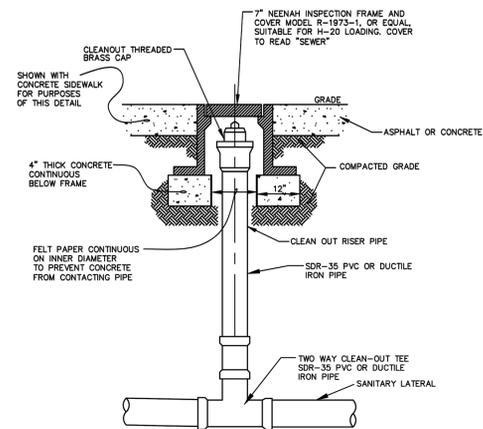
STANDARD SANITARY MANHOLE LID DETAIL  
NOT TO SCALE

**S8**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA



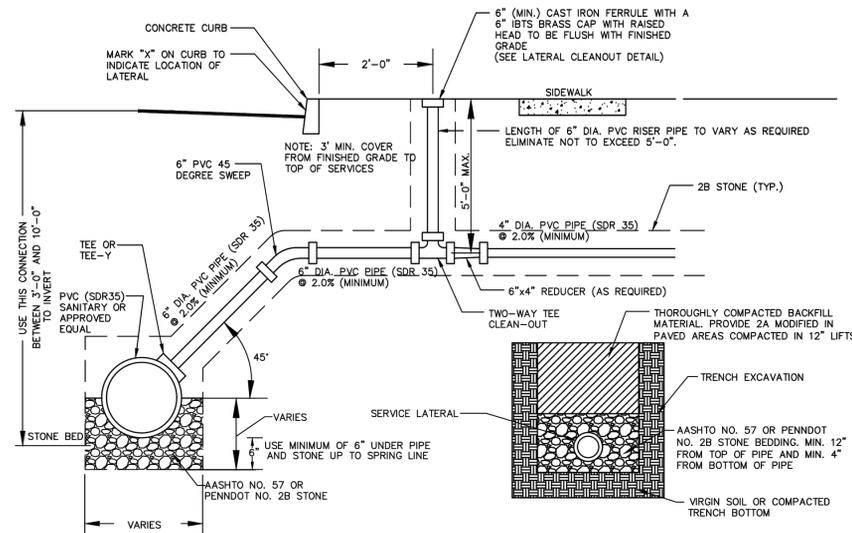
- NOTES:
- USE NON-SHEAR COUPLING TO MAKE CONNECTIONS TO DISSIMILAR MATERIALS. MANUFACTURER NEENAH FOUNDRY R-1970-78 HEAVY DUTY OR APPROVED EQUAL CONTACT 1-800-558-5075.
  - SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.

**CLEANOUT DETAIL**  
N.T.S.



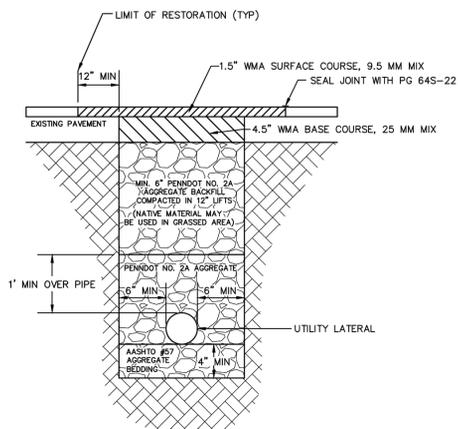
**SANITARY LATERAL CLEANOUT IN  
PAVED AREAS**  
N.T.S.

**S5**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA



**SANITARY LATERAL  
3' TO 10' DEPTH**  
N.T.S.

**S1**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA



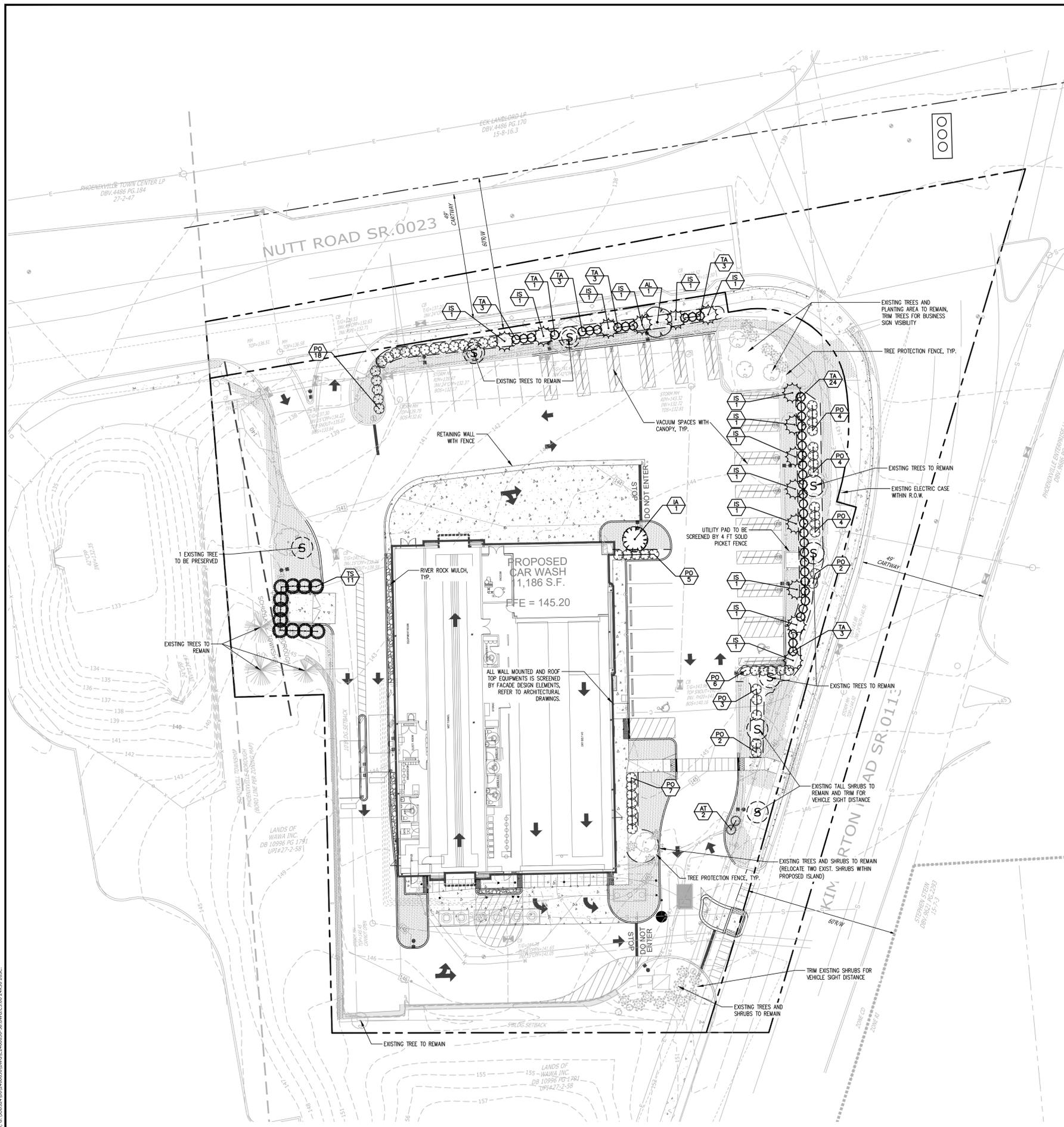
**UTILITY LATERAL TRENCH RESTORATION  
(PERPENDICULAR TO ROADWAY)**  
N.T.S.

NOTE:

- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE WIDTH OF TRENCH.
- 3/4 INCH MAX SLOPE FOR TRENCHES UP TO 8 FEET IN DEPTH.
- TRENCHES IN EXCESS OF 8 FEET DEEP SHALL BE SLOPED OR STEPPED PER OSHA STANDARDS.
- RESTORATIONS ON STATE HIGHWAYS REQUIRE PENNDOT APPROVAL.
- TRENCHES SHALL BE PUMPED THROUGH A FILTER BAG.
- UTILITY PATCHES WITHIN FIVE (5) FEET OF OTHER UTILITY PATCHES SHALL BE JOINED IN ORDER TO LIMIT THE NUMBER OF JOINTS IN THE PAVEMENT. THE PAVEMENT INTERFACE WITH THE CURB IS CONSIDERED A JOINT. PATCHES WITHIN FIVE (5) FEET OF THE CURB SHALL BE EXTENDED TO THE CURB.

**G11**  
CONSTRUCTION DETAILS  
BOROUGH OF PHOENIXVILLE  
CHESTER COUNTY, PENNSYLVANIA

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



| PLANT SCHEDULE SITE     |      |     |                                   |                            |                                     |                |
|-------------------------|------|-----|-----------------------------------|----------------------------|-------------------------------------|----------------|
| SYMBOL                  | CODE | QTY | BOTANICAL NAME                    | COMMON NAME                | SIZE                                | CONTAINER      |
| <b>EVERGREEN SCREEN</b> |      |     |                                   |                            |                                     |                |
| IS                      | 14   | 14  | ILEX OPACA 'SATYR HILL'           | SATYR HILL AMERICAN HOLLY  | 8' MIN. HT.                         | B&B / CONT.    |
| TA                      | 40   | 40  | THUJA OCCIDENTALIS 'ART BOE'      | NORTH POLE ARBORVITAE      | 5' HT.                              | B&B / CONT.    |
| TS                      | 11   | 11  | THUJA OCCIDENTALIS 'SMARAGD'      | EMERALD GREEN ARBORVITAE   | 5'-6' HT.                           | B&B / CONT.    |
| <b>EVERGREEN TREES</b>  |      |     |                                   |                            |                                     |                |
| IA                      | 1    | 1   | ILEX OPACA                        | AMERICAN HOLLY             | 1.5" CAL. 6' HT MIN.                | CONT.          |
| <b>ORNAMENTAL TREES</b> |      |     |                                   |                            |                                     |                |
| AL                      | 1    | 1   | AMELANCHIER LAEVIS                | ALLEGHENY SERVICEBERRY     | 1.5" CAL. 6' HT MIN.                | B&B            |
| <b>SHRUBS</b>           |      |     |                                   |                            |                                     |                |
| AT                      | 2    | 2   | AZALEA X 'SNOW WHITE'             | SNOW WHITE AZALEA          | 3 GAL., MIN. 18"-21" HT. AND SPREAD | CONT. 48" o.c. |
| <b>SCREENING SHRUB</b>  |      |     |                                   |                            |                                     |                |
| PO                      | 55   | 55  | PRUNUS LAUROCERASUS 'OTTO LUYKEN' | OTTO LUYKEN ENGLISH LAUREL | 24" HT.                             | CONT. 48" o.c. |

**LANDSCAPE PLAN LEGEND**

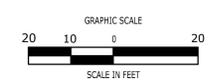
- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PLANTING BED LINE
- [Pattern] LAWN SEED MIX  
SEE SEED MIX NOTES ON SHEET C5.100
- [Pattern] REFRESH AND RESEED EXISTING LAWN AREA
- [Pattern] RIVER ROCK MULCH  
SEE LANDSCAPE DETAIL ON SHEET C5.100

- NOTES:**
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
  - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
  - 4) FOR ALL EXISTING PLANTING AREAS WITHIN THE PROPERTY LINE, THE CONTRACTOR IS RESPONSIBLE TO REPLACE DISEASED OR DEAD TREES AND SHRUBS WITH MATCHING SPECIES.

**ORDINANCE REQUIREMENTS - Borough of Phoenixville Code**

| § 27-406. Buffering/Screening/Street Trees.   | REQUIRED  | PROPOSED  | VARIANCE |
|---|---|---|----------|
| 27-406. 1 Street trees  | Street trees required along Road and Kimberton Road street frontage | All 8 existing street trees to be preserved and 1 new proposed street tree. Totaling 9 street trees   | NO       |
| 27-406. 2 A. Off-street parking and loading areas that can be viewed from public streets shall be screened through the use of landscaping, fencing and/or walls   | Screening off-street parking from street view                       | 3-4 ft tall evergreen screening blw off-street parking spaces and Nutt Road and Kimberton Road street frontage  | NO       |
| 27-406. 2 F. Permanent or pad-mounted mechanical equipment, such as air conditioning and heating units, shall be screened from public views of the property through the use of fencing, walls, landscaping or a combination thereof | Permanent and pad-mounted equipment to be screened                  | Permanent, roof mounted, and pad-mounted equipment's screened by fence, planting and architectural elements. Vacuum poles to be screened by 8 ft tall evergreen trees and vacuum machine (at 5 ft ht.) to be screened by 5 ft tall continuous evergreen screening | NO       |
| 27-406. 2 G. Views of plumbing vent pipes, electric/phone/cable terminals and utility meters in front yards and on front building facades shall be screened or partially screened to help mitigate views of this equipment          | Terminals and meter to be screened                                  | Terminals and meter to be screened by architectural elements  | NO       |

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



**PROPOSED SPOTLESS CARWASH**  
200 KIMBERTON ROAD  
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

DESIGNED BY: PHOENIXVILLE REVIEW #1 COMMENTS  
DRAWN BY: PHOENIXVILLE REVIEW #2 COMMENTS  
CHECKED BY: PHOENIXVILLE REVIEW #3 COMMENTS

REVISIONS  
No. 1  
2  
3

DATE: 12/16/24  
1/10/25  
3/31/25

DESIGNED BY: M.M.  
DRAWN BY: S.J.S.  
REVIEWED BY: A.J.B.  
SCALE: 1"=20'  
PROJECT NO.: 2400636  
DATE: 10/10/2024  
CAD FILE: C2400636-50

# LANDSCAPE NOTES

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, INCLUDING EXISTING TREES TO REMAIN, SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR NINE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE, MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUY'S, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEED) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
- IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL:
  - DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDING AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE TO BE CLEAN, FERTILE, FRAGILE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOL EARTH CLODS, STONES, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
 

|                 |   |
|-----------------|---|
| ORGANIC CONTENT | 3% - 6% FOR LAWN OR GRASS AREAS.          |
|                 | 4% - 8% FOR TREE AND SHRUB PLANTERS.      |
|                 | 8%-16% FOR RETENTION OR DETENTION BASINS. |

 (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)
- PH
 

|    |           |
|----|-----------|
| PH | 6.0 - 7.3 |
|----|-----------|
- NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF NORTH CAROLINA, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
  - LOAM - SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.
  - SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
  - SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
  - SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

- PLANTING AMENDMENTS:
  - APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A PH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.
- PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7 FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.
- INSPECTION AND REVIEW: ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.
- PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)
 

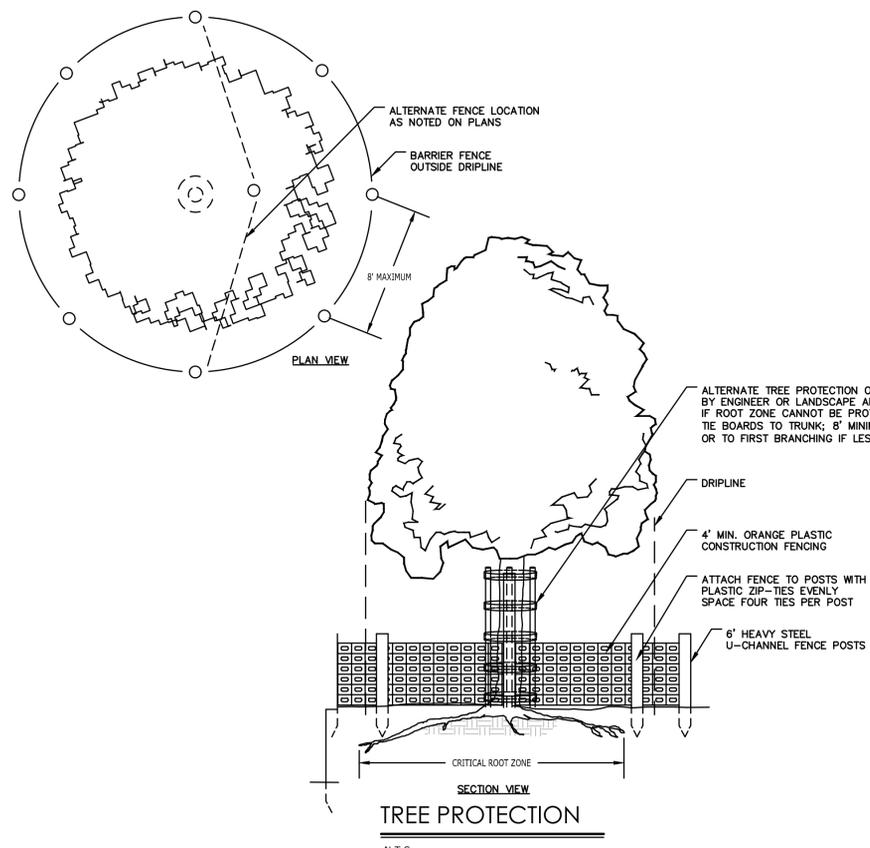
| PLANTINGS | SPRING             | FALL                      |
|-----------|--------------------|---------------------------|
| SEED MIX  | APRIL 1 TO JUNE 15 | SEPTEMBER 1 TO OCTOBER 15 |

 PER MANUFACTURER'S RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES

- ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
- UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDDED WITH THE LAWN SEED MIX.

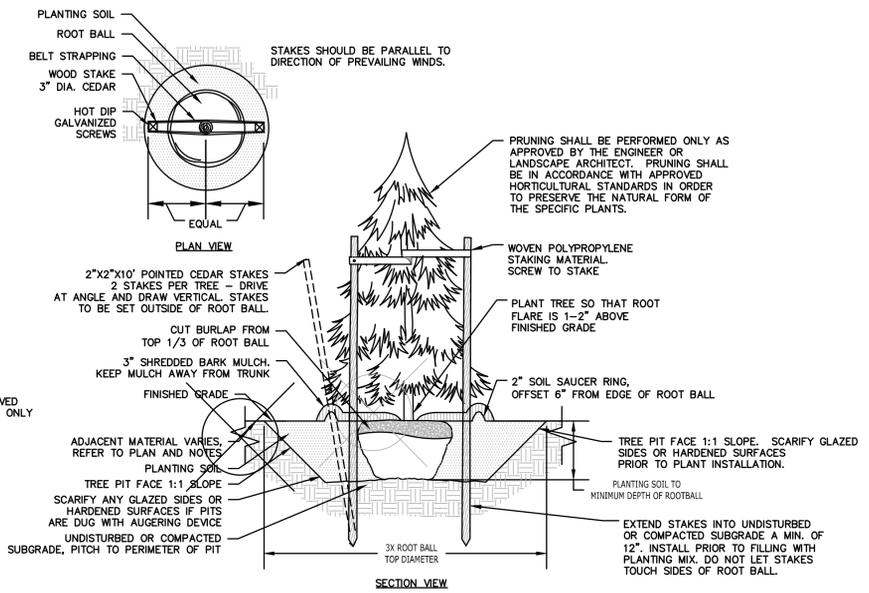
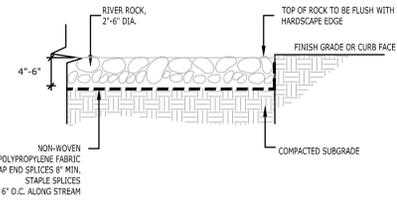
## SEED MIX NOTES

- LAWN SEEDING MIX:
  - 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
  - 25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
  - 60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
  - SEEDING RATE: 5 LBS/1,000 S.F.
  - SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.



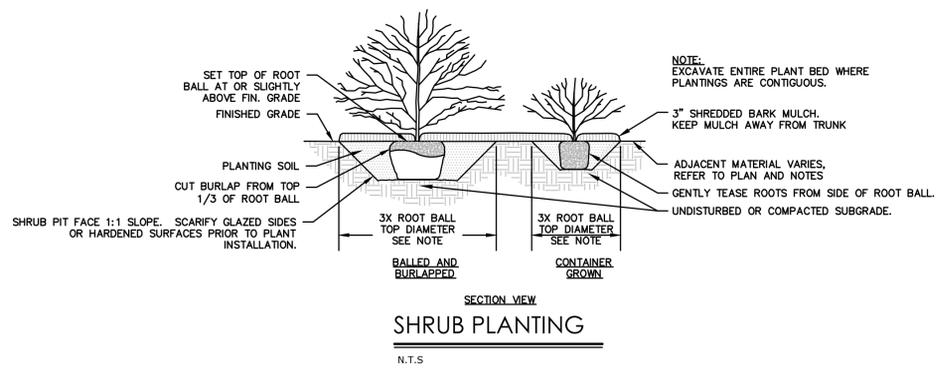
## RIVER ROCK MULCH

N.T.S.



## EVERGREEN TREE PLANTING

N.T.S.



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

| REV. | DATE     | BY | REVISIONS                                  |
|------|----------|----|--|
| 1    | 12/16/24 |    | BOROUGH OF PHOENIXVILLE REVIEW #1 COMMENTS |
| 2    | 1/10/25  |    | BOROUGH OF PHOENIXVILLE REVIEW #2 COMMENTS |
| 3    | 3/31/25  |    | BOROUGH OF PHOENIXVILLE REVIEW #3 COMMENTS |

|             |             |
|-------------|-------------|
| Designed    | M.M.        |
| Drawn       | S.J.S.      |
| Reviewed    | A.J.B.      |
| Scale       | N.T.S.      |
| Project No. | 2400636     |
| Date        | 10/10/2024  |
| CAD File:   | C2400636-50 |

Title  
**LANDSCAPING NOTES AND DETAILS**

Sheet No.

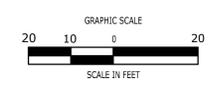
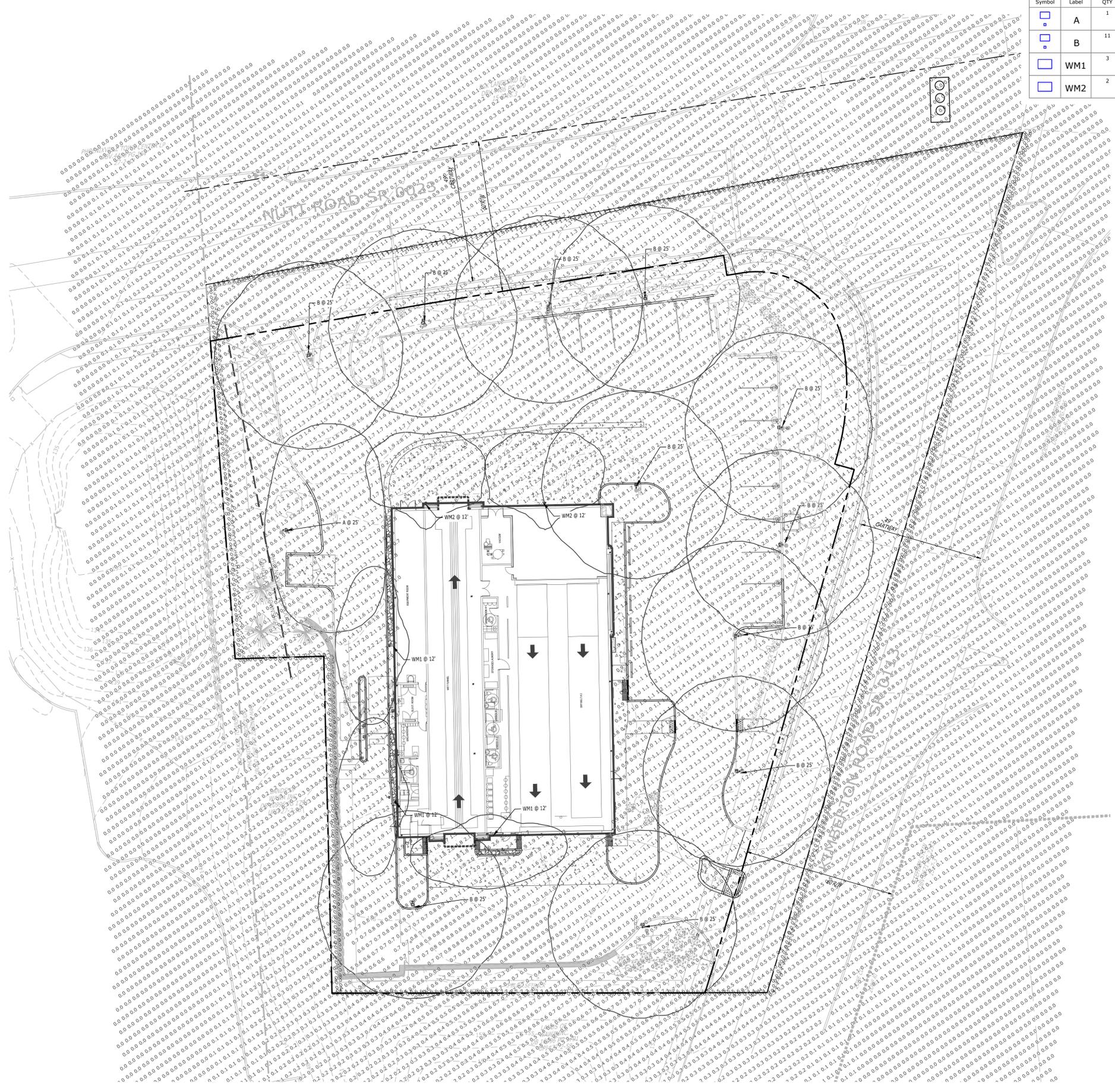
**C5.100**  
18 OF 23

| Symbol  | Label | QTY | Manufacturer      | Catalog                     | Description  | Number Lamps | Lamp Output | LLF | Input Power |
|---|-------|-----|-------------------|-----------------------------|--|--------------|-------------|-----|-------------|
|  | A     | 1   | Lithonia Lighting | DSX0 LED P2 40K 70CRI T3LG  | D-Series Size 0 Area Luminaire P2 Performance Package 4000K CCT 70 CRI Type 3 Low G Rating | 1            | 5521        | 0.9 | 45.14       |
|  | B     | 11  | Lithonia Lighting | DSX0 LED P3 40K 70CRI T5H   | D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 5 Medium       | 1            | 9184        | 0.9 | 68.95       |
|  | WM1   | 3   | Lithonia Lighting | WDGE2 LED P2 40K 70CRI T2M  | WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC                 | 1            | 2326        | 0.9 | 18.9815     |
|  | WM2   | 2   | Lithonia Lighting | WDGE2 LED P2 40K 70CRI TFFM | WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC     | 1            | 2291        | 0.9 | 18.9815     |

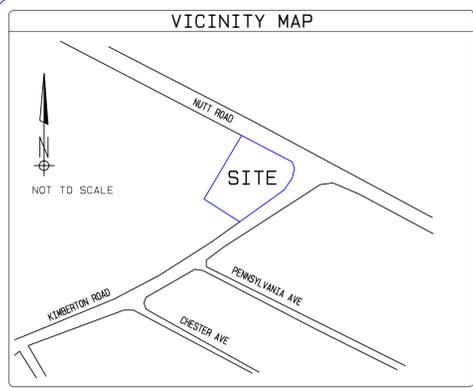
| Description   | Avg    | Max    | Min    | Max/Min | Avg/Min |
|---------------|--------|--------|--------|---------|---------|
| Paved Areas   | 1.5 fc | 2.8 fc | 0.5 fc | 5.6:1   | 3.0:1   |
| Property Line | 0.5 fc | 1.3 fc | 0.0 fc | N/A     | N/A     |
| Sidewalk      | 1.1 fc | 1.7 fc | 0.4 fc | 4.3:1   | 2.8:1   |
| Site          | 0.6 fc | 2.8 fc | 0.0 fc | N/A     | N/A     |

**LIGHTING NOTES**

- EXISTING LIGHT POLES TO BE REUSED OR RELOCATED WITH FIXTURES UPDATED.
- FIXTURES MOUNTED AS NOTED.
- CALCULATIONS TAKEN AT THE GROUND.
- CALCULATIONS ARE ESTIMATIONS BASED ON THE INFORMATION PROVIDED AND MAY VARY WITH ACTUAL CONDITIONS.



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



**BASIS OF BEARING**

Bearings and distances are based on RB.7722 PG.30

S63°09'32"W 355.04'

**OBSERVED SIGNIFICANT OBSERVATIONS**

NONE OBSERVED AT TIME OF SURVEY

**ZONING INFORMATION**

| ITEM                       | REQUIRED   | CONTACT: BL COMPANIES         |
|----------------------------|------------|-------------------------------|
| ZONING DESIGNATION         | CD         | REPORT DATE: 3-12-2024 (MEMO) |
| MINIMUM LOT AREA (SQ. FT.) | 3,000 S.F. | REPORT #: 2400636             |
| MIN. SPACE BETWEEN BLDGS.  | 10'        |                               |
| MINIMUM LOT WIDTH          | 30'        |                               |
| MAX. LOT COVERAGE          | 90%        |                               |
| MAX. BUILDING HEIGHT       | 45'        |                               |
| MINIMUM SETBACKS           |            |                               |
| BUILD TO (FRONT)           | EXISTING   |                               |
| SIDE                       | 5'         |                               |
| REAR                       | 10'        |                               |

**FLOOD INFORMATION**

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "SHADED X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 420287 (MAP NO. 42029C00606), WHICH BEARS AN EFFECTIVE DATE OF 8-29-2017, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "SHADED X" DENOTES AREAS OF 1% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

**NOTES CORRESPONDING TO SCHEDULE "B" ITEMS**

⑦ Notice of Condemnation of Easements, Rights-of-Way and Rights by the Borough of Phoenixville as set forth in Record Book 4618 Page 2260. **AFFECTS SITE, SHOWN**

⑧ Restrictive Covenant by and between Steico, Inc. and SMOB Properties, Inc. as set forth in Record Book 4924 Page 1297. **AFFECTS SITE, NOT A SURVEY MATTER**

⑨ Supplemental Highway Occupancy Permit as set forth in Record Book 7242 Page 2060. **NOT A SURVEY MATTER**

⑩ Subject to all matters shown on the Plan as recorded in the Recorder's Office of Chester County, Pennsylvania in Plan No. 18295. **AFFECTS SITE, RECORD PLAN OF SITE, R/W'S & SETBACKS SHOWN**

**TITLE DESCRIPTION**

All that certain tract or parcel of land and premises lying, being and situate in Phoenixville Borough & Schuylkill Township, Chester County and Commonwealth of Pennsylvania as shown on a Plan of Survey prepared for Kenneth Muma, Esq., prepared by Jeffrey P. Turner, P.L.S., Spring City, Pennsylvania, dated September 15, 1994, Plan Number C-15-07-01, and being more fully described as follows: Beginning at a point in the intersection of Nutt Road, SR. 0023, 60 feet wide and Kimberton Road, SR. 0113, 60 feet wide; thence (1) through the bed of Kimberton Road South 63 degrees 09 minutes 32 seconds West, a distance of 355.04 feet to a point; thence (2) leaving the bed of Kimberton Road along lands now or late of Mary J. Karpel, and passing over a found pipe 29.31 feet from the beginning of this course North 43 degrees 31 minutes 30 seconds West, a distance of 172.82 feet to a point, a found pipe; thence (3) along the same North 45 degrees 09 minutes 20 seconds East, a distance of 153.34 feet to a point, a set pin; thence (4) along the same and crossing the approximate line dividing the Borough of Phoenixville and Schuylkill Township North 45 degrees 06 minutes 09 seconds West, a distance of 25.22 feet to a point, a pipe found; thence (5) along the same North 45 degrees 03 minutes 09 seconds East, a distance of 148.38 feet to a point in the bed of Nutt Road, a PK Nail set; thence (6) through the bed of Nutt Road, and recrossing the approximate line dividing the Borough of Phoenixville and Schuylkill Township, South 53 degrees 58 minutes 20 seconds East, a distance of 329.95 feet to the Point of Beginning. Containing 1.746 acres, more or less. BEING LPT NO. 15-7-2 BEING the same premises which RMP Phoenixville LP, a Pennsylvania limited partnership, by Deed dated October 23, 2008 and recorded July 14, 2009 in Chester County at Record Book 7722 Page 30, granted and conveyed unto Giuseppe Ventimiglia, in fee.

THE SURVEYED PROPERTY IS THE SAME PROPERTY AS SHOWN ON FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1220005-MD61 HAVING AN EFFECTIVE DATE OF APRIL 28, 2024

**TITLE COMMITMENT INFORMATION**

The Title Description and Schedule "B" items are the same as shown on the title commitment provided by FIRST AMERICAN TITLE INSURANCE COMPANY, Commitment No. NCS-1220005-MD61, issued APRIL 28, 2024

**SURVEYOR'S NOTES**

- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, EASEMENTS, SERVITUDES, FOUNDATIONS AND POSSIBLE ENCROACHMENTS ARE BASED SOLELY ON ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- SUBJECT TRACT HAS DIRECT PHYSICAL DRIVEWAY ACCESS TO KIMBERTON RD. & NUTT RD., BOTH A DEDICATED PUBLIC RIGHT-OF-WAY.
- THE DIMENSIONS AND AREA OF THE BUILDING(S) SHOWN ARE BASED ON THE BUILDING'S EXTERIOR FOOTPRINT AT GROUND LEVEL.
- THE POINT OF HEIGHT MEASUREMENT IS IDENTIFIED ON THE SURVEY AND WAS TAKEN FROM THE NEAREST ADJACENT GRADE AT SAID POINT. THIS POINT REPRESENTS THE HEIGHT OF THE STRUCTURE AS OBSERVED FROM GROUND LEVEL.
- NO UNDERGROUND UTILITIES HAVE BEEN LOCATED AND/OR SHOWN ON THIS SURVEY. ONLY VISIBLE AND APPARENT ABOVE GROUND UTILITY APPURTENANCES ARE SHOWN.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, OR BUILDING CONSTRUCTION ON THE SURVEYED PROPERTY.
- THERE ARE NO OBSERVABLE EVIDENCE OF ANY CHANGES IN STREET RIGHT-OF-WAYS OR RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES ON THE SURVEYED PROPERTY.
- ALL RECIPROCAL EASEMENT AGREEMENTS ("REAS") THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON. THE LIMITS OF ANY DISCRETE APPURTENANT EASEMENTS THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON.
- THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OR EXISTENCE OF WELLS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSTANCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
- THE SURVEYED BOUNDARY SHOWN HEREON ARE CONTIGUOUS WITH ADJOINING PROPERTIES AND/OR RIGHTS OF WAY WITHOUT ANY GAPS, GORES OR OVERLAPS.
- NO VISIBLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED.
- THE BEARINGS AND DISTANCES ARE BOTH RECORD AND MEASURED.
- DATUM: NAVD88

|                            |   |
|----------------------------|---|
| <b>BUILDING AREA</b>       | <b>BUILDING HEIGHT</b>                          |
| 11, 178 SQ. FT.            | 26'   |
| <b>LAND AREA</b>           | <b>PARKING</b>                                  |
| 1.75 ACRES/76, 072 SQ. FT. | REGULAR: 43<br>HANDICAP: 2<br>TOTAL PARKING: 45 |

**UTILITY NOTE**

THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV

**SURVEYOR'S CERTIFICATE**

To: First American Title Insurance Company, Flagship Pennsylvania Procco, LLC, a Pennsylvania limited liability company, TCG Senior Funding L.L.C., as Administrative Agent, ISAOA for itself and certain other lenders, ISAOA

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 7(A), 7(B), 8, 9, 11b, 13, 14, 16, 17, 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 5-23-2024.

DATE OF PLAT OR MAP: 6-5-2024

SURVEYOR: THOMAS BRYAN LUDGATE  
SU-053115  
STATE OF PENNSYLVANIA

**PRELIMINARY**

**2021 ALTA/NSPS LAND TITLE SURVEY**

200 KIMBERTON ROAD  
SITE ADDRESS

200 KIMBERTON ROAD  
CHESTER COUNTY  
PHOENIXVILLE, PA 19460

**PARTNER PROJECT NUMBER: 24-449865.3**

**COORDINATED BY**

**PARTNER** CORPORATE OFFICE  
2154 Torrance Boulevard  
Torrance, CA 90501  
Phone: 888-213-7479  
ALTA@partneresi.com  
www.partneresi.com

| DATE     | REVISIONS       | DRAWN BY: PSR         | DRAWING SCALE: 1"=20' |
|----------|-----------------|-----------------------|-----------------------|
| 6-7-24   | TITLE           | CHECKED BY:           | JOB NO.: 7701624      |
| 6-12-24  | COMMENTS        | FILENAME: 7701624.PRO |                       |
| 7-25-24  | COMMENTS        |                       |                       |
| 8-24-24  | EXTRA TOPD INFO |                       |                       |
| 12-16-24 | COMMENTS        |                       |                       |

**SURVEYED BY**

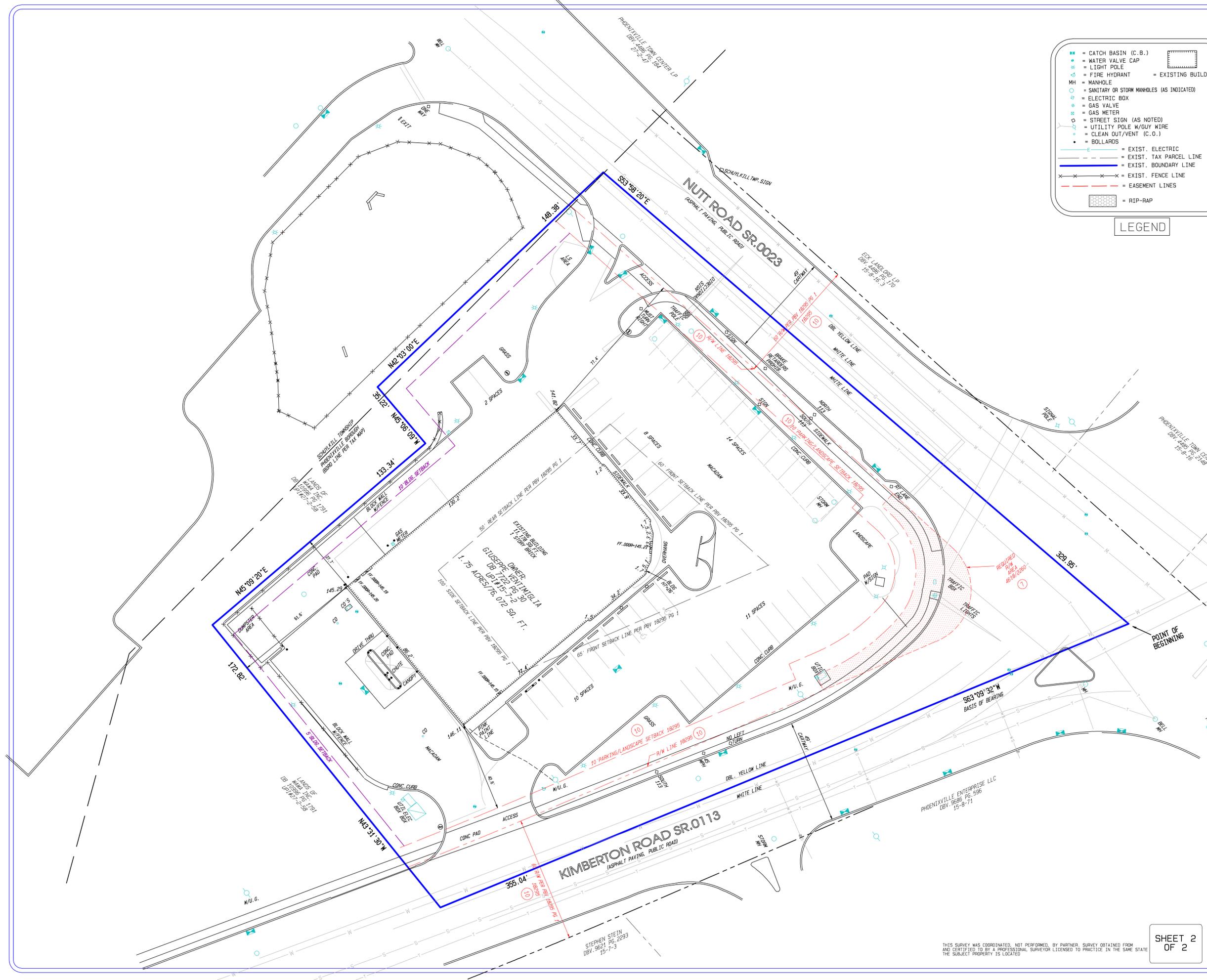
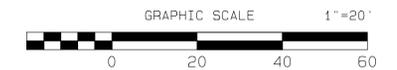
**LUDGATE** ENGINEERING | PLANNING | LAND SURVEYING

LINCOLN CORPORATE CENTER  
10 VANGUARD DRIVE, SUITE 100  
READING, PA 19606  
PHONE: 610/404-7330  
www.ludgate-eng.com

SURVEY PLAN

-  = CATCH BASIN (C.B.)
-  = WATER VALVE CAP
-  = LIGHT POLE
-  = FIRE HYDRANT
-  = MANHOLE
-  = SANITARY OR STORM MANHOLES (AS INDICATED)
-  = ELECTRIC BOX
-  = GAS VALVE
-  = GAS METER
-  = STREET SIGN (AS NOTED)
-  = UTILITY POLE W/GUY WIRE
-  = CLEAN OUT/VENT (C.O.)
-  = BOLLARDS
-  = EXIST. ELECTRIC
-  = EXIST. TAX PARCEL LINE
-  = EXIST. BOUNDARY LINE
-  = EXIST. FENCE LINE
-  = EASEMENT LINES
-  = RIP-RAP
-  = EXISTING BUILDINGS

LEGEND



2021 ALTA/NSPS LAND TITLE SURVEY  
 200 KIMBERTON ROAD  
 SITE ADDRESS  
 200 KIMBERTON ROAD  
 CHESTER COUNTY  
 PHOENIXVILLE, PA 19460  
 PARTNER PROJECT NUMBER: 24-449865.3

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| 9-24-24  | EXTRA TOPO INFO |                       |                       |
| 12-16-24 | COMMENTS        |                       |                       |

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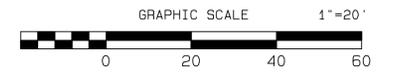
SHEET 2  
 OF 2

THIS SURVEY WAS COORDINATED, NOT PERFORMED, BY PARTNER. SURVEY OBTAINED FROM AND CERTIFIED TO BY A PROFESSIONAL SURVEYOR LICENSED TO PRACTICE IN THE SAME STATE THE SUBJECT PROPERTY IS LOCATED.

STEPHEN STEIN  
 DBV. 9624 PG. 2293  
 15-7-3

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LEGEND



2021 ALTA/NSPS LAND TITLE SURVEY  
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|          |                 |                       |                       |

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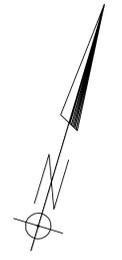
SHEET 3  
 OF 4

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# UTILITY REPORT

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  - = LIGHT POLE
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LEGEND



2021 ALTA/NSPS LAND TITLE SURVEY  
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 200 KIMBERTON ROAD  
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NOTE:  
 UTILITY LOCATIONS IN LOWER LOT NOT CONFIRMED

SHEET 4  
 OF 4

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