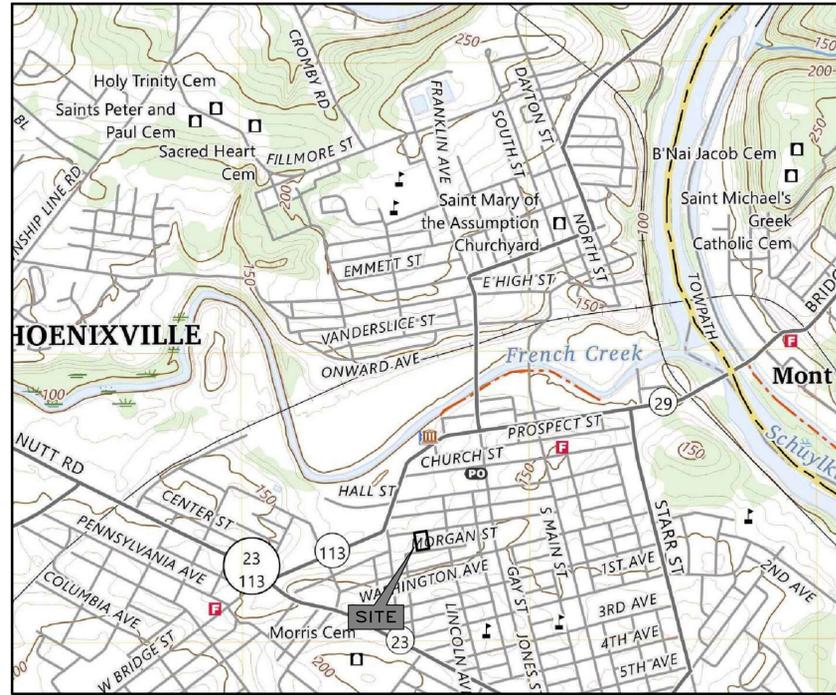


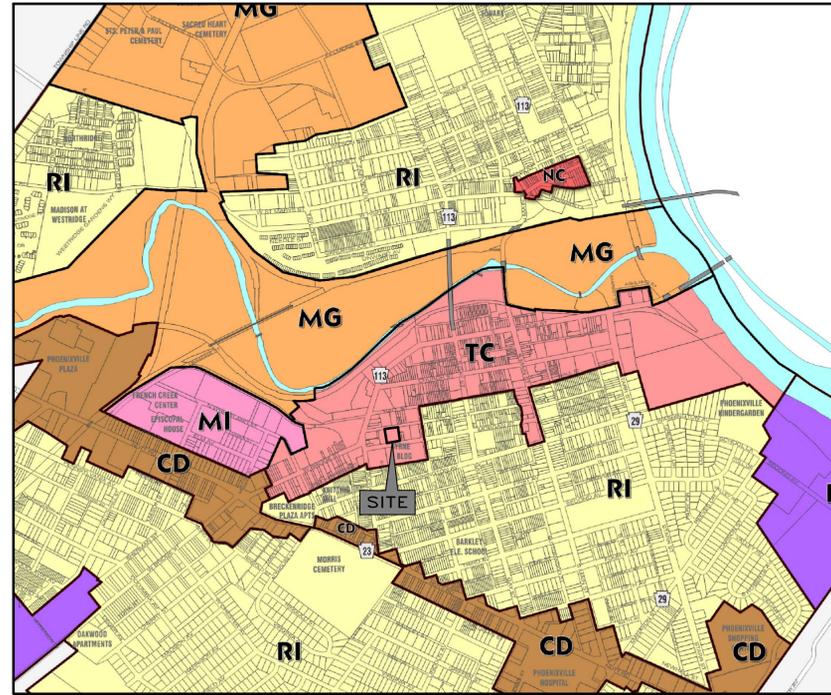
**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
PREPARED FOR**

**217 PIZZA BAGEL, LLC
PROPOSED MULTI-FAMILY RESIDENTIAL APARTMENTS**

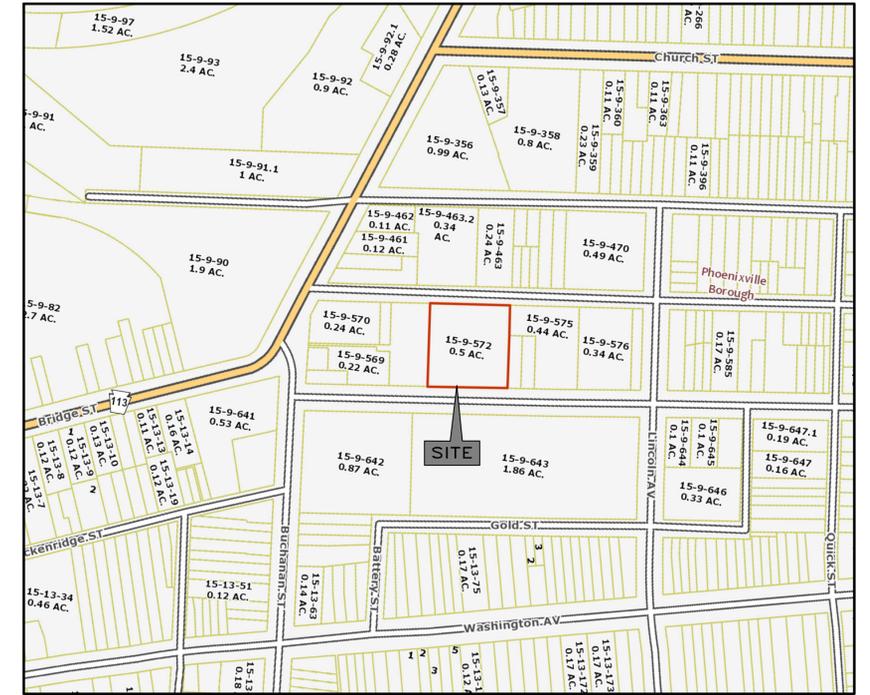
**375 MORGAN STREET
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY
COMMONWEALTH OF PENNSYLVANIA**



USGS MAP - PHOENIXVILLE QUADRANGLE
1" = ±1,000'



ZONING MAP
1" = ±1,000'



TAX MAP
1" = 80'

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS & DEMOLITION PLAN
- RECORD PLAN
- GRADING PLAN
- UTILITY PLAN
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS
- EROSION AND SEDIMENT CONTROL NOTES
- LANDSCAPING PLAN
- CONSTRUCTION DETAILS
- STORMWATER MANAGEMENT CONSTRUCTION DETAILS
- BOROUGH CONSTRUCTION DETAILS
- BOROUGH CONSTRUCTION DETAILS (2)
- LIGHTING PLAN & DETAILS

OWNER/APPLICANT

217 PIZZA BAGEL, LLC
515 SKYLARK LANE
DRESHER, PA 19025

STATEMENT OF INTENT

THE PROJECT SITE CONSISTS OF ONE (1) PARCEL IN THE TC (TOWN CENTER) ZONING DISTRICT AND CONTAINS AN EXISTING 4-STORY BUILDING WITH ASSOCIATED DRIVE, WALKS, WALLS, AND OTHER RELATED FEATURES CURRENTLY BEING UTILIZED FOR COMMERCIAL USE. THE PROJECT PROPOSES THE INTERIOR RENOVATION OF AFOREMENTIONED 4-STORY BUILDING TO PROVIDE MULTI-FAMILY RESIDENTIAL USE. THE PROJECT PROPOSES THE DEMOLITION / REMOVAL OF THE OTHER AFOREMENTIONED SITE FEATURES (INCLUDING DRIVE WALKS, WALLS, AND OTHER RELATED FEATURES) TO FACILITATE THE DESIGN OF A NEW THROUGH MOVEMENT DRIVE, PARKING, RETAINING WALLS, WALKS, UTILITIES, STORMWATER MANAGEMENT, AND OTHER SITE IMPROVEMENTS. THE PURPOSE OF THIS PLAN IS TO DETERMINE ANY NECESSARY ZONING VARIANCES, SALDO WAIVERS, OR OTHER RELIEF REQUIRED FOR THE CONSTRUCTION OF THE DEPICTED PROPOSED FEATURES SHOWN HERE WITHIN.

REFERENCE PLANS

- BOUNDARY & TOPOGRAPHIC SURVEY OF 375 MORGAN STREET, PREPARED BY WILKINSON & ASSOCIATES, INC., PREPARED FOR CHRIS IMPERATO, DATED 01/25/2023, LAST REVISED 03/05/2024, PROJECT # 2022-361.
- PLAN ENTITLED "0-8 UTILITY MAPPING MORGAN STREET 375 MORGAN STREET PHOENIXVILLE, PA," PREPARED BY SOFTDIG UNDERGROUND SERVICES, INC., PREPARED FOR WILKINSON APEX, DATED 10/17/2023, PROJECT # 137840.

<p>Dial 8-1-1 or 1-800-242-1778 not less than 3 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at www.pennstatecall.org. Pennsylvania One Call System Serial Number 2023.3401370, 2022.3632057</p>								
	<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td>1</td> <td>06/20/24</td> <td>PER BOROUGH CONSULTANTS' REVIEW</td> <td>BAM</td> </tr> </table>	REV	DATE	DESCRIPTION	BY	1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW
REV	DATE	DESCRIPTION	BY					
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM					

<p>PROJECT:</p> <p>375 MORGAN STREET PHOENIXVILLE, PA 19460</p> <p>BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA</p> <p>PREPARED FOR:</p> <p>217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025</p>
--

<p>PLAN TITLE:</p> <p>PRELIMINARY/FINAL LAND DEVELOPMENT</p> <p>SHEET TITLE:</p> <p>COVER SHEET</p>

<p>PREPARED BY:</p> <p></p> <p>374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400</p>
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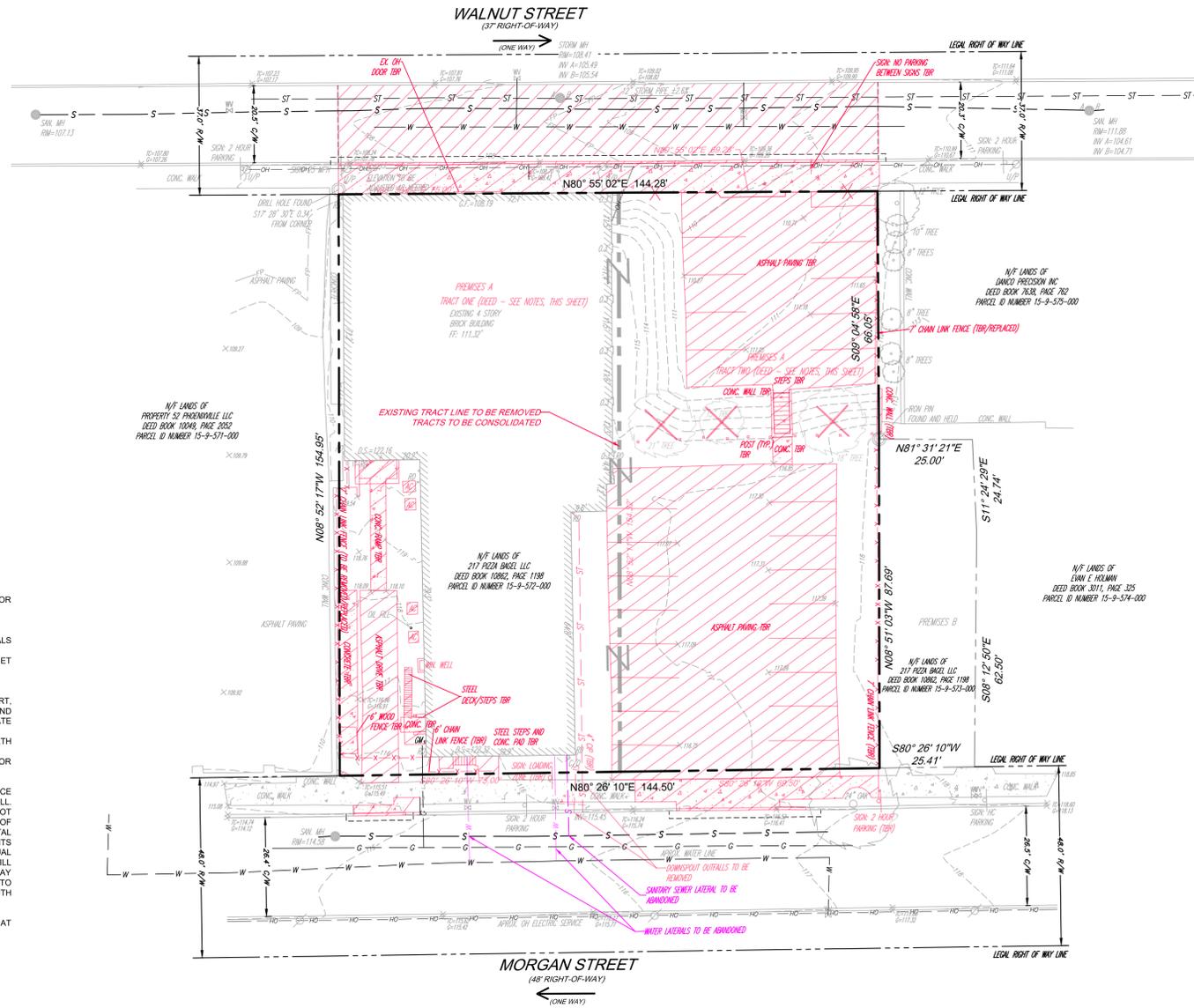
<p>DESIGNED:</p> <p>BAM</p>	<p>PROJECT #</p> <p>2023-617</p>
<p>CHECKED (PM):</p> <p>JCM</p>	<p>SHEET #</p> <p>1 OF 14</p>
<p>DATE:</p> <p>04/04/24</p>	
<p>SCALE:</p> <p>AS SHOWN</p>	

J:\PROJECTS\2023\20230617 - 375 Morgan Street Road\DWG\20230617 - 375 Morgan Street - LD Set.dwg

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.



DEMOLITION NOTES:

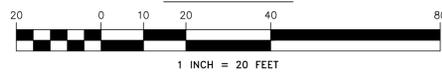
- IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE APPLICANT.
- THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
- ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY EXISTING WATER AND SEWER SERVICES SCHEDULED TO BE ABANDONED SHALL BE CAPPED AT THE MAIN.

UTILITY NOTES

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20223632057

- COMPANY: PHOENIXVILLE BOROUGH
 ADDRESS: 351 BRIDGE ST
 PHOENIXVILLE, PA. 19460
 CONTACT: BRIAN WATSON
 EMAIL: BWATSON@PHOENIXVILLE.ORG
 PHONE: 610-933-8801
- COMPANY: COMCAST
 ADDRESS: 1250 HADDONFIELD-BERLIN ROAD
 CHERRY HILL, NJ 08034
 CONTACT: WYATT PARRISH
 EMAIL: WYATT_PARRISH@CABLE.COMCAST.COM
 PHONE: 484-398-4391
- COMPANY: PECON EXELON COMPANY C/O USIC
 ADDRESS: 450 HENDERSON ROAD SUITE B
 KING OF PRUSSIA, PA. 19046
 CONTACT: NIKKIA SIMPKINS
 EMAIL: NIKKIASIMPKINS@USICLLC.COM
 PHONE: 484-681-5720
- COMPANY: VERIZON BUSINESS FORMERLY MCI
 ADDRESS: 7000 WESTON PKWY
 CARY, NC. 27513
 CONTACT: VICTOR WOOD
 EMAIL: VICTOR.S.WOOD@VERIZON.COM
 PHONE: 919-414-2782

GRAPHIC SCALE



811
 Dial 8-1-1 or 1-800-242-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.
 Coordinate your projects via Coordinate PA at www.paonecall.org.
 Pennsylvania One Call System Serial Number 20233401370, 20223632057

FLOODPLAIN NOTE:
 BASE FLOOD ELEVATION (BFE): 108.80 FT
 (SEE GENERAL NOTE NO. 9)
 FIRST FINISHED FLOOR (FFE): 111.32 FT

GENERAL NOTES

- OWNER / APPLICANT**
217 PIZZA BAGEL, LLC
515 SKYLARK LANE
DRESHER, PA 19025
- SITE INFORMATION**
375 MORGAN STREET
PHOENIXVILLE, PA 19460
- LAND SURVEYOR**
WILKINSON & ASSOCIATES, INC.
374 CIRCLE OF PROGRESS DRIVE
POTTSTOWN, PA 19464
- PARCEL ID: 15-9-572-000
- SOURCE OF HORIZONTAL DATUM: NAD83 BASED ON RTK GPS OBSERVATION
- SOURCE OF VERTICAL DATUM: NAVD 88 BASED ON RTK GPS OBSERVATION
- EXISTING USE: VACANT WAREHOUSE
- PROPOSED USE: MULTI-FAMILY RESIDENTIAL AND ASSOCIATED PARKING (PERMITTED BY-RIGHT PER §27-301.C)
- IN ACCORDANCE WITH FEMA PANEL NUMBER 42029C0060G, EFFECTIVE DATE 09/29/2017, LOMR 22-03-1007P, EFFECTIVE DATE 01/29/2024 A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE AE, AREA DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN.
- THE INTENT OF THIS PLAN SET IS TO DEPICT THE PROPOSED CONVERSION OF THE EXISTING FOUR-STORY BRICK BUILDING TO A RESIDENTIAL USE AND THE ASSOCIATED SITE IMPROVEMENTS INCLUDING PARKING AREAS, ACCESS DRIVES, LANDSCAPING, GRADING, AND STORMWATER MANAGEMENT.
- THE NOTED SURVEY PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON JANUARY 30, 2022 AND DEPICTS CONDITIONS AT THAT TIME.
- THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
- PA. ONE CALL NUMBER FOR THIS SITE IS 20233401370.
- SOURCE OF TITLE: BEING THE SAME PREMISES WHICH WILLIAM S. DAVIDSON AND JOHN C. DAVIDSON, BY DEED DATED APRIL 20, 2022 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS DATED APRIL 20, 2022 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS OF CHESTER COUNTY IN DEED BOOK 10862, PAGE 1198, GRANTED AND CONVEYED UNTO 217 PIZZA BAGEL LLC.
- THIS SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- SOIL DATA RETRIEVED VIA THE WEB SOIL SURVEY PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/>.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.

TAX PARCEL NUMBER:
15-9-572-000

BLOCK AND UNIT NUMBER:
BLOCK 09, UNIT 05720000

SOURCE OF DEED:
BOOK 10862 PAGE 1198

TOTAL TRACT AREA:
22,393 SF (0.51 ACRES)

REFERENCE PLANS:

- BOUNDARY & TOPOGRAPHIC SURVEY OF 375 MORGAN STREET, PREPARED BY WILKINSON & ASSOCIATES, INC., PREPARED FOR CHRIS IMPERATO, DATED 01/25/2023, LAST REVISED 03/09/2024, PROJECT # 2022-381.
- PLAN ENTITLED "QUB UTILITY MAPPING MORGAN STREET 375 MORGAN STREET PHOENIXVILLE, PA," PREPARED BY SOFTDIG UNDERGROUND SERVICES, INC., PREPARED FOR WILKINSON APEX, DATED 10/17/2023, PROJECT # 137840.

EXISTING CONDITIONS NOTES

- THE LOCATION OF ALL UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD AND MAPS OR PLANS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK OUTS DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES, STRUCTURES OR HOUSE CONNECTIONS. BEFORE ANY EXCAVATION IS TO COMMENCE, ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AS TO THEIR LOCATIONS, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES (PENNSYLVANIA ONE CALL, INC.) (800-242-1776 OR DIAL 8-1-1)
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD (DECEMBER 31, 2022) BY WILKINSON & ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF FIELD SURVEY. THE PURPOSE OF THIS SURVEY IS TO SHOW RECORD TITLE AND FIELD EVIDENCE, AND THEIR MOST PROBABLE RELATIONSHIP, BASED UPON THE LAND SURVEYOR'S KNOWLEDGE, INFORMATION AND BELIEF. IT IS FOR THE JUDICIARY TO DETERMINE THE ACTUAL EXTENT AND LOCATION OF TITLE, RIGHTS AND INTEREST OF THE SURVEYED PREMISES.
- THIS PARCEL MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, EITHER WRITTEN OR IMPLIED.
- THE UNDERSIGNED IS NOT QUALIFIED TO MAKE ANY DETERMINATIONS OF THE EXISTENCE OR NONEXISTENCE OF WETLANDS AND/OR CONTAMINATION AFFECTING THIS SURVEY. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED NOR SHOULD IT BE CONSTRUED THAT NO WETLANDS OR CONTAMINATION IS SHOWN. NO EASEMENT DOCUMENTATION WAS PROVIDED UNLESS SHOWN HEREON. THE UNITED STATES FISH AND WILDLIFE SERVICE (USFWS) NATIONAL WETLANDS INVENTORY INDICATED THAT NO SUCH WETLANDS ARE PRESENT ONSITE.
- THE BASIS OF THE BEARINGS OF THIS SURVEY ARE PER THE RECORDING INFORMATION ABOVE AND THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE). UNLESS NOTED OTHERWISE, THE BEARINGS ARE PER THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).
- FIELD MEASURED INVERT ELEVATIONS WERE NOT ATTAINABLE FOR THE STRUCTURES SHOWN ON THE PLAN THAT DO NOT CONTAIN INVERT INFORMATION.
- SOURCE OF TITLE: BEING THE SAME PREMISES BY WHICH WILLIAM S. DAVIDSON AND JOHN C. DAVIDSON, BY DEED DATED APRIL 20, 2022 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS OF CHESTER COUNTY IN DEED BOOK 10862, PAGE 1198, GRANTED AND CONVEYED UNTO 217 PIZZA BAGEL, LLC. IN THE SOURCE OF TITLE DENOTED HEREON, THE LEGAL DESCRIPTION DENOTES THE PRESENCE OF TWO "TRACTS" SITUATED WITHIN PREMISES A. HOWEVER, THE COUNTY TAX MAP INDICATES THAT PREMISE A IS ONE CONSOLIDATED PROPERTY. AS REQUESTED BY THE PHOENIXVILLE BOROUGH ENGINEER AND DISCUSSED DURING A PLANNING COMMISSION MEETING ON 09/09/2024, A NEW LEGAL DESCRIPTION IS TO BE PROVIDED AND A DEED OF CORRECTION SHALL BE FILED.
- BY DEFINITION, THERE ARE EXISTING STEEP SLOPES PRESENT ON THE SUBJECT SITE (§22-304.2.A) HOWEVER IT HAS BEEN DETERMINED BY SITE ASSESSMENTS AND AGREED UPON WITH THE BOROUGH ENGINEER THAT THESE ARE MAN MADE STEEP SLOPES AND THEREFORE NOT A NATURAL RESOURCE.



LOCATION MAP
SCALE: 1" = ±200'

EXISTING FEATURES & DEMOLITION LEGEND
(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

- TRACT (SITE) BOUNDARY: - - - - -
- LEGAL RIGHT-OF-WAY LINE: - - - - -
- SETBACK LINE: - - - - -
- EDGE OF PAVEMENT: - - - - -
- CURB: - - - - -
- STRIPING: - - - - -
- MAJOR ELEVATION CONTOUR: - - - - -
- MINOR ELEVATION CONTOUR: - - - - -
- SANITARY SEWER: - - - - -
- STORM SEWER: - - - - -
- ELECTRIC SERVICE: - - - - -
- WATER LINE: - - - - -
- GAS SERVICE: - - - - -
- OVERHEAD UTILITY LINE: - - - - -
- FEMA FLOODPLAIN BOUNDARY: - - - - -
- FENCE (CHAIN LINK): - - - - -
- FENCE (OTHER): - - - - -
- CONCRETE: [Symbol]
- SOIL TYPE SYMBOL: BkC
- SPOT ELEVATION: x 115.50
- SURVEY MONUMENT: [Symbol]
- STORM MANHOLE: [Symbol]
- SANITARY MANHOLE: [Symbol]
- UTILITY POLE: [Symbol]
- SIGN: [Symbol]
- WATER VALVE: [Symbol]
- BUILDING: [Symbol]
- TREE / TREE T.B.R.: [Symbol]
- PROPOSED SAW-CUT LINE: - - - - -
- FEATURE TO BE REMOVED: [Symbol]
- TO BE REMOVED: [Symbol]
- WATER LINE TO BE ABANDONED: - - - - -
- STORM PIPE TO BE REMOVED: - - - - -

J:\PROJECTS\2023\20232817 - 217 PIZZA Bagel, LLC\20232817 - 217 PIZZA Bagel, LLC.dwg - LD Set.dwg

1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM
REV	DATE	DESCRIPTION	BY

PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA

PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

REGISTERED PROFESSIONAL ENGINEER
 JOSHUA MORGENTHAU, JR.
 ENGINEER
 PED45222E

PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**

SHEET TITLE: **EXISTING CONDITIONS AND DEMOLITION PLAN**

PREPARED BY: **WILKINSON APEX**
 ENGINEERING GROUP, LLC
 374 CIRCLE OF PROGRESS DRIVE
 POTTSTOWN, PA 19464 / 610-323-3400

DESIGNED: BAM	PROJECT #
CHECKED (PM): JCM	2023-617
DATE: 04/04/24	SHEET #
SCALE: AS SHOWN	2 OF 14

BOROUGH CERTIFICATIONS:
I HEREBY CERTIFY THAT THE BOROUGH OF PHOENIXVILLE PLANNING COMMISSION REVIEWED THIS PLAN AND ISSUED ITS COMMENTS TO THE BOROUGH COUNCIL PRIOR TO COUNCIL'S ADOPTION OF RESOLUTION 202... WHICH APPROVES THIS PLAN AS A FINAL PLAN PURSUANT TO THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

TOM CARNEVALE
PLANNING COMMISSION CHAIRPERSON

WE HEREBY CERTIFY THAT THE BOROUGH COUNCIL OF THE BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA, BY ITS RESOLUTION 202... ADOPTED 202... APPROVED THIS PLAN AS A FINAL SUBDIVISION AND/OR LAND DEVELOPMENT PLAN, PURSUANT TO THE BOROUGH'S THEN CURRENT SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE AND THE BOROUGH, ON HEREBY AUTHORIZES THIS PLAN FOR RECORDING.

E. JEAN KRACK
BOROUGH MANAGER

JONATHAN M. EWALD
COUNCIL PRESIDENT

I, OWEN M. HYNÉ, A PENNSYLVANIA PROFESSIONAL ENGINEER, HAVE REVIEWED THIS PLAN FOR THE BOROUGH, AND HAVE DETERMINED THAT IT HAS BEEN AMENDED AS REQUIRED BY BOROUGH RESOLUTION... AND THAT, BASED ON THE INFORMATION PROVIDED BY THE APPLICANT AND WITH ANY WAIVERS SPECIFICALLY IDENTIFIED AND SHOWN HEREON, THE PLAN COMPLIES WITH THE BOROUGH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

OWEN M. HYNÉ
PE

DATE: _____

CHESTER COUNTY PLANNING COMMISSION:

THIS PLAN OR AN EARLIER VERSION HEREOF WAS REVIEWED BY CHESTER COUNTY PLANNING COMMISSION ON: _____

CCPC # _____

SECRETARY

AFFIDAVIT OF OWNERSHIP:

COUNTY OF _____ BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, THIS DAY PERSONALLY APPEARED TO ME KNOWN (OR SATISFACTORILY PROVEN), WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE(S) AND SAY(S):

HE IS THE OWNER OF 217 PIZZA BAGEL, LLC, WHICH IS A LIMITED LIABILITY CORPORATION AND IS THE RECORD OWNER OF ALL THE PROPERTY ("PROPERTY") TO WHICH THIS PLAN APPLIES AND OF ALL RIGHTS WHICH ARE NECESSARY TO IMPLEMENT THIS PLAN. THE SOURCE OF 217 PIZZA BAGEL, LLC'S TITLE TO THE PROPERTY IS THE DEED(S) RECORDED WITH THE OFFICE ("RECORDERS' OFFICE") OF THE RECORDER OF DEEDS IN AND FOR CHESTER COUNTY, PENNSYLVANIA, IN RECORD BOOK _____ BEGINNING AT PAGE _____. THIS PLAN IS 217 PIZZA BAGEL, LLC'S ACT AND DEED AND IS AUTHORIZED BY 217 PIZZA BAGEL, LLC TO BE RECORDED WITH THE RECORDERS' OFFICE AND THAT SUCH RECORDING SHALL BE EFFECTIVE FOR ALL PURPOSES. HE IS AUTHORIZED BY SAID 217 PIZZA BAGEL, LLC TO MAKE THIS AFFIDAVIT.

217 PIZZA BAGEL, LLC

BY: _____
CHRISTOPHER IMPERATO, OWNER

SWORN AND SUBSCRIBED TO BEFORE ME THIS _____ DAY OF _____, 20__

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

APPLICANT'S PROFESSIONAL ENGINEER

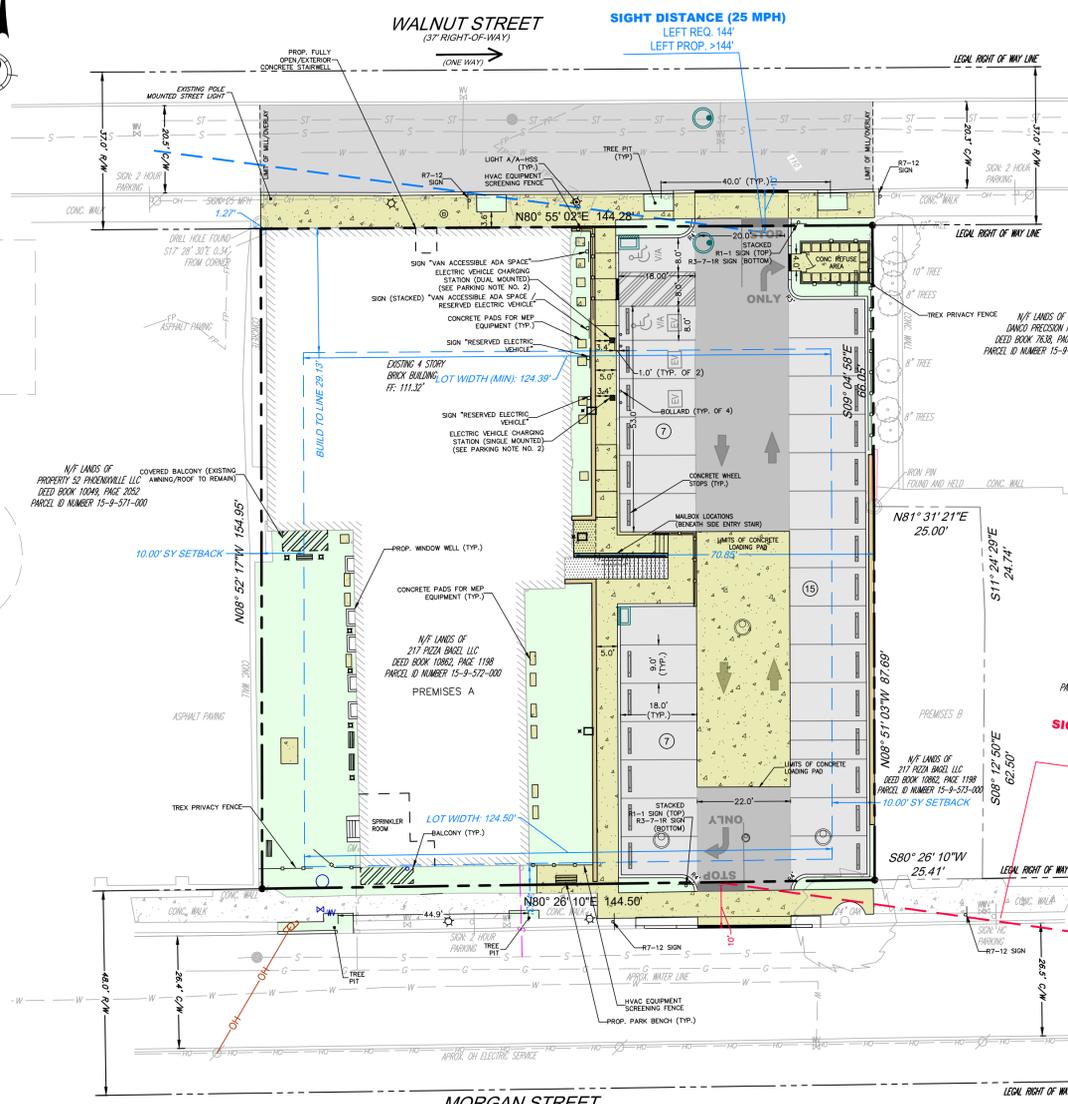
I, JOSEPH C. MONGELUZI, JR., A PENNSYLVANIA PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

JOSEPH C. MONGELUZI, JR.
PE

APPLICANT'S PROFESSIONAL LAND SURVEYOR

I, CLARK C. CREE, A PENNSYLVANIA PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE LOT LINES, STREETS, RIGHTS-OF-WAY AND EASEMENTS SHOWN ON THIS PLAN WERE SURVEYED AND PLOTTED BY ME AND ARE ACCURATE. I FURTHER CERTIFY THAT THE SUBDIVISION AND LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO THE BOROUGH ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THAT THE ERROR OF CLOSURE IS NOT GREATER THAN 1:10,000.

CLARK C. CREE
PLS



RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____

PAGE NO. _____ ON _____, 20__

RECORDER OF DEEDS

FLOODPLAIN NOTE:
BASE FLOOD ELEVATION (BFE): 108.80 FT
(SEE GENERAL NOTE NO. 9)
FIRST FINISHED FLOOR (FFE): 111.32 FT

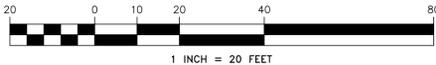
STORMWATER MANAGEMENT ACCESS EASEMENT

THE STORMWATER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY. THE PROPERTY OWNER SHALL PROVIDE A BLANKET STORMWATER ACCESS EASEMENT TO THE BOROUGH FOR THE PURPOSE OF ACCESS TO THE STORMWATER FACILITIES. IF, IN THE JUDGEMENT OF THE BOROUGH ENGINEER, THE OWNER HAS FAILED TO MAINTAIN THE STORMWATER FACILITIES IN SUCH A MANNER AS TO ENSURE THEIR PROPER FUNCTIONING, THE BOROUGH AFTER PROVIDING WRITTEN NOTICE, SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION TO ENTER UPON THE LANDS OF THE OWNER AND MAKE ANY REPAIRS AS MAY BE NECESSARY TO THE STORMWATER FACILITIES TO ENSURE THAT SUCH FACILITIES FUNCTION AND PERFORM IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS. ANY AND ALL COSTS INCURRED BY THE BOROUGH FOR SUCH REPAIRS AND/OR MAINTENANCE SHALL BE PAID IN FULL BY THE OWNER.

WAIVERS REQUESTED

- A WAIVER FROM §22-417.1.2.D (DESIGN STANDARDS FOR PARKING LOTS) WHICH STATES THAT NO PARKING LOT SHALL HAVE A SLOPE IN EXCESS OF 5%, WHERE 5.8% SLOPES ARE PROPOSED.
- A WAIVER FROM §22-500.2 (CONSERVATION OF OPEN SPACE) WHICH STATES THAT NO ENVIRONMENTALLY SENSITIVE FEATURE MAY BE ALTERED, REGRADED, FILLED OR BUILT UPON, WHERE A PORTION OF THE PROPOSED IMPROVEMENTS ARE WITHIN THE 100-YEAR FLOODPLAIN.
- A WAIVER FROM §22-601 (ENVIRONMENTAL IMPACT ANALYSIS) WHICH STATES THAT AN IMPACT STUDY SHALL BE SUBMITTED FOR ALL PROPOSED USES OR ZONING CHANGES INVOLVING MORE THAN 10 RESIDENTIAL UNITS, WHERE THE APPLICANT HAS DETERMINED THAT A STUDY WILL NOT BE LOGICALLY NECESSARY TO UNDERSTAND THE HIGH LEVEL ENVIRONMENTAL IMPACT.
- A WAIVER FROM §23-311.1.B (OTHER CONVEYANCE AND SYSTEM DESIGN STANDARDS) WHICH STATES THAT THE MINIMUM SIZE OF STORM PIPE RECEIVING FLOW FROM ANY STORM INLET SHALL BE 15 INCHES FOR CIRCULAR PIPE, WHERE THE APPLICANT IS PROPOSING 12" OUTLET PIPES FROM INLETS #2 AND #3.

GRAPHIC SCALE



811
Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation.
Coordinate your projects via Coordinate PA at www.811pa.org
Pennsylvania One Call System Serial Number 2023.3401370, 2022.3632057

NO.	DATE	DESCRIPTION	BY
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM
REV			

SEAL
REGISTERED PROFESSIONAL ENGINEER
JOSEPH C. MONGELUZI, JR.
ENGINEER
PED45222E
PENNSYLVANIA

PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA
PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**
SHEET TITLE: **RECORD PLAN**

PREPARED BY: **WILKINSON APEX**
ENGINEERING GROUP, LLC
374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 | 610-323-3400

DESIGNED	PROJECT #
BAM	2023-617
CHECKED (PM)	JCM
DATE	04/04/24
SCALE	AS SHOWN
SHEET #	3
OF	14

GENERAL NOTES

- OWNER / APPLICANT**
217 PIZZA BAGEL, LLC
515 SKYLARK LANE
DRESHER, PA 19025
 - SITE INFORMATION**
375 MORGAN STREET
PHOENIXVILLE, PA 19460
 - LAND SURVEYOR**
WILKINSON & ASSOCIATES, INC.
374 CIRCLE OF PROGRESS DRIVE
POTTSTOWN, PA 19464
 - PARCEL ID: 15-9-572-000
 - SOURCE OF HORIZONTAL DATUM: NAD83 BASED ON RTK GPS OBSERVATION
 - SOURCE OF VERTICAL DATUM: NAVD 88 BASED ON RTK GPS OBSERVATION
 - EXISTING USE: COMMERCIAL BUILDING
 - PROPOSED USE: MULTI-FAMILY RESIDENTIAL AND ASSOCIATED PARKING (PERMITTED BY-RIGHT PER §27-301.C)
 - IN ACCORDANCE WITH FEMA PANEL NUMBER 42029C0060G, EFFECTIVE DATE 09/29/2017, LOMR 22-03-1007P, EFFECTIVE DATE 01/29/2024 A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE AE, AREA DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN.
 - THE INTENT OF THIS PLAN SET IS TO DEPICT THE PROPOSED CONVERSION OF THE EXISTING FOUR-STORY BRICK BUILDING TO A RESIDENTIAL USE AND THE ASSOCIATED SITE IMPROVEMENTS INCLUDING PARKING AREAS, ACCESS DRIVES, LANDSCAPING, GRADING, AND STORMWATER MANAGEMENT.
 - THE NOTED SURVEY PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON JANUARY 30, 2022 AND DEPICTS CONDITIONS AT THAT TIME.
 - THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
 - PA. ONE CALL NUMBER FOR THIS SITE IS 2023401370.
 - SOURCE OF TITLE: BEING THE SAME PREMISES WHICH WILLIAM S. DAVIDSON AND JOHN C. DAVIDSON, BY DEED DATED APRIL 20, 2022 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS DATED APRIL 20, 2022 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS OF CHESTER COUNTY IN DEED BOOK 10862, PAGE 1198, GRANTED AND CONVEYED UNTO 217 PIZZA BAGEL, LLC.
 - THIS SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER.
 - SOIL DATA RETRIEVED VIA THE WEB SOIL SURVEY PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov>.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- TAX PARCEL NUMBER:** 15-9-572-000
BLOCK AND UNIT NUMBER: BLOCK 09, UNIT 05720000
SOURCE OF DEED: BOOK 10862 PAGE 1198
TOTAL TRACT AREA: 22,393 SF (0.51 ACRES)
- REFERENCE PLANS:**
1. BOUNDARY & TOPOGRAPHIC SURVEY OF 375 MORGAN STREET, PREPARED BY WILKINSON & ASSOCIATES, INC., PREPARED FOR CHRIS IMPERATO, DATED 01/25/2023, LAST REVISED 03/05/2024, PROJECT # 2022-381.
2. PLAN ENTITLED "OL-B UTILITY MAPPING MORGAN STREET 375 MORGAN STREET PHOENIXVILLE, PA," PREPARED BY SOFTDIG UNDERGROUND SERVICES, INC., PREPARED FOR WILKINSON APEX, DATED 10/17/2023, PROJECT # 137840.

ZONING NOTES

ZONING DISTRICT TC - TOWN CENTER MID-RISE BUILDING

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA*	2,212 SF	22,393 SF	NO CHANGE
MIN. LOT WIDTH	40 FT	124.39 FT	NO CHANGE
MAX. IMPERVIOUS COVERAGE	90%	76.7% (16,179 SF)	82.3% (18,437 SF)
BUILD-TO-LINE (MORGAN STREET)	5.03 FT	4.63 FT (E)	NO CHANGE
BUILD-TO-LINE (WALNUT STREET)	29.13 FT	0 FT (E)	NO CHANGE
MIN. SIDE YARD*	10'	1.27 FT (E)	NO CHANGE
MIN. LOT DEPTH*	77'	77'	NO CHANGE
MIN. REAR YARD	10'	N/A	NO CHANGE
HEIGHT (MIN - MAX)**	60'	5 60'	NO CHANGE
MIN. SPACING	20'	≥ 20'	NO CHANGE

(E) EXISTING NON-CONFORMITY

*DENOTES DIMENSIONAL STANDARD PER §27-301.1 INFILL DEVELOPMENT STANDARDS, WHICH APPLIES FOR ALL TRACT AREAS AND LOTS LESS THAN ONE ACRE. THE DIMENSIONAL STANDARDS LISTED IN THIS TABLE INCLUDE THOSE REQUIREMENTS OF §27-301.1 WHERE THEY SUPERCEDE THOSE OF §27-303 (TOWN CENTER DISTRICT) AS FOLLOWS:

- THE BUILD-TO-LINE** (§27-301.1.A(1)) SHALL BE WITHIN THE RANGE OF BUILT-TO-LINES OF EXISTING BUILDINGS ON THE SAME STREET FRONTAGE OF THE BLOCK. THE BUILD-TO-LINES SHOWN HEREON WERE CALCULATED BASED ON THE AVERAGE BUILD-TO-LINE OF BUILDINGS ALONG THE BLOCK FOR EACH RESPECTIVE FRONTAGE.
- LOT AREA** (§27-301.1.A(2)) WAS DETERMINED BY THE MINIMUM SIZE OF THE ADJACENT LOTS (363 MORGAN STREET)
- SIDE YARD** (§27-301.1.A(3)) WAS DETERMINED BY THE APPROXIMATE MIN. SIDE YARD SETBACK OF ADJACENT LOTS (363 MORGAN STREET)
- LOT DEPTH** (§27-301.1.A(4)) WAS DETERMINED BY THE APPROXIMATE MEDIAN DEPTH OF LOTS ON THE MORGAN STREET BLOCK FACE. FOR LOTS THAT EXTEND FROM A STREET TO A STREET, THE LOT DEPTH SHALL EQUAL HALF THE DISTANCE BETWEEN THE STREETS.

**NO VERTICAL DIMENSION OF THE BUILDING MAY MEASURE MORE THAN 10% OF THE MAXIMUM BUILDING HEIGHT (I.E. 66 FT)

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF THE BOROUGH OF PHOENIXVILLE, LATEST EDITION.

PARKING NOTES

- §27-405 PARKING: OFF-STREET PARKING SHALL BE PROVIDED TO MEET THE DEMAND FOR THE PROPOSED LAND USE. THE APPLICANT SHALL CALCULATE THIS DEMAND BASED ON ACCEPTED STANDARDS (ITE PARKING GENERATION MANUAL 6TH EDITION, DATED OCTOBER 2023).
MULTIFAMILY, 2+ BR MID-RISE HOUSING (USE CODE 221) IN GENERAL URBAN/SUBURBAN:
AVERAGE RATE: 0.82
NUMBER OF BEDROOMS: 34
0.82 SPACES/BEDROOM * 34 BEDROOMS = 28 SPACES REQUIRED
28 SPACES PROVIDED (INCL. 2 ADA SPACES*, 3 EBP (INCL. 1 ADA EBP SPACES))**
* 2 ADA SPACES REQUIRED FOR 26 TO 50 TOTAL SPACES PROVIDED PER ADA GOV
** §22-417(7)(D)(2) ELECTRIC VEHICLE PARKING: 10% OF PARKING SPACES FOR > THAN 20 SPACES PROVIDED (29 SPACES * 0.10 = 3 SPACES)
- §22-417(7)(A)(1) THE ELECTRICAL SWITCHGEAR SHALL PROVIDE SUFFICIENT SPACE, WITH A DEDICATED BRANCH CIRCUIT AND OVERCURRENT PROTECTION OF EACH LEVEL 2 EVCS.
- §27-403.3 WHEN VISIBLE FROM AND FACING A STREET ABUTTING A FRONT YARD, ALL GARAGE DOORS, CARPORTS, PARKING AREAS, OR SIMILAR SHALL HAVE A FRONT YARD SETBACK AT LEAST 20 FEET GREATER THAN THE PRIMARY FACADE OF THE PRINCIPAL BUILDING (EXISTING NON-CONFORMITY)



LOCATION MAP

SCALE: 1" = ±200'

EXISTING FEATURES & DEMOLITION LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

TRACT (SITE) BOUNDARY	---
LEGAL RIGHT-OF-WAY LINE	---
SEBACK LINE	---
EDGE OF PAVEMENT	---
CURB	---
STRIPING	---
MAJOR ELEVATION CONTOUR	---
MINOR ELEVATION CONTOUR	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC SERVICE	---
WATER LINE	---
GAS SERVICE	---
OVERHEAD UTILITY LINE	---
FEMA FLOODPLAIN BOUNDARY	---
FENCE (CHAIN LINK)	---
FENCE (OTHER)	---
CONCRETE	---
SURVEY MONUMENT	---
STORM MANHOLE	---
SANITARY MANHOLE	---
UTILITY POLE	---
SIGN	---
WATER VALVE	---
BUILDING	---
TREE	---

PROPOSED & DESIGN FEATURES LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

ULTIMATE RIGHT-OF-WAY LINE	---
CONCRETE MON./IRON PIN TO BE SET	---
EDGE OF PAVEMENT	---
CURB	---
STRIPING	---
CONCRETE PAVEMENT	---
HEAVY DUTY PAVEMENT	---
LIGHT DUTY PAVEMENT	---
GREENWAY OPEN SPACE	---
PERFORATED STEEL STAIRS	---
WALL	---
SIGN	---
STORM SEWER INLET	---
STORM SEWER MANHOLE	---
ELECTRIC VEHICLE DESIGNATED SPACE	---
PARKING CONTOUR	---
WATER METER PIT ACCESS MANHOLE	---
STREET LAMP	---

WALNUT STREET
(37' RIGHT-OF-WAY)

LEGAL RIGHT OF WAY LINE

MORGAN STREET
(48' RIGHT-OF-WAY)

LEGAL RIGHT OF WAY LINE



SITE

MORGAN

LOCATION MAP
SCALE: 1" = ±200'

EXISTING FEATURES & DEMOLITION LEGEND
(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

TRACT (SITE) BOUNDARY	---
LEGAL RIGHT-OF-WAY LINE	---
SETBACK LINE	---
EDGE OF PAVEMENT	---
CURB	---
STRIPING	---
MAJOR ELEVATION CONTOUR	---
MINOR ELEVATION CONTOUR	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC SERVICE	---
WATER LINE	---
GAS SERVICE	---
OVERHEAD UTILITY LINE	---
FEMA FLOODPLAIN BOUNDARY	---
FENCE (CHAIN LINK)	---
FENCE (OTHER)	---
CONCRETE	---
SOIL TYPE SYMBOL	BkC
SPOT ELEVATION	x 115.50
SURVEY MONUMENT	○
STORM MANHOLE	●
SANITARY MANHOLE	○
UTILITY POLE	○
SIGN	---
WATER VALVE	○
BUILDING	---

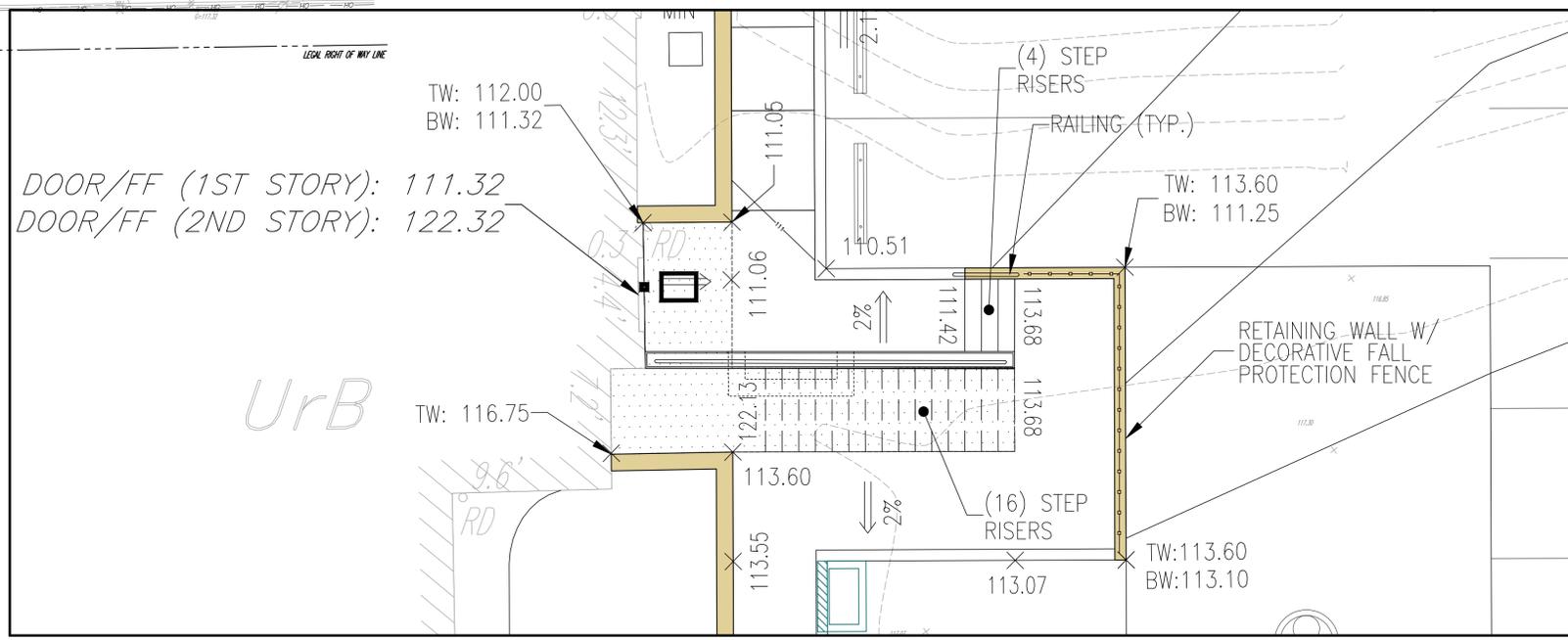
PROPOSED & DESIGN FEATURES LEGEND
(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

ULTIMATE RIGHT-OF-WAY LINE	---
CONCRETE MON/IRON PIN TO BE SET	●
EDGE OF PAVEMENT	---
CURB	---
STRIPING	---
ELEVATION CONTOUR	---
SPOT ELEVATION	x 590.30
SURFACE FLOW ARROW	---
CONCRETE PAVEMENT	---
GREENWAY OPEN SPACE	---
PERFORATED STEEL STAIRS	---
WALL	---
SIGN	---
STORM SEWER INLET	---
STORM SEWER MANHOLE	---

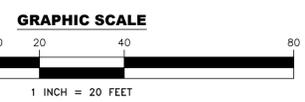
GRADING & DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOIL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75 MIN. SLOPE AGAINST ALL CURBS, ISLANDS AND GUTTERS, AND 1.0% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH ANY CONSTRUCTION HAVING DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE. FIELD GRADE TO CREATE A MIN. OF 0.75% GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- BICYCLE SAFE GRATES SHALL BE INSTALLED ON INLETS IN PAVED AREAS WHERE APPLICABLE.
- ALL STORM WATER AND ROADWAY MATERIALS AND RELATED SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH BOROUGH STANDARDS AND SPECIFICATIONS AND PENNDOT PUBLICATION 408 AND ARE SUBJECT TO INSPECTION BY THE BOROUGH ENGINEER.
- ALL DISTURBED AREAS, OTHER THAN PROPOSED PAVED AREAS, SHALL BE STABILIZED WITH TOPSOIL TO A DEPTH OF FOUR (4) TO SIX (6) INCHES. THE TOPSOIL SHALL BE FREE OF ALL DEBRIS, ROOTS AND OTHER OBJECTS THAT MIGHT INTERFERE WITH PROPOSED PLANTING, FERTILIZING, OR MAINTENANCE OPERATIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE EITHER BOTTOM OF CURB OR FINISHED GROUND UNLESS OTHERWISE NOTED.
- THE SUBSURFACE STORMWATER FACILITY (AS SHOWN ON THIS PLAN) IS A BASIC AND PERPETUAL PLAN OF THE STORM DRAINAGE SYSTEM OF THE BOROUGH, AND AS SUCH IS TO BE PROTECTED AND PRESERVED, IN ACCORDANCE WITH THE APPROVED FINAL PLAN BY THE OWNER ON WHOSE LAND THE STRUCTURE IS LOCATED. THE BOROUGH AND/OR ITS AGENTS RESERVES THE RIGHT AND PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME FOR THE PURPOSE OF INSPECTION OF SAID STORMWATER FACILITY IN ORDER TO DETERMINE THAT THE STRUCTURAL AND DESIGN INTEGRITY IS BEING MAINTAINED BY THE OWNER. IN THE EVENT THAT MAINTENANCE AND STRUCTURAL INTEGRITY ARE NOT MAINTAINED BY THE OWNER AS REQUIRED BY THE BOROUGH, THE OWNER HEREBY GRANTS TO THE BOROUGH THE RIGHT TO ENTER UPON SUCH PROPERTY AND TO PERFORM ANY AND ALL IMPROVEMENTS, REVISIONS OR MAINTENANCE AS MAY BE DETERMINED NECESSARY AND TO RECOVER THE COSTS THEREOF FROM THE PROPERTY OWNER BY ALL LAWFUL MEANS INCLUDING, BUT NOT LIMITED TO, THE IMPOSITION OF A MUNICIPAL LIEN ON THE SUBJECT PROPERTY.
- THE CONTRACTOR(S) SHALL NOT ENCRoACH ONTO ADJOINING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED IN AREAS WHERE GRADING WILL ENCRoACH WITHIN FIVE FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCRoACHMENT ONTO ADJOINING PROPERTIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE PROPOSED FINISHED GRADING SHOWN ON THIS PLAN HAS BEEN USED TO DESIGN THE STORMWATER MANAGEMENT FACILITIES. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL GRADING SCHEME INDICATED UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
- NO FINISHED GRADE EXCAVATION OR FILL SLOPE SHALL EXCEED 3:1 (HORIZONTAL TO VERTICAL).
- DRAINAGE FACILITIES AND EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING OF EARTH DISTURBANCE AND/OR THE CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BOROUGH OF PHOENIXVILLE AND PENNDOT PUBLICATION 408, LATEST EDITION.
- A MINIMUM OF EIGHT INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS.
- ALL MAINTENANCE FOR THE STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED BY THE OWNER.
- ALTHOUGH NOT ANTICIPATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING OF SITE FOR CONSTRUCTION IF NEEDED. THIS INCLUDES LABOR AND MATERIALS ASSOCIATED WITH PUMPING WATER WHICH MAY REMAIN BELOW THE INVERT OUT ELEVATION OF PERMANENT STORMWATER MANAGEMENT FACILITY. IF SEDIMENT LADEN WATER IS PUMPED, IT SHALL BE THROUGH THE USE OF A PADEP FILTER BAG.
- IF CONTRACTOR ELECTS TO PROPOSE AN 'OR EQUAL' SUBSTITUTE PRODUCT FOR THE STORMWATER MANAGEMENT SYSTEMS, THEY MUST BEAR COST TO REDESIGN USING ALTERNATE SYSTEM AS STORAGE VOID RATIOS, LOADING RATIOS, SURFACE AREA AND INFLOW PIPING CONNECTIONS MAY NEED TO BE REVISED.
- THE CONTRACTOR SHALL TAKE MEASURES TO AVOID UNNECESSARY COMPACTION OF SOILS IN DISTURBED AREAS AS WELL AS MINIMIZE DISTURBANCE TO ONLY THE AREAS SHOWN WITHIN THE LIMIT OF DISTURBANCE PER THE PLAN.
- DOMESTIC AND FIRE SERVICE PIPES TO BE SIZED BY MEP ENGINEER.

RETAINING WALL NOTE:
FOR ALL RETAINING WALLS WITH A HEIGHT OF 4' OR GREATER, A DETAILED DESIGN AND STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION



RISER AND SIDEWALK DETAIL PLAN
1 INCH = 5 FEET



811
Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation.
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Pennsylvania One Call System Number
202.334.01370, 2022.363.2057

1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM
REV	DATE	DESCRIPTION	BY



PROJECT:
**375 MORGAN STREET
PHOENIXVILLE, PA 19460**
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA
PREPARED FOR:
**217 PIZZA BAGEL, LLC
515 SKYLARK LANE
DRESHER, PA 19025**

PLAN TITLE:
**PRELIMINARY/FINAL LAND
DEVELOPMENT**
SHEET TITLE:
GRADING PLAN

PREPARED BY:
**WILKINSON
APEX**
ENGINEERING GROUP, LLC
374 CIRCLE OF PROGRESS DRIVE
POTTSTOWN, PA 19464 | 610-323-3400

DESIGNED	BAM	PROJECT #	2023-617
CHECKED (PM)	JCM	SHEET #	4
DATE	04/04/24	OF	14
SCALE	AS SHOWN		

GRADING & DRAINAGE NOTES

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- ALL DISTURBED AREAS, OTHER THAN PROPOSED PAVED AREAS, SHALL BE STABILIZED WITH TOPSOIL TO A DEPTH OF FOUR (4) TO SIX (6) INCHES. THE TOPSOIL SHALL BE FREE OF ALL DEBRIS, ROOTS AND OTHER OBJECTS THAT MIGHT INTERFERE WITH PROPOSED PLANTING, FERTILIZING, OR MAINTENANCE OPERATIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE EITHER BOTTOM OF CURB OR FINISHED GROUND UNLESS OTHERWISE NOTED.
- THE SUBSURFACE STORMWATER FACILITY (AS SHOWN ON THIS PLAN) IS A BASIC AND PERPETUAL PLAN OF THE STORM DRAINAGE SYSTEM OF THE BOROUGH, AND AS SUCH IS TO BE PROTECTED AND PRESERVED, IN ACCORDANCE WITH THE APPROVED FINAL PLAN BY THE OWNER ON WHOSE LAND THE STRUCTURE IS LOCATED. THE BOROUGH AND/OR ITS AGENTS RESERVES THE RIGHT AND PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME FOR THE PURPOSE OF INSPECTION OF SAID STORMWATER FACILITY IN ORDER TO DETERMINE THAT THE STRUCTURAL AND DESIGN INTEGRITY IS BEING MAINTAINED BY THE OWNER. IN THE EVENT THAT MAINTENANCE AND STRUCTURAL INTEGRITY ARE NOT MAINTAINED AS REQUIRED BY THE TOWNSHIP, THE OWNER HEREBY GRANTS TO THE BOROUGH THE RIGHT TO ENTER UPON SUCH PROPERTY AND TO PERFORM ANY AND ALL IMPROVEMENTS, REVISIONS OR MAINTENANCE AS MAY BE DETERMINED NECESSARY AND TO RECOVER THE COSTS THEREOF FROM THE PROPERTY OWNER BY ALL LAWFUL MEANS INCLUDING, BUT NOT LIMITED TO, THE IMPOSITION OF A MUNICIPAL LIEN ON THE SUBJECT PROPERTY.
- THE CONTRACTOR(S) SHALL NOT ENCRoACH ONTO ADJOINING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED IN AREAS WHERE GRADING WILL ENCRoACH WITHIN FIVE FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCRoACHMENT ONTO ADJOINING PROPERTIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE PROPOSED FINISHED GRADING SHOWN ON THIS PLAN HAS BEEN USED TO DESIGN THE STORMWATER MANAGEMENT FACILITIES. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL GRADING SCHEME INDICATED UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
- NO FINISHED GRADE EXCAVATION OR FILL SLOPE SHALL EXCEED 3:1 (HORIZONTAL TO VERTICAL).
- DRAINAGE FACILITIES AND EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO BEGINNING OF EARTH DISTURBANCE AND/OR THE CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BOROUGH OF PHOENIXVILLE AND PENNDOT PUBLICATION 408, LATEST EDITION.
- A MINIMUM OF EIGHT INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS.
- ALL MAINTENANCE FOR THE STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED BY THE OWNER.
- ALTHOUGH NOT ANTICIPATED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING OF SITE FOR CONSTRUCTION IF NEEDED. THIS INCLUDES LABOR AND MATERIALS ASSOCIATED WITH PUMPING WATER WHICH MAY REMAIN BELOW THE INVERT OUT ELEVATION OF PERMANENT STORMWATER MANAGEMENT FACILITY. IF SEDIMENT LADEN WATER IS PUMPED, IT SHALL BE THROUGH THE USE OF A PADEP FILTER BAG.
- IF CONTRACTOR ELECTS TO PROPOSE AN "OR EQUAL" SUBSTITUTE PRODUCT FOR THE STORMWATER MANAGEMENT SYSTEMS, THEY MUST BEAR COST TO REDESIGN USING ALTERNATE SYSTEM AS STORAGE VOID RATIOS, LOADING RATIOS, SURFACE AREA AND INFLOW PIPING CONNECTIONS MAY NEED TO BE REVISED.
- THE CONTRACTOR SHALL TAKE MEASURES TO AVOID UNNECESSARY COMPACTION OF SOILS IN DISTURBED AREAS AS WELL AS MINIMIZE DISTURBANCE TO ONLY THE AREAS SHOWN WITHIN THE LIMIT OF DISTURBANCE PER THE PLAN.
- DOMESTIC AND FIRE SERVICE PIPES TO BE SIZED BY MEP ENGINEER.
- ALL ROOF LEADERS ARE TO BE TIED INTO ROOF COLLECTION PIPES AS SHOWN HEREON.
- ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

STORMWATER OPERATION & MAINTENANCE RESPONSIBILITIES

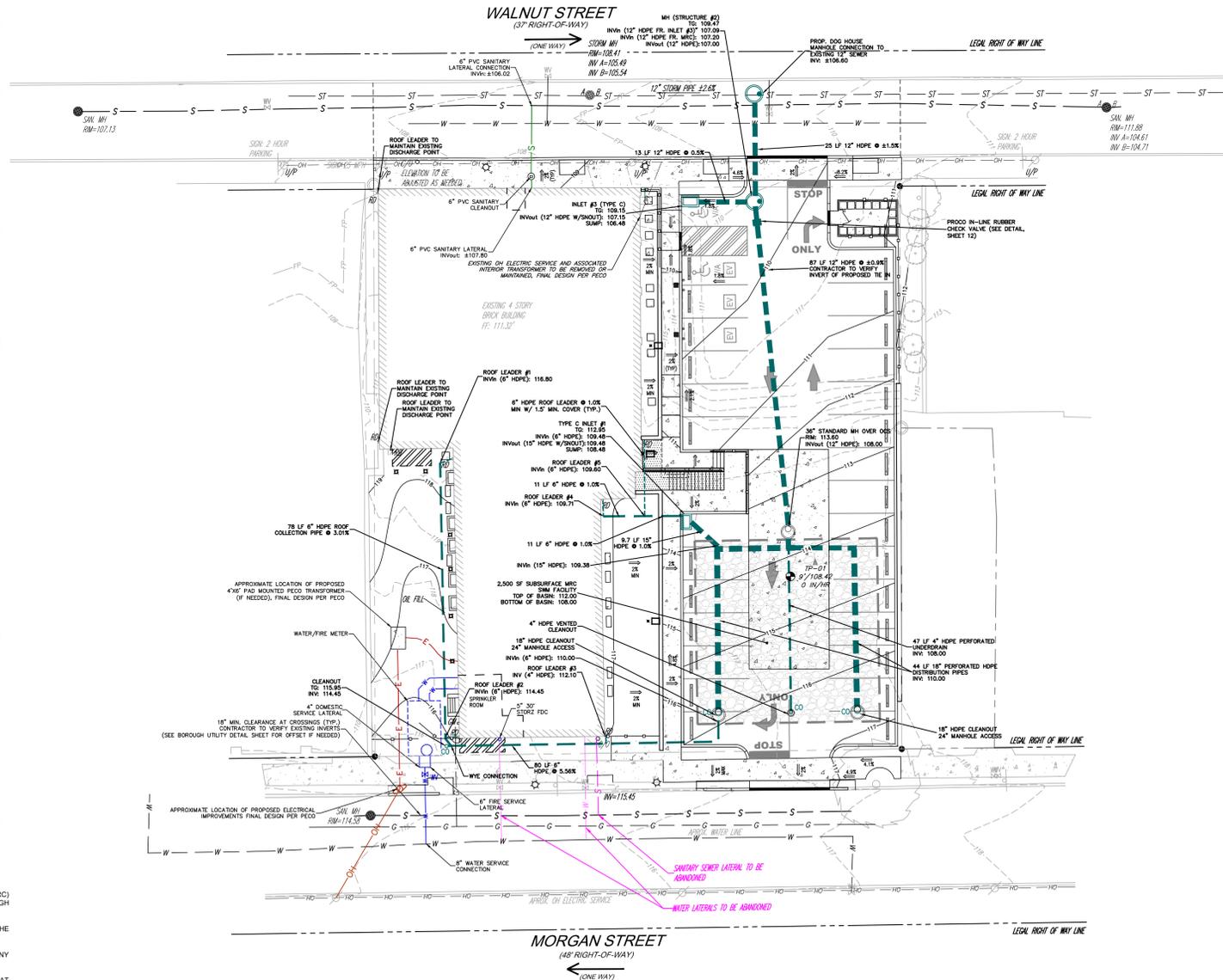
THE PROPERTY OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE MANAGED RELEASE CONCEPT (MRC) FACILITY IN ACCORDANCE WITH THE FOLLOWING SCHEDULE PER THE PADEP AND ANY OTHER METHODS AS THE BOROUGH ENGINEER DEEMS NECESSARY.

- UPGRADIENT CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED ANNUALLY, OR MORE OFTEN IF THE BOROUGH ENGINEER SUGGESTS A MORE FREQUENT CLEANING.
- THE VEGETATION (FOR THE CONTRIBUTING DRAINAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.
- INSPECT AT LEAST TWO TIMES PER YEAR AFTER RUNOFF EVENTS GREATER THAN 0.8 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN THE DESIGN PARAMETERS (3-4 DAYS).
- AT LEAST TWO TIMES PER YEAR, OR MORE IF THE BOROUGH ENGINEER INDICATE IT IS NECESSARY, INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, SIGNS OF WATER CONTAMINATION/SIGNS, AND INSTABILITY. LEAF LITTER SHALL BE PREVENTED WITH LEAF GUARDS, BUT NEEDS TO BE CHECKED FOR AND REMOVED ANNUALLY.
- AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN INFILTRATION THROUGH THE MRC'S SOIL MEDIA AND TO MAINTAIN WATER QUALITY FUNCTIONALITY. RESTORE ORIGINAL CROSS SECTION, PROPERLY DISPOSE OF SEDIMENT.

UTILITY NOTE: ALL UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, CABLE, FIBER OPTICS, AND TELEPHONE, SHALL BE PLACED UNDERGROUND.

MRC BASIN NOTE: AN IMPERVIOUS LINER SHALL BE INSTALLED ALONG ANY SIDE OF THE PROPOSED MRC SWM BMP THAT IS WITHIN 25'

ROOF LEADER NOTE: ALL GUTTERS AND ROOF DRAINS ARE TO INCORPORATE LEAF GUARDS TO PREVENT CLOGGING. ASSOCIATE ROOF LEADERS SHALL BE 6" HDPE @ 1.0% MIN. W/ 1.5" MIN. COVER.



MUNICIPALITY CERTIFICATION

I, _____, THE BOROUGH ENGINEER FOR THE BOROUGH OF PHOENIXVILLE, ON THIS DATE, _____, HAVE REVIEWED AND HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN (I.E. UTILITY PLAN) MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2022-2359, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE

NAME _____
SIGNATURE _____

APPLICANT CERTIFICATION

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT SITE PLAN (I.E. UTILITY PLAN) SHALL BE SUBMITTED TO AND APPROVED BY THE BOROUGH OF PHOENIXVILLE, AND A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

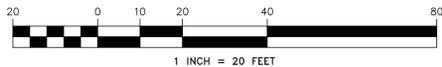
NAME _____
SIGNATURE _____

PROFESSIONAL CERTIFICATION

I, JOSEPH C. MONGELUZI, JR., PE, ON THIS DATE, _____, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN (I.E. UTILITY PLAN) MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2022-2359, BOROUGH OF PHOENIXVILLE'S STORMWATER MANAGEMENT ORDINANCE.

JOSEPH C. MONGELUZI, JR., PE (SEAL)

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM



PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA
PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**
SHEET TITLE: **UTILITY PLAN**

PREPARED BY: **WILKINSON APEX ENGINEERING GROUP, LLC**
374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400

DESIGNED	PROJECT #
BAM	2023-617
CHECKED (PM)	SHEET #
JCM	5
DATE	SCALE
04/04/24	AS SHOWN



LOCATION MAP

SCALE: 1" = ±200'

EXISTING FEATURES & DEMOLITION LEGEND

- (NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)
- TRACT (SITE) BOUNDARY
 - LEGAL RIGHT-OF-WAY LINE
 - SETBACK LINE
 - EDGE OF PAVEMENT
 - CURB
 - STRIPING
 - MAJOR ELEVATION CONTOUR
 - MINOR ELEVATION CONTOUR
 - SANITARY SEWER
 - STORM SEWER
 - ELECTRIC SERVICE
 - WATER LINE
 - GAS SERVICE
 - OVERHEAD UTILITY LINE
 - FEMA FLOODPLAIN BOUNDARY
 - FENCE (CHAIN LINK)
 - FENCE (OTHER)
 - CONCRETE
 - SOIL TYPE SYMBOL
 - SPOT ELEVATION
 - SURVEY MONUMENT
 - STORM MANHOLE
 - SANITARY MANHOLE
 - UTILITY POLE
 - SIGN
 - WATER VALVE
 - BUILDING

PROPOSED & DESIGN FEATURES LEGEND

- (NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)
- ULTIMATE RIGHT-OF-WAY LINE
 - CONCRETE MON./IRON PIN TO BE SET
 - EDGE OF PAVEMENT
 - CURB
 - STRIPING
 - STORM SEWER
 - ROOF LEADER W/ CLEANOUT
 - ELEVATION CONTOUR
 - CONCRETE PAVEMENT
 - HEAVY DUTY PAVEMENT
 - LIGHT DUTY PAVEMENT
 - GREENWAY OPEN SPACE
 - PERFORATED STEEL STAIRS
 - STORM SEWER INLET
 - STORM SEWER MANHOLE
 - STORMWATER DESIGN SOIL INFILTRATION TEST PIT (TEST DEPTH/ELEVATION) (RESULT)
 - SANITARY GRAVITY SEWER WATER PIPE (DOMESTIC/FIRE)
 - ELECTRIC VEHICLE DESIGNATED SPACE
 - PARKING COUNT
 - WATER METER PIT ACCESS MANHOLE

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1778 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.



LOCATION MAP
SCALE: 1" = ±200'

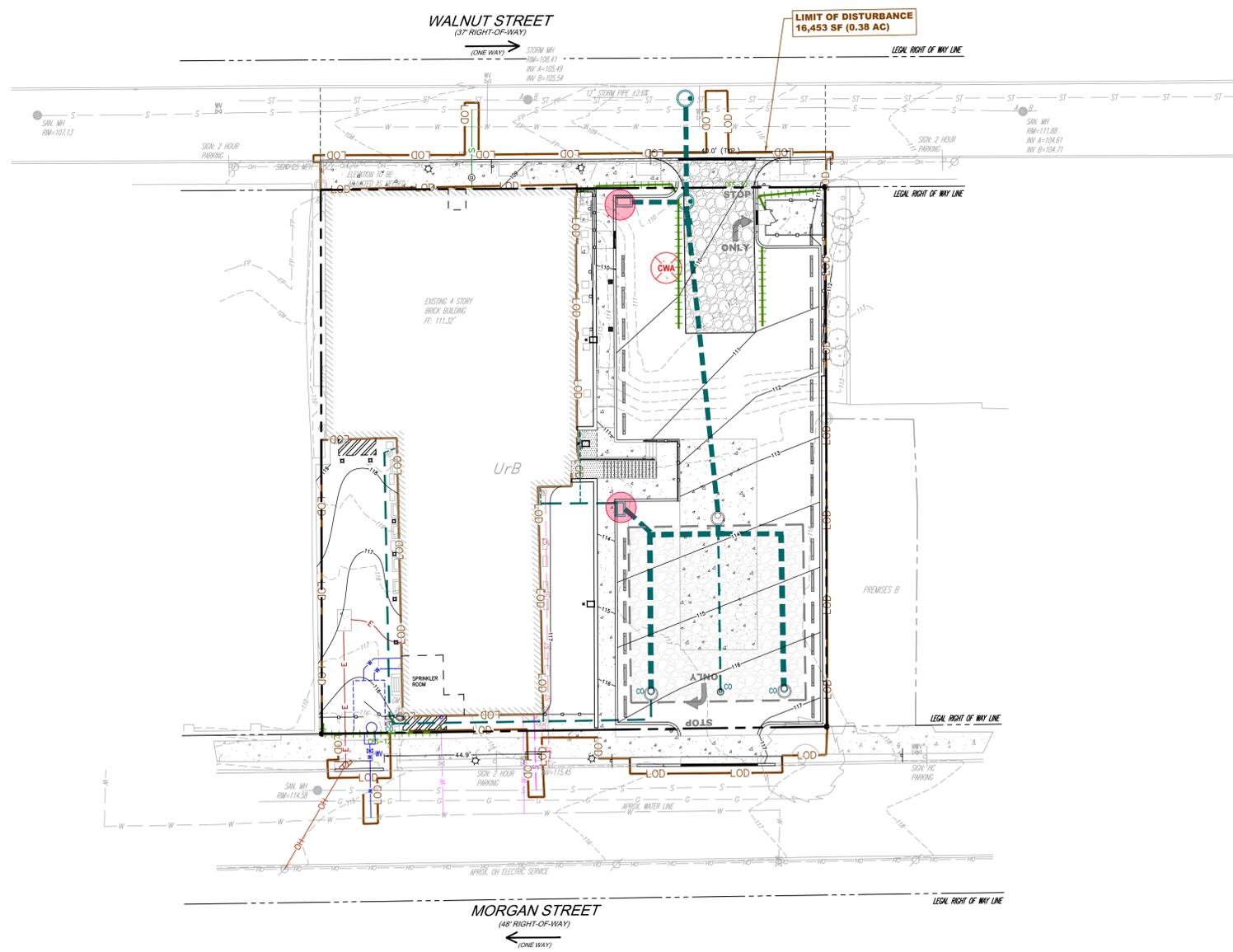
EROSION CONTROL LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)

- LIMIT OF DISTURBANCE
- COMPOST FILTER SOCK WITH DIAMETER
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASH AREA
- TEMPORARY INLET PROTECTION

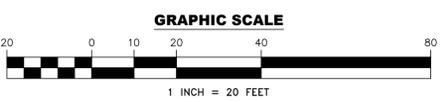
SOIL TABLE PER USDA NRCS WSS

SYMBOL	NAME	HYDROLOGIC GROUP	HYDRIC SOIL
UrB	URBAN LAND	B	NO



NOTE: ALL EXCAVATED TOP SOIL IS TO BE HAULED OFFSITE, NO TEMPORARY STORAGE IS PROPOSED.

SEE E&S NOTES (SHEET 8 OF 13)



Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation.
Coordinate your projects via Coordinate PA at www.paonecall.org.
Pennsylvania One Call System Serial Number 20233401370, 20223632057

REV	DATE	DESCRIPTION	BY
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM

SEAL

PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

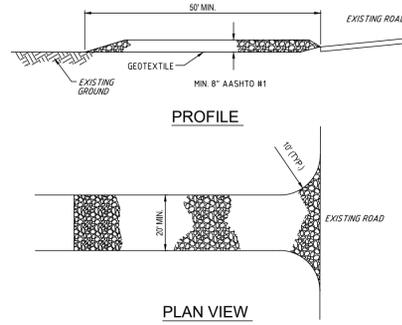
PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**

SHEET TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PREPARED BY: **WILKINSON APEX ENGINEERING GROUP, LLC**
374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400

DESIGNED	PROJECT #
BAM	2023-617
CHECKED (PM)	SHEET #
JCM	6
DATE	OF
04/04/24	14
SCALE	
AS SHOWN	

J:\PROJECTS\2023\20230617 - 375 Morgan Street Road\DWG\20230617 - 375 Morgan Street - LD Set.dwg

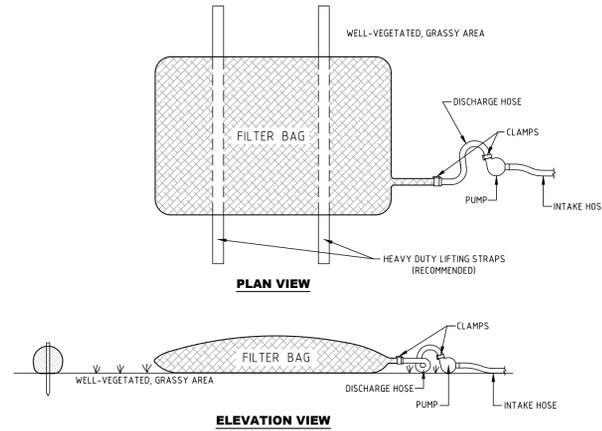


*NOTE: WHERE IT IS NOT PRACTICAL FOR THE RCE TO MEET THE TYPICAL 2020/21 MINIMUM DIMENSION REQUIREMENTS DUE TO SITE CONSTRAINTS, THE FULL LENGTH AND WIDTH OF THE PERMANENT DRIVEWAY DIMENSIONS MAY BE USED.

- NOTES:**
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
 - EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MAINTENANCE:
ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON THE ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50' INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, STORM SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE (RCE)



NOTES:

- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS MAY BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

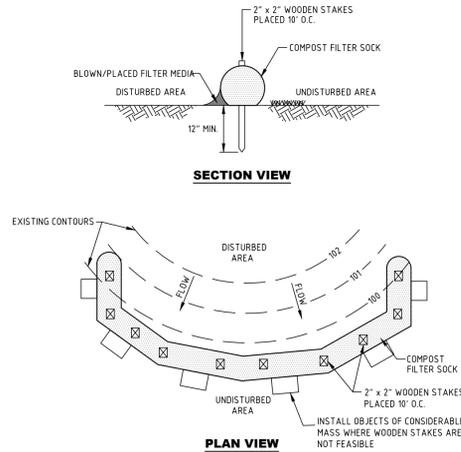
PROPERTY	TEST METHOD	MINIMUM
AVG. WIDE WIDTH STRENGTH	ASTM D-488	60 LB./IN.
GRAB TENSILE	ASTM D-4632	205 LB.
PUNCTURE	ASTM D-4833	110 LB.
MULLEN BURST	ASTM D-3706	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ADS % RETAINED	ASTM D-4751	80 SIEVE

- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
- BAGS SHALL BE LOCATED IN A WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAG IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED. THE MAXIMUM PUMPING RATE FOR ANY BAG SHOULD BE AVAILABLE AT THE SITE AT ALL TIMES DURING PUMPING OPERATIONS.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG

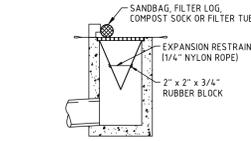
TABLE 4.1
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 MIL HDPE		5 MIL HDPE		HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPFP)	
	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI	
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1,000 HRS	23% AT 1,000 HRS		100% AT 1,000 HRS	100% AT 1,000 HRS	
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS	
TWO-PLY SYSTEMS						
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND					
	FUSION-WELDED JUNCTURES					
OUTER FILTRATION MESH	3/4" x 3/4" MAX. APERTURE SIZE					
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)					
3/16" MAX. APERTURE SIZE						
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.						



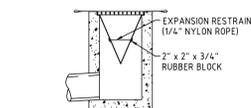
- NOTES:**
- SOCK FABRIC SHALL MEET THE STANDARDS OF TABLE 4.1.
 - COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
 - COMPOST SOCKS SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45° TO THE MAIN SOCK ALIGNMENT (SEE FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER. ITEMS OF CONSIDERABLE MASS (I.E. BRICK) MAY BE PLACED IMMEDIATELY DOWNSLOPE OF THE SOCK IF NEEDED FOR SOCKS PROPOSED ON IMPERVIOUS SURFACES.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS. SEE NOTE 9.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - SECTIONS OF FILTER SOCK MAY BE INSTALLED IN SHORTER SEGMENTS TO ALLOW FOR EASIER REMOVAL AND REPLACEMENT FOR EQUIPMENT ACCESS. SEGMENTS MUST BE OVERLAPPED AS DETAILED.
 - THE FLAT DIMENSION OF THE SOCK SHOULD BE AT LEAST 15 TIMES THE NOMINAL DIAMETER.

*** SEE 2012 "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL"**
COMPOST FILTER SOCK
NOT TO SCALE

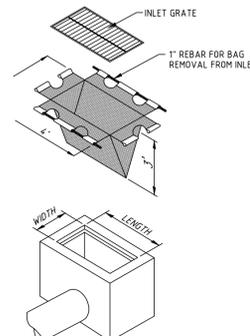


TYPIC C INSTALLATION DETAIL

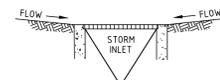
CONSTRUCT INLETS PER THE SPECIFICATIONS ON THE PCSM PLANS. INSTALL BITUMINOUS, BUTYL RUBBER SEALANT UNDER TOP UNIT. GRADE ADJUSTMENT RING AND ALL BOX SECTION JOINTS FOR ALL INLETS.



TYPE M INSTALLATION DETAIL



ISOMETRIC VIEW

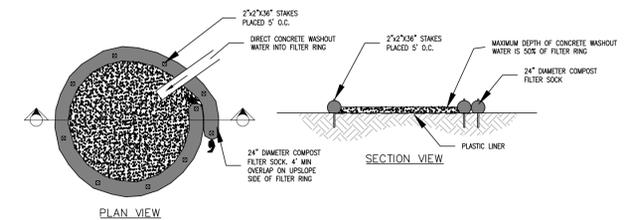


ELEVATION VIEW

- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 - ADD FLEXSTORM INLET FILTER BAGS OR APPROVED EQUAL SHALL BE USED IN INLINE DRAINS AND DRAIN BASINS.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPLOYED AND RINSED OR REPLACED WHEN 1/2 FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

FILTER BAG INLET PROTECTION

NOT TO SCALE



PLAN VIEW

SECTION VIEW

NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 - 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
- MAINTENANCE:**
ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DECONTAMINATED AND REPAIRED OR REPLACED IMMEDIATELY.
ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

CONCRETE WASHOUT

NOT TO SCALE

TABLE 4.2
COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 1/2" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 g/5.0M (mbhos/cm) MAXIMUM

NTS

Dial 8-1-1 or 1-800-242-1778 not less than 3 business days prior to the start of excavation.
Coordinate your projects via Coordinate PA at www.811call.org.
Pennsylvania One Call System Serial Number 2023.3401.370, 2022.36.32057

REGISTERED PROFESSIONAL ENGINEER
NORMAN MORGENTHAU, JR.
P.E. 04542222
PENNSYLVANIA

1 06/20/24 REV. DATE PER BOROUGH CONSULTANTS' REVIEW DESCRIPTION

PROJECT: 375 MORGAN STREET PHOENIXVILLE, PA 19460
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

PREPARED FOR: 217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025

PLAN TITLE: PRELIMINARY/FINAL LAND DEVELOPMENT

SHEET TITLE: EROSION AND SEDIMENT CONTROL DETAILS

PREPARED BY: WILKINSON APEX ENGINEERING GROUP, LLC
374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400

DESIGNED: BAM
CHECKED (PM): JCM
DATE: 04/04/24
SCALE: AS SHOWN

PROJECT #: 2023-617
SHEET #: 7 OF 14

STANDARD E&S PLAN NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY...)

TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION SPECS.

"THESE SPECIFICATIONS ARE INTENDED TO REPRESENT STANDARD E&S WORKSHEET #21 FROM THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, TECHNICAL GUIDANCE 363-2134-008, MARCH 2012."

TEMPORARY SEEDING

Table with columns for SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types like ANNUAL RYEGRASS OR SPRING OATS.

PERMANENT SEEDING FOR SLOPES FLATTER THAN 3H:1V AND THE BASIN BOTTOM

Table with columns for TOPSOIL PLACEMENT DEPTH, SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types.

AND

Table with columns for SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types like TALL FESCUE OR FINE FESCUE.

OR

Table with columns for SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types like TALL FESCUE, PLUS FINE FESCUE.

PERMANENT SEEDING FOR SLOPES 3H:1V OR STEEPER

Table with columns for TOPSOIL PLACEMENT DEPTH, SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types.

AND

Table with columns for SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types like BIRDSFOOT TREFOIL, PLUS TALL FESCUE.

OR

Table with columns for SEED SPECIES, SEEDING RATE PLS, LBS/ACRE, and various crop types like FLATPEA, PLUS TALL FESCUE.

NOTES:

- 1. ALTERNATE PERMANENT SEEDING MIXTURES MAY BE PROVIDED IN ACCORDANCE WITH THE SEED MIXTURES FOR SITE CONDITIONS SPECIFIED IN TABLE 11.5 OF THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, TECHNICAL GUIDANCE 363-2134-008, MARCH 2012."

GEOLOGIC FORMATIONS/SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION

BASED ON THE NRCS SOIL SURVEY, THE SITE CONTAINS DUFFIELD SOILS WHICH, PER THE APPENDIX E OF THE E&SPC PROGRAM MANUAL, HAVE A SOIL USE LIMITATION OF POTENTIAL SINKHOLE. IF A SINKHOLE DEVELOPS OR IS ENCOUNTERED DURING CONSTRUCTION, REMEDIATE THE SINKHOLE IN ACCORDANCE WITH THE SINKHOLE REMEDIATION DETAIL AND UNDER THE SUPERVISION OF A PROFESSIONAL WITH EXPERIENCE IN SINKHOLE REMEDIATION.

POTENTIAL THERMAL IMPACTS TO SURFACE WATERS

POTENTIAL THERMAL IMPACTS TO SURFACE WATERS MAY RESULT FROM THE DIRECT EXPOSURE OF STORMWATER TO SURFACES WITH ELEVATED TEMPERATURES, SPECIFICALLY ASPHALT PAVEMENT AND DARKER-COLORED ROOFTOPS.

IN ORDER TO MINIMIZE THE POTENTIAL FOR THERMAL IMPACTS TO SURFACE WATERS DURING CONSTRUCTION, CONSTRUCTION IS STAGED TO REMOVE EXISTING VEGETATION ONLY WHEN NECESSARY TO CONSTRUCT IMPERVIOUS SURFACES LATER IN THE CONSTRUCTION PHASE TO REDUCE THE DURATION BETWEEN THE COMPLETION OF IMPERVIOUS SURFACES AND THE CONSTRUCTION OF PCSM BMPs THAT ARE DESIGNED TO MINIMIZE THERMAL IMPACTS, AND TO REQUIRE THE IMMEDIATE PERMANENT STABILIZATION OF DISTURBED AREAS THAT HAVE REACHED FINAL GRADE.

IN THE POST-CONSTRUCTION CONDITION, THE PROPOSED MRC BMP MANAGES THE FIRST FLUSH OF STORMWATER RUNOFF CONTRIBUTING TO THE FACILITY, WHICH CONTAINS THE MAJORITY OF THERMALLY IMPACTED RUNOFF, THEREBY MITIGATING THE POTENTIAL THERMAL IMPACTS TO SURFACE WATERS.

RECYCLING OR DISPOSAL OF WASTE MATERIALS

- 1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 261.1 ET SEQ. 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

VEGETATIVE STABILIZATION STANDARDS

1. TEMPORARY VEGETATIVE STABILIZATION

- A. ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS OR WILL CEASE FOR MORE THAN FOUR (4) DAYS SHALL BE IMMEDIATELY TEMPORARILY STABILIZED.

2. PERMANENT VEGETATIVE STABILIZATION

- A. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER) IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, BE LEFT UNSTABILIZED WITHOUT BEING SEEDING AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE.

3. MULCHING

- A. AFTER TEMPORARY OR PERMANENT SEEDING, MULCH SHALL BE IMMEDIATELY PLACED, ANCHORED AND MAINTAINED ON THE SEEDED AREAS UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER HAS BEEN ACHIEVED.

4. HYDROSEEDING

- A. WHEREVER SEED AND MULCH IS APPLIED BY HYDROSEEDING METHODS, THE SEED AND MULCH SHOULD BE APPLIED IN SEPARATE APPLICATIONS WITH THE SEED BEING APPLIED FIRST AND THE MULCH SPRAWED ON TOP OF THE SEED.

5. EAST COAST EROSION CONTROL BLANKETS

THE FOLLOWING EROSION CONTROL BLANKETS AND CHANNEL LINERS MANUFACTURED BY EAST COAST EROSION BLANKET SHALL BE INSTALLED WHERE SPECIFIED TO PROVIDE SLOPE OR CHANNEL PROTECTION:

Table with columns for BLANKET, DESCRIPTION, and examples like ECS-1, ECS-1B and ECS-1D.

THE BLANKETS AND CHANNEL LINERS SHALL BE INSTALLED ON SOIL AREAS PREPARED AND SEEDED AS OUTLINED IN SECTIONS 1 OR 2, AND THE BLANKET/LINER SHALL BE IN FULL CONTACT WITH THE UNDERLYING SOIL. SPECIFIC INSTALLATION PROCEDURES AND STAPLE PATTERNS FOR VARIOUS APPLICATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

6. NORTH AMERICAN GREEN EROSION CONTROL BLANKETS

THE FOLLOWING EROSION CONTROL BLANKETS AND CHANNEL LINERS MANUFACTURED BY NORTH AMERICAN GREEN, INC. SHALL BE INSTALLED WHERE SPECIFIED TO PROVIDE SLOPE OR CHANNEL PROTECTION:

Table with columns for BLANKET, DESCRIPTION, and examples like S75 and S75 BN.

THE BLANKETS AND CHANNEL LINERS SHALL BE INSTALLED ON SOIL AREAS PREPARED AND SEEDED AS OUTLINED IN SECTIONS 1 OR 2, AND THE BLANKET/LINER SHALL BE IN FULL CONTACT WITH THE UNDERLYING SOIL. SPECIFIC INSTALLATION PROCEDURES AND STAPLE PATTERNS FOR VARIOUS APPLICATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

GRADING NOTES

- 1. AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.

LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION") NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST.

Table with columns for SOIL NAME, CUTBANKS CAVE, CORROSIVE TO CONCRETE/STEEL, DROUGHTY, EASILY ERODIBLE, FLOODING, DEPTH TO SATURATED ZONE, SEASONAL HIGH WATER TABLE, HYDRO/HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, SHRINK-SWELL, POTENTIAL SINKHOLE, PONDING, WETNESS.

RESOLUTIONS TO LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST.

CUTBANKS CAVE IT IS IMPERATIVE THAT APPROPRIATE PRECAUTIONS BE TAKEN TO CAREFULLY PRESERVED AND STORED FOR LATER USE IN RESTORATION. THE FINAL DESIGN SHOULD ALSO ADDRESS THE PROPER MOISTURE CONTENT FOR THE PROPOSED VEGETATIVE COVER.

CORROSIVE TO CONCRETE/STEEL SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT ALL UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS.

DROUGHTY N/A

EASILY ERODIBLE N/A

FLOODING N/A

DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE UNLESS ON SITE DATA INDICATES OTHERWISE, IT SHOULD BE ASSUMED THAT EXCAVATIONS INTO THESE SOILS WILL ENCOUNTER WATER AND APPROPRIATE MEANS PROVIDED TO HANDLE THAT WATER.

HYDRO/HYDRIC INCLUSIONS A WETLANDS DETERMINATION WAS CONDUCTED TO IDENTIFY IF WETLANDS ARE PRESENT ON OR NEAR THE PROJECT SITE THAT COULD BE AFFECTED BY THE PROPOSED EARTHWORK, AND DETERMINED THAT WETLANDS ARE ABSENT FROM THE PROJECT AREA.

LOW STRENGTH / LANDSLIDE PRONE PRECAUTIONS SHOULD BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES SUCH AS OVER-STEEPENING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. GRADING SHOULD COMPLY WITH THE STANDARDS CONTAINED IN THE E&S PLAN NOTES.

SLOW PERCOLATION SOIL TESTING INDICATES THAT AREAS DESIGNATED FOR INFILTRATION HAVE ACCEPTABLE INFILTRATION RATES IN THE RANGE OF 0.1 AND 10 INCHES PER HOUR. CONSEQUENTLY, SLOW PERCOLATION IS NOT CONSIDERED A LIMITATION.

PIPING PIPING POTENTIAL IN THE SOIL WILL BE MINIMIZED BY THE USE OF TRENCH PUGS. FURTHERMORE, ANY PLANNED EMBANKMENTS OR PERMANENT IMPOUNDMENTS SUSCEPTIBLE TO PIPING SHALL UTILIZE ANTI-SEEP COLLARS OR FILTER DIAPHRAGMS ON OUTLET BARRELS, IF APPLICABLE.

POOR SOURCE OF TOPSOIL SOIL TESTS ARE USUALLY RECOMMENDED TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS TO PROMOTE THE GROWTH OF THE DESIRED VEGETATION, WHEREVER SOILS THAT ARE FAIR OR GOOD SOURCES OF TOPSOIL MAY EXIST ON A SITE. THEY SHOULD BE

SITE CONSTRUCTION SEQUENCE NOTES

- 1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL WRITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.

SITE CONSTRUCTION SEQUENCE

- 1. FIELD/MARK LIMITS OF DISTURBANCE AND THE STORMWATER MANAGEMENT FACILITY (MRC BMP) FOOTPRINT WITH SURVEY STAKES, THE POST AND ROPE OR ORANGE CONSTRUCTION FENCE.

PADEP MRC CONSTRUCTION SEQUENCE

A LICENSED PROFESSIONAL ENGINEER SHOULD PROVIDE APPROPRIATE CONSTRUCTION SEQUENCING FOR THE MRC BMP. GUIDANCE SHOULD BE BASED ON THE STORMWATER BMP MANUAL TO THE GREATEST DEGREE POSSIBLE. CONSTRUCTION SEQUENCING SHOULD BE PROJECT-SPECIFIC, BUT AT A MINIMUM SHOULD INCLUDE THE FOLLOWING:

- 1. INSTALL THE MRC BMP DURING FINAL PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER INSTALLATION, PREVENT SEDIMENT-LOADED WATER FROM ENTERING THE FACILITY.

811 logo and contact information: Dial 8-1-1 or 1-800-242-1776 not less than 3 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at Pennsylvania One Call System Serial Number 2023.3401370, 2022.3632057.

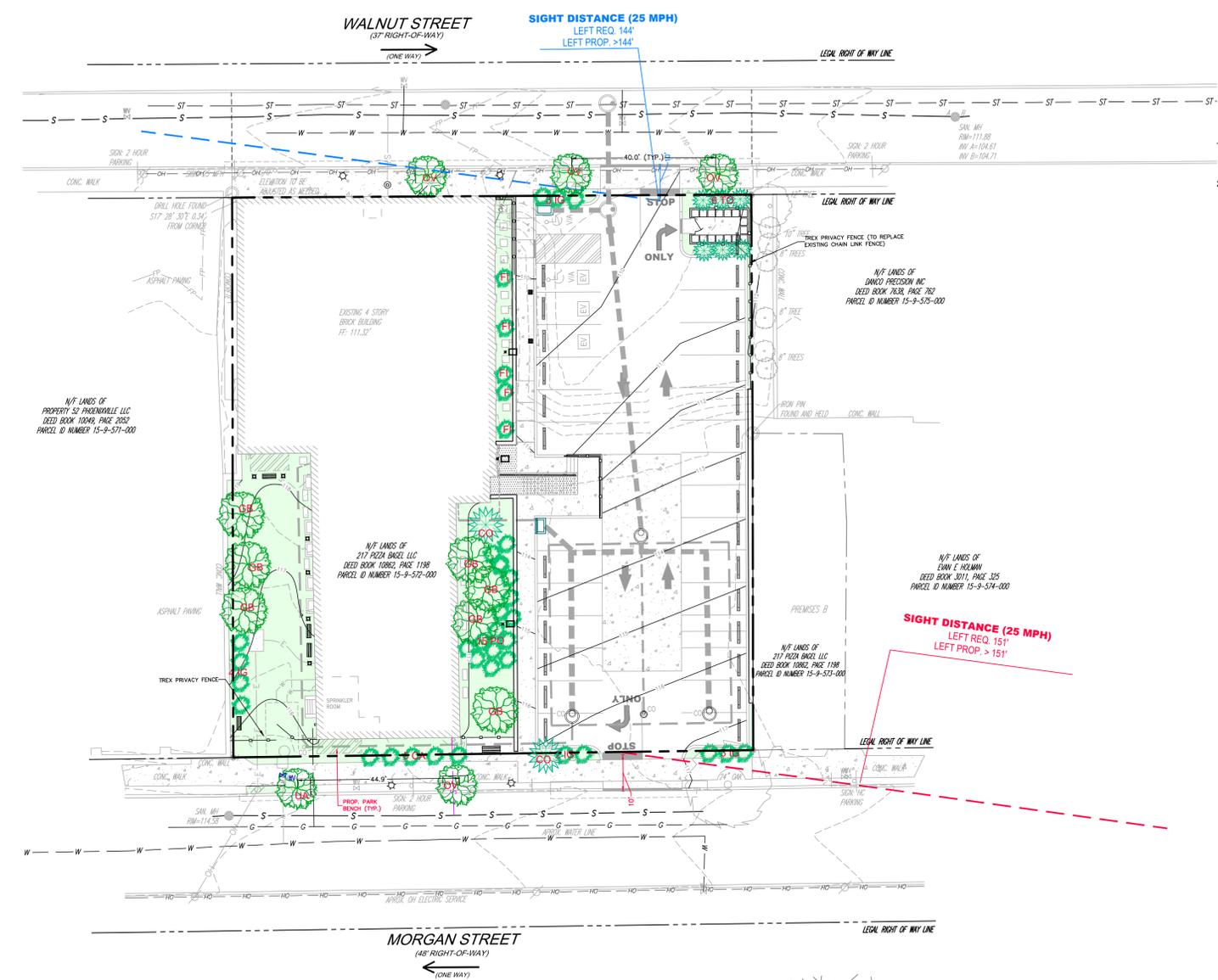
Professional Engineer seal for Joseph M. Longo, No. 100452222, State of Pennsylvania.

Project information: PROJECT: 375 MORGAN STREET PHOENIXVILLE, PA 19460. PREPARED FOR: 217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025.

Project title: PRELIMINARY/FINAL LAND DEVELOPMENT. SHEET TITLE: EROSION AND SEDIMENT CONTROL NOTES.

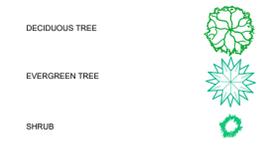
Prepared by: WILKINSON APEX ENGINEERING GROUP, LLC. 374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400.

Design and sheet information: DESIGNED: BAM, CHECKED: JCM, DATE: 04/04/24, SCALE: AS SHOWN, SHEET # 8 OF 14.



LANDSCAPING LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)



PLANTING SPECIFICATION NOTES

- THE ROOT COLLAR SHOULD BE EXPOSED AFTER REMOVAL OF THE TOP 50% OF PLANTING MATERIALS. ANY EXCESS SOIL SHOULD BE REMOVED TO REVEAL ROOT COLLAR OF TREE AND THE ROOT COLLAR SHOULD BE 1-3" ABOVE FINISHED GRADE.
- TREES SHALL BE STAKED WITH 2X2 WOODEN STAKES AND LOSSELY AFFIXED WITH ARBOR TAPE TIES. THE TIES SHOULD ONLY BE KNOTTED ON THE STAKE END TO ALLOW MOVEMENT DURING WIND EVENTS AND NOT GIROLE THE TREE IN THE TREE GROWING SEASONS.

SUBDIVISION AND LAND DEVELOPMENT LANDSCAPE GUIDELINES

- GENERAL WHERE IT IS DIFFICULT TO MEET THE LANDSCAPE STANDARDS BECAUSE OF EXISTING OBSTACLES (STREET LAMPS OVERHEAD WIRES, FIRE HYDRANTS, UTILITY RIGHTS-OF-WAY, CLOSE PROXIMITY OF OTHER STRUCTURES), DEVELOPERS MAY RECEIVE A WAIVER IN EXCHANGE FOR A MONETARY CONTRIBUTION TO THE BEAUTIFICATION COMMISSION TO BE USED FOR OTHER PROJECTS OF NEED WITHIN THE BOROUGH.
- ALL AREAS OF OPEN GROUND NOT DESIGNATED FOR LANDSCAPE PLANTING WALKWAYS, UTILITIES, OR PARKING SHOULD BE SEEDED OR SOODED. IN EITHER CASE A LAYER OF HUMUS OR SCREENED TOPSOIL NO LESS THAN ONE INCH IN DEPTH SHOULD BE PLACED OVER AREA TO BE TURNED INTO LAWN. IF SEEDING, A MIXTURE OF GRASS SEED THAT CONTAINS PERENNIAL RYE-GRASS, CREEPING FESCUE, AND BLUEGRASS IS PREFERRED. A STRAIGHT PERENNIAL RYEGRASS MIXTURE CAN BE APPLIED IF SEEDING IS DONE IN JUNE, JULY, OR AUGUST. NO ANNUAL RYE-GRASS SHOULD BE IN MIXTURE. ALL GRASS SHOULD BE COVERED BY STRAW, STRAW BLANKET, OR PROFESSIONALLY ACCEPTED GRASS SEED MULCH. THE DEVELOPER IS RESPONSIBLE FOR ADEQUATE WATERING OF LAWN AREA UNTIL GRASS IS SUCCESSFULLY ESTABLISHED. (WILL COMPLY)
- STREET TREES IF IT IS NOT POSSIBLE TO PLANT A SHADE TREE BY THE STREET DUE TO STREET OBSTACLES (LAMPPOSTS, FIRE HYDRANTS, CROSSWALKS) THE DEVELOPER IS RESPONSIBLE TO PROVIDE FUNDS TO THE BOROUGH STREET TREE COMMISSION IN LIEU OF THE NORMAL COST OF PLANTING TREE. FOR EVERY 40 FEET OF ROAD FRONTAGE, A SHADE TREE SHOULD BE PLANTED. FOR EACH TREE THAT CANT BE PLANTED DUE TO OBSTACLES, IT IS RECOMMENDED THAT DEVELOPER CONTRIBUTE \$300 TO THE STREET TREE COMMISSION. (WILL COMPLY)

DUE TO THE VOLUME OF EXISTING AND PROPOSED UNDERGROUND UTILITIES AND PROPOSED DRIVEWAY APRON DESIGN ON MORGAN STREET, OVERHEAD WIRES ON WALNUT STREET, THE APPLICANT IS FEASIBLY ABLE TO PROVIDE FIVE (5) TREES WITHIN THE RIGHT OF WAY, WHERE SEVEN TREES ARE REQUIRED BASED ON:

7 TREES REQUIRED BASED ON 289.04 FT OF FRONTAGE @ 40 FT O.C. APPLICANT IS PROPOSING TO PROVIDE 7 TREES THEREFORE, APPLICANT WILL PROVIDE \$600

BASED ON THE ADVICE OF BOROUGH CONSULTANTS AND Z0 S27-408.1, THE REMAINING TWO REQUIRED STREET TREES WILL BE PROVIDED IN ALTERNATE LOCATIONS FOR UNIQUE SCENARIOS. ADDITIONAL TREES ARE BEING PROPOSED IN THE SOUTHWEST LAWN AREA TO ACCOMMODATE THIS REQUIREMENT.

4. ALL PROPOSED DEVELOPMENTS ARE EXPECTED TO PROVIDE PROFESSIONAL LANDSCAPE PLANS FOR THE PLANTING OF FRONT OF BUILDING. ANY SIDES OF BUILDINGS SEEN FROM STREETS OR PARKING LOTS, ANY PROPERTY BORDERS TO PROVIDE SCREENING FROM EXISTING BUILDINGS AND ANY UNSIGHTLY DUMPSTERS OR NECESSARY UTILITIES/STORAGE AREAS. ALL PLANTINGS SHOULD HAVE NO LESS THAN 40% EVERGREENS FOR SHRUB MATERIAL. SMALL FLOWERING AND/OR ORNAMENTAL TREES AND PERENNIALS ARE EXPECTED TO ELEMENTS OF DESIGN. (WILL COMPLY)

5. ALL DESIGNS SHOULD TAKE INTO CONSIDERATION THE GROWTH HABITS OF PLANT MATERIAL WHEN SUGGESTING SPACING. ALL SHRUBS SHOULD HAVE A MINIMUM SPACING OF FOUR FEET ON CENTER. PERENNIALS SHOULD HAVE A MINIMUM OF TWO-FOOT SPACING. ALL TREES SHOULD BE PLACED FAR ENOUGH AWAY FROM BUILDINGS TO ALLOW FOR GROWTH (GENERALLY NO LESS THAN 10 FEET FROM BUILDINGS). (WILL COMPLY)

6. ALL BEDS ALONG BUILDING SHOULD BE A MINIMUM OF FOUR FEET IN WIDTH. (WILL COMPLY)

7. ALL PLANTING AREAS ARE EXPECTED TO HAVE SOIL AMENDED WITH HUMUS OR COMPOST AND TO BE MULCHED TO A DEPTH OF THREE INCHES. SHRUBS SHOULD BE A MINIMUM TWO GALLONS IN SIZE. PERENNIALS SHOULD BE A MINIMUM OF ONE GALLON IN SIZE. FLOWERING TREES SHOULD BE A MINIMUM OF 10 GALLONS IN SIZE OR ONE AND ONE QUARTER INCH CALIPER. (WILL COMPLY)

8. ALL PLANTS ARE TO BE GUARANTEED FOR EIGHTEEN MONTHS FROM THE DATE ON INSTALLATION. (WILL COMPLY)

9. PLANTING OF PRIVACY SCREENINGS DIVERSE PLANTING SHOULD BE PROVIDED AT PROPERTY EDGES TO PROVIDE FOR PRIVACY FOR EXISTING HOMES AND BUSINESSES. PLANTINGS SHOULD CONSIST OF A VARIETY OF DECIDUOUS TREES, EVERGREEN AND FLOWERING SHRUBS. FLOWERING AND ORNAMENTAL TREES SHOULD BE PLACED AT A MINIMUM SPACING OF 15 FEET. (WAIVER REQUESTED)

SCHEDULE OF PROPOSED LANDSCAPE

SYMBOL	BOTANICAL NAME	COMMON NAME	MIN. SIZE	ROOT	QTY
TREES					
CO	CHAMAECYPARIS 'GRACILIS'	SLENDER HINOKI EYPRESS	6-8 HT	B+B	2
GB	GINKGO BILOBA	GOLDSPIRE	1 1/2" CAL.	B+B	7
CC	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	30 HT	B+B	3
UA	ULMUS AMERICANA	AMERICAN ELM	80 HT	B+B	1
OV	OSTRYA VIRGINIANA	HOP HORNBEAM	40 HT	B+B	4
TO	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	40 HT	B+B	6
TOTAL					23
SHRUBS					
FI	FOTHERGILLA X INTERMEDIA	'LEGEND OF THE FALL' - BOTTLEBRUSH	2 GAL	CONT.	5
PO	PHYSOCARPUS OPULIFOLIUS	NINEBARK	2 GAL	CONT.	15
CA	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	2 GAL	CONT.	5
IG	ILEX GLABRA	INKBERRY	2 GAL	CONT.	12
TOTAL					37
GROUNDCOVERS/PERENNIALS					
HC	HMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	CONT.	18" O.C.
CP	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	CONT.	24" O.C.
CA	CAREX APPALACHIA	APPALACHIAN SEDGE	1 GAL	CONT.	24" O.C.

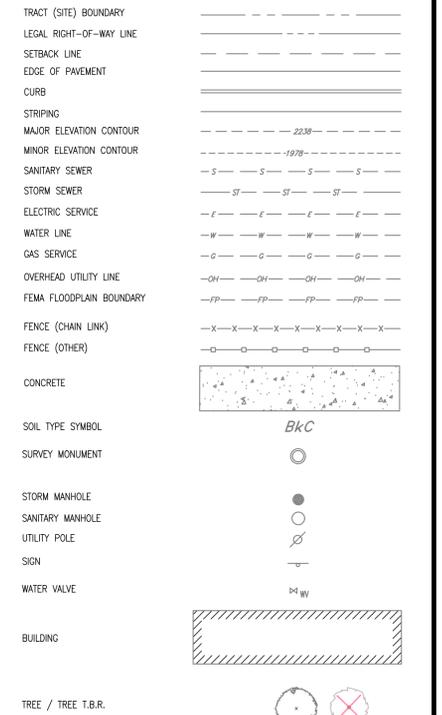


LOCATION MAP

SCALE: 1" = ±200'

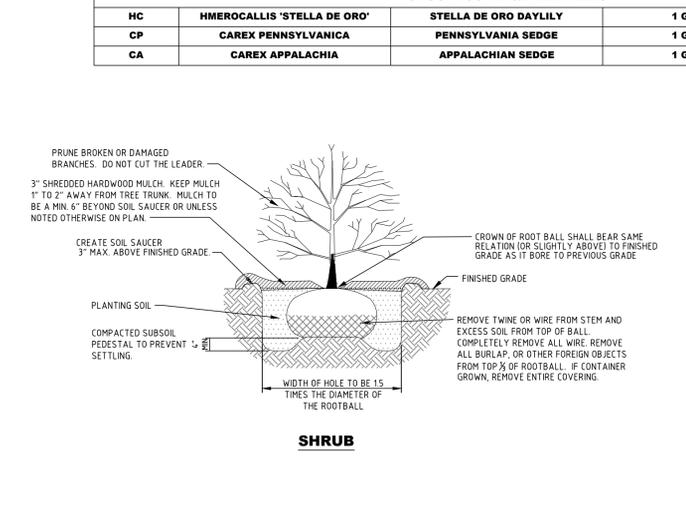
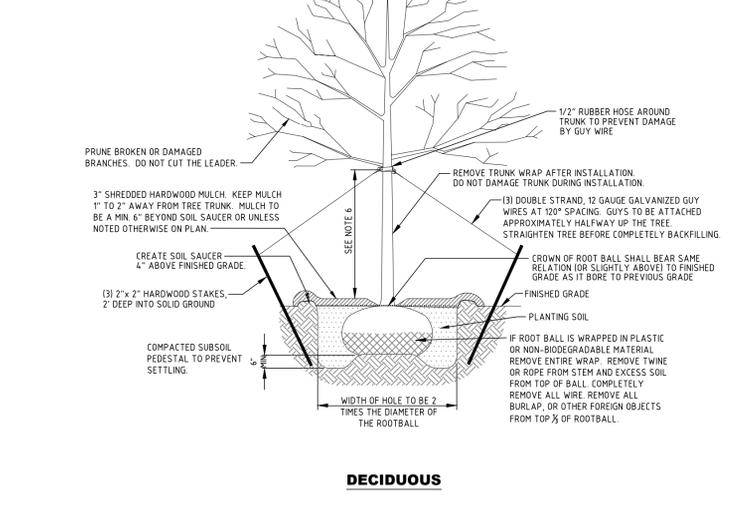
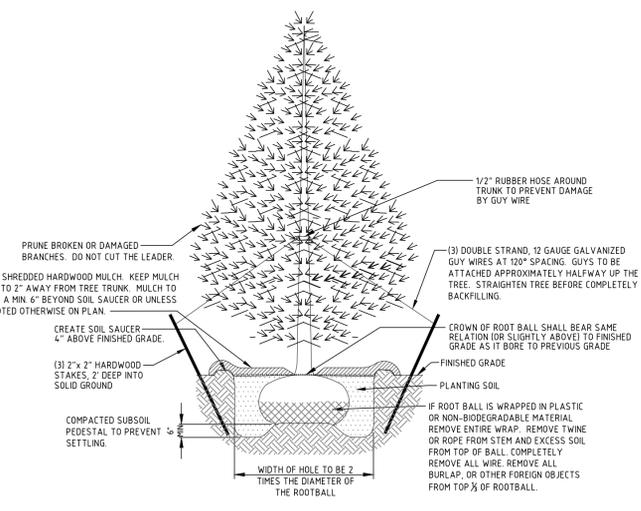
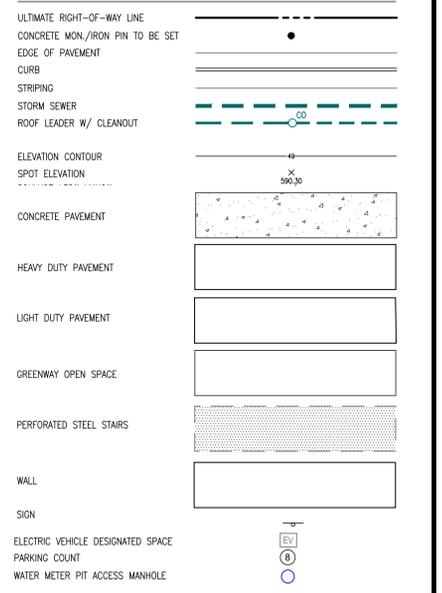
EXISTING FEATURES & DEMOLITION LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)



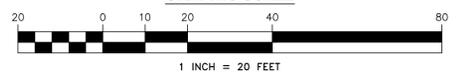
PROPOSED & DESIGN FEATURES LEGEND

(NOT ALL ITEMS SHOWN IN THE LEGEND MAY APPEAR ON PLAN VIEW)



EVERGREEN

GRAPHIC SCALE



811 Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at www.811pa.org. Pennsylvania One Call System Serial Number 2023.33401370, 2022.3632057

PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**

BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

DATE: 06/20/24

DESCRIPTION: PER BOROUGH CONSULTANTS' REVIEW

DESIGNED BY: BAM

CHECKED BY: JCM

DATE: 04/04/24

SCALE: AS SHOWN

PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**

SHEET TITLE: **LANDSCAPING PLAN**

DESIGNED BY: BAM

CHECKED BY: JCM

DATE: 04/04/24

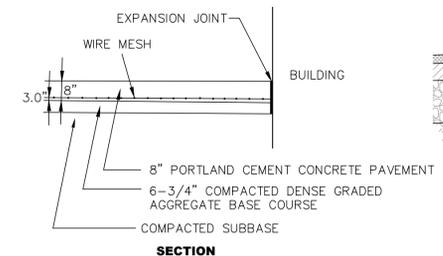
SCALE: AS SHOWN

PROJECT #: 2023-617

SHEET #: 9 OF 14

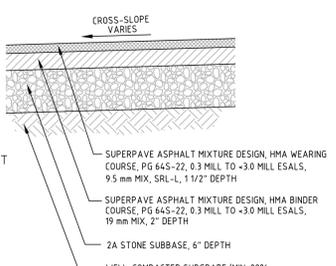
PREPARED BY: **WILKINSON APEX ENGINEERING GROUP, LLC**

374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 | 610-323-3400



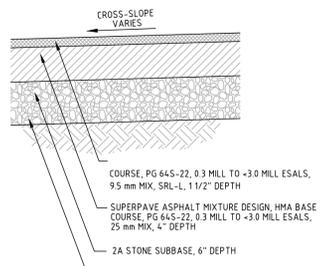
- ALL CONCRETE SHALL BE 4500 PSI, CLASS B, AIR ENTRAINED
- WIRE MESH SHALL BE 6"x6" W2.9/W2.9 WELDED WIRE FABRIC.

CONCRETE LOADING AREA PAVEMENT DETAIL
N.T.S.



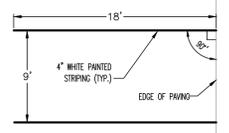
LIGHT DUTY

NOTE: WHERE LIGHT DUTY PAVING IS CONSTRUCTED DOWNSLOPE OF HEAVY DUTY PAVING, SLOPE THE SUBGRADE FROM THE HEAVY DUTY PAVING AT MIN. 1% INTO LIGHT DUTY AREA AND PROVIDE ADDITIONAL SUBBASE UNDER THE LIGHT DUTY PAVING UNTIL THE SUBGRADE ELEVATION MEETS THE EXTENDED HEAVY DUTY SECTION SUBGRADE DEPTH.

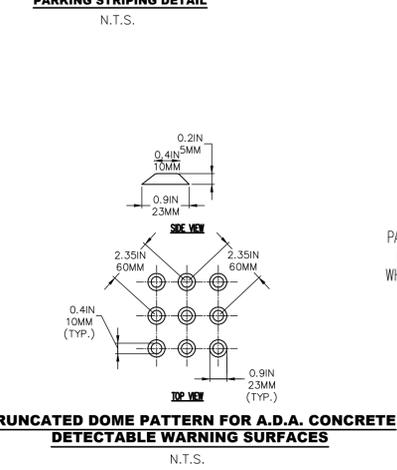


HEAVY DUTY

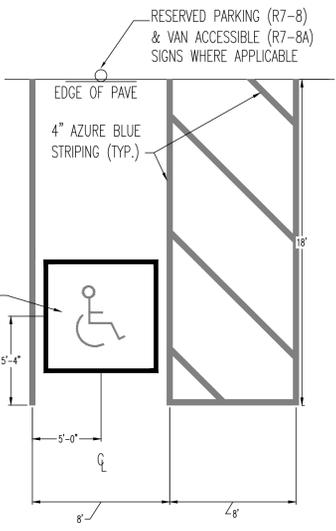
PAVING CROSS-SECTIONS
N.T.S.



PARKING STRIPING DETAIL
N.T.S.



TRUNCATED DOME PATTERN FOR A.D.A. CONCRETE DETECTABLE WARNING SURFACES
N.T.S.



NOTE: CURB RAMPS, PAVEMENT MARKINGS, & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

A.D.A. ACCESSIBLE PARKING STRIPING
N.T.S.

VERTICAL LEFT ONE WAY SIGN (R6-2L)



COLOR: LEGEND AND BORDER BACKGROUND
- BLACK (NON-REFLECTORIZED)
- WHITE (REFLECTORIZED)

SIGN SIZE	DIMENSIONS												
	A	B	C	D	E	F	G	H	J	K	L	M	N
18x24	18	24	2.5	5	1.5	4.5	5.5	6.25	6.3125	9.5625	6.875	5.875	4.5
24x30	24	30	3	6	1.875	4.375	5.825	7.25	7.5	7.875	8.25	7.75	6.125
30x36	30	36	4	7	2.3125	7.25	8.5	8.4375	8.75	9	9.75	9.6875	7.625

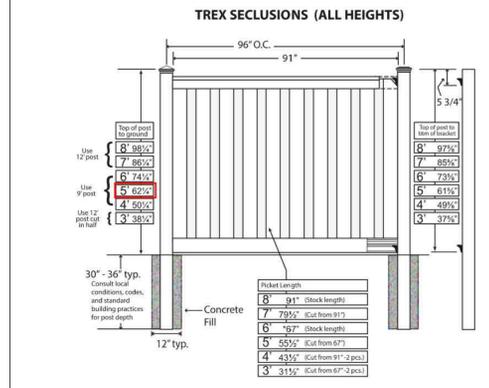
SIGN SIZE	DIMENSIONS									
	P	Q	R	S	1	2	MARGIN	BORDER	BLANK STD.	
18x24	2.625	2.25	.375	.4375	D	D	.375	.625	B5-2418	
24x30	3.5	3	4.375	.5825	D	D	.375	.625	B5-3024	
30x36	4.3125	3.75	5.625	.75	D	D	.5	.75	B5-3630	

DIMENSIONS - mm (IN)

SIGN SIZE	A	B	C	D	E	F	G	H	J	BLANK STD.
750 x 750	165	1000	47	126	365	310	251	199	83	B3-750
30" x 30"	(6.6)	(40)	(1.9)	(5)	(14.6)	(12.4)	(9.9)	(7.9)	(3.5)	(B3-30)
900 x 900	180	1250	60	150	440	375	314	249	93	B3-900
36" x 36"	(7.6)	(50)	(2.4)	(6)	(17.6)	(15)	(12.4)	(9.8)	(3.7)	(B3-36)
1200 x 1200	275	1500	75	200	590	500	377	298	103	B3-1200
48" x 48"	(11)	(60)	(3)	(8)	(23.6)	(20)	(14.9)	(11.8)	(4.1)	(B3-48)

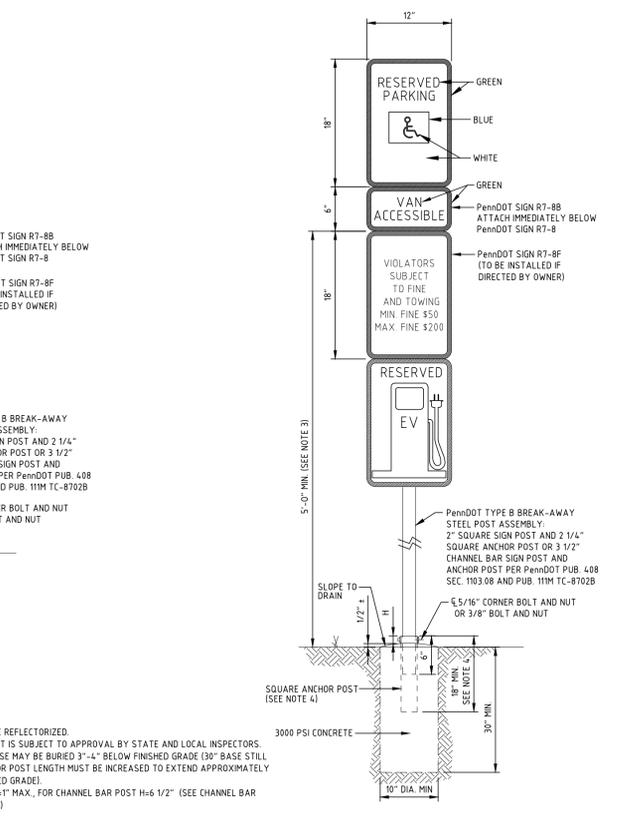
DO NOT ENTER SIGN (R5-1)
NOT TO SCALE

COLOR: NO. 1: LEGEND: WHITE (NON-REFLECTORIZED)
BACKGROUND: RED (REFLECTORIZED)
NO. 2: BACKGROUND: WHITE (REFLECTORIZED)

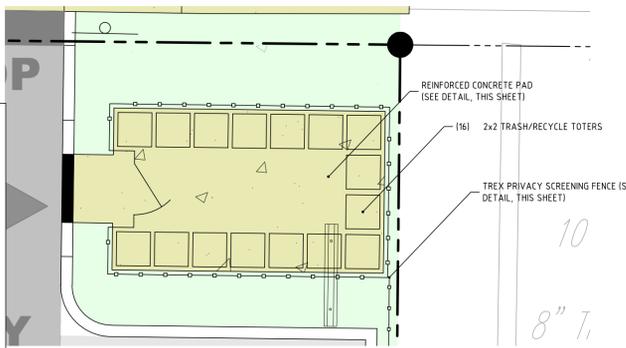


For digital copies of these instruction guidelines, or for drawings, technical specifications, and other architectural information, please refer to our web site:
trexfencing.com/support

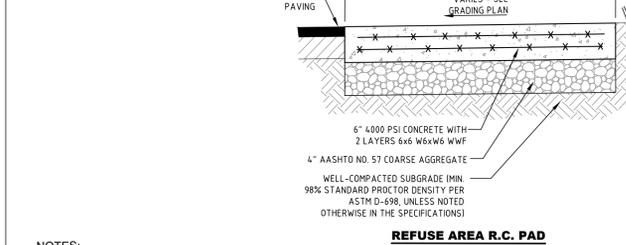
Be sure to research local codes and other requirements for your area prior to installing your fence. An installation preparation checklist is available on our website:
trexfencing.com/start-project/plan-your-fence/fence-project-preparation-checklist



SIGN & SIGN POST INSTALLATION
N.T.S.



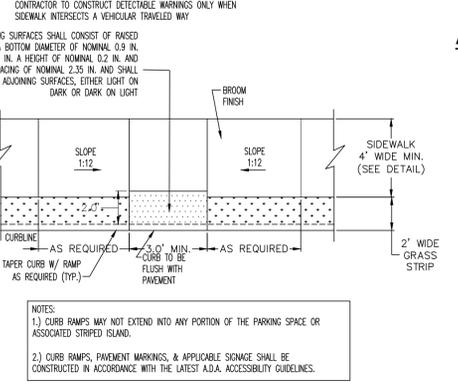
FULLY ENCLOSED REFUSE AREA DETAIL
NOT TO SCALE



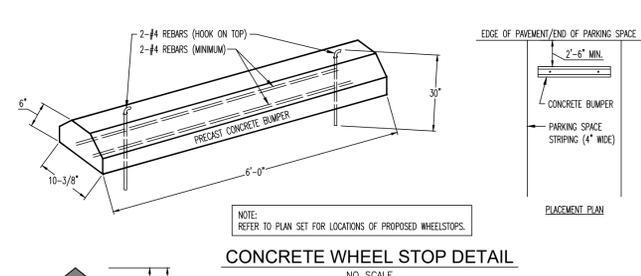
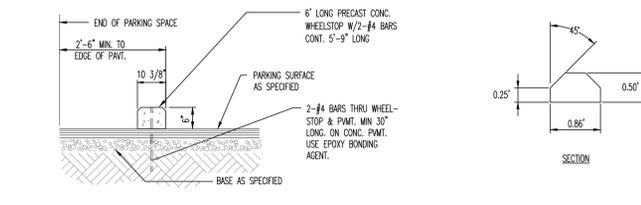
REFUSE AREA R.C. PAD

NOTES:

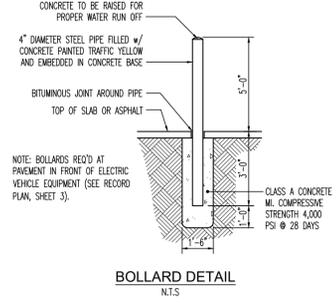
- SCREENING/FENCING ARE SUBJECT TO HARB APPROVAL.
- SIZE NUMBER OF TRASH AND RECYCLING TOTES WAS BASED ON INPUT FROM THE PROPOSED PRIVATE HAULER FOR THE SUBJECT PROPERTY. IF HARB APPROVAL IS OBTAINED, IT WAS CONSERVATIVELY ADVISED THAT TEN TRASH TOTES BE PROVIDED AND FIVE RECYCLING TOTES BE PROVIDED GIVEN AN ESTIMATE 9-10 YARDS OF VOLUME PER WEEK AND PICKUP 2X A WEEK. AT LEAST 16 TOTES FIT WITHIN THE TRASH ENCLOSURE DESIGNED.
- THE ENTRANCE TO THE TRASH ENCLOSURE IS INTENTIONALLY SET BACK FROM THE DRIVEWAY TO ENCOURAGE PEDESTRIANS TO BE OUT OF THE WAY OF VEHICLES WHILE ENTERING THE ENCLOSURE.



TYPE 2 A.D.A. CURB RAMP
N.T.S.



PAINTED TRAFFIC ARROW DETAIL
NO SCALE



BOLLARD DETAIL
N.T.S.

811 Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at www.pennocall.org. Pennsylvania One Call System Number 202.334.01370, 2022.36.32057

NO.	DATE	DESCRIPTION	BY
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM
REV	DATE	DESCRIPTION	BY

375 MORGAN STREET PHOENIXVILLE, PA 19460
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

PREPARED FOR:
217 PIZZA BAGEL, LLC
515 SKYLARK LANE DRESHER, PA 19025

PROJECT TITLE:
PRELIMINARY/FINAL LAND DEVELOPMENT

SHEET TITLE:
CONSTRUCTION DETAILS

DESIGNED BY:
BAM

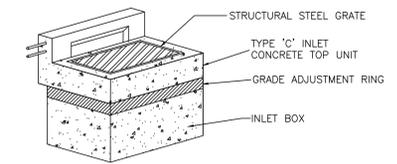
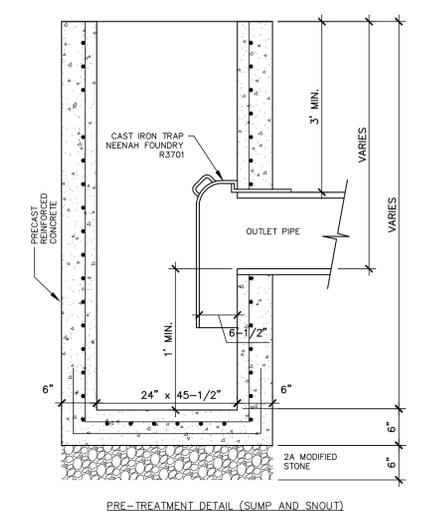
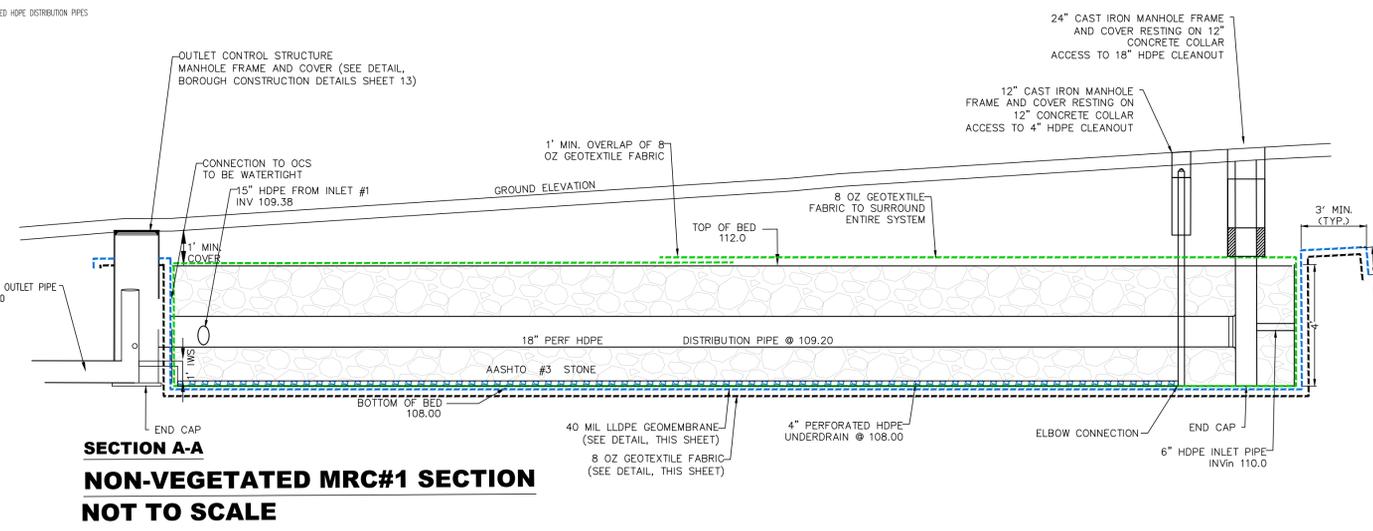
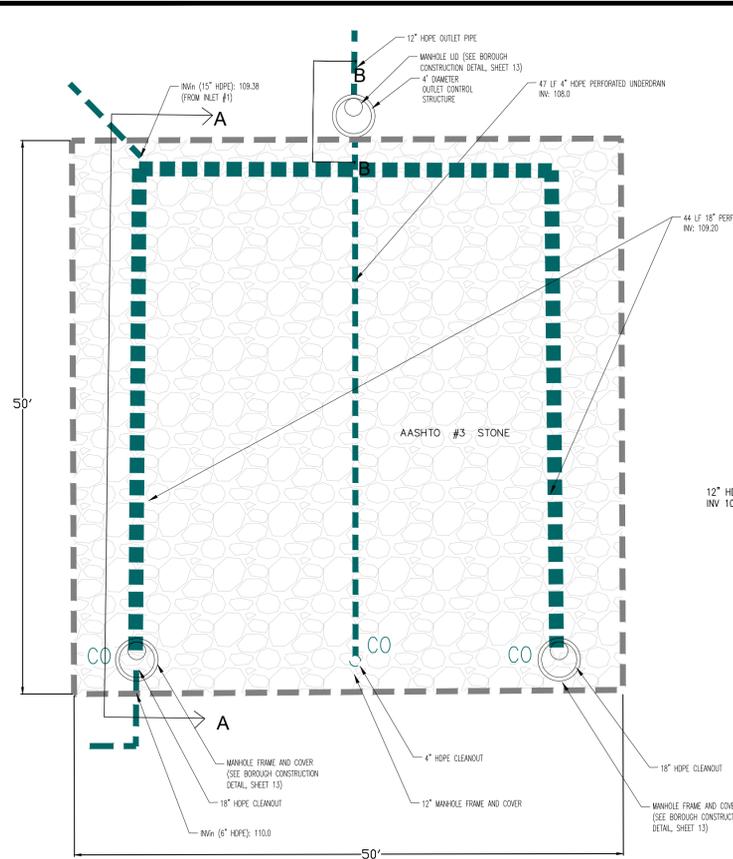
CHECKED BY:
JCM

DATE:
04/04/24

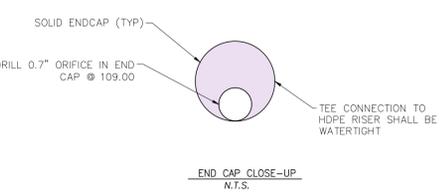
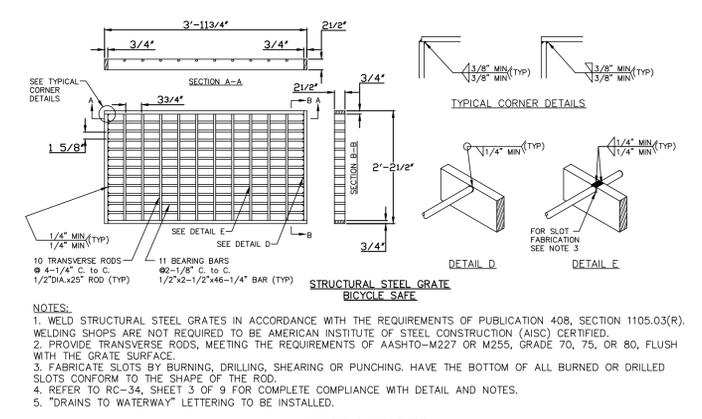
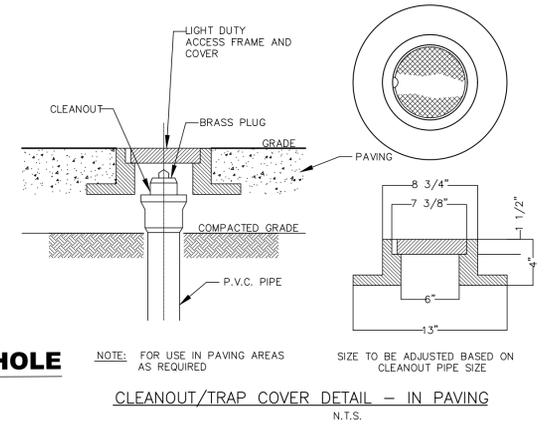
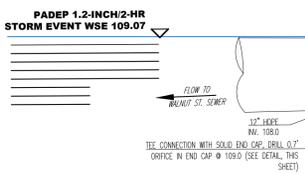
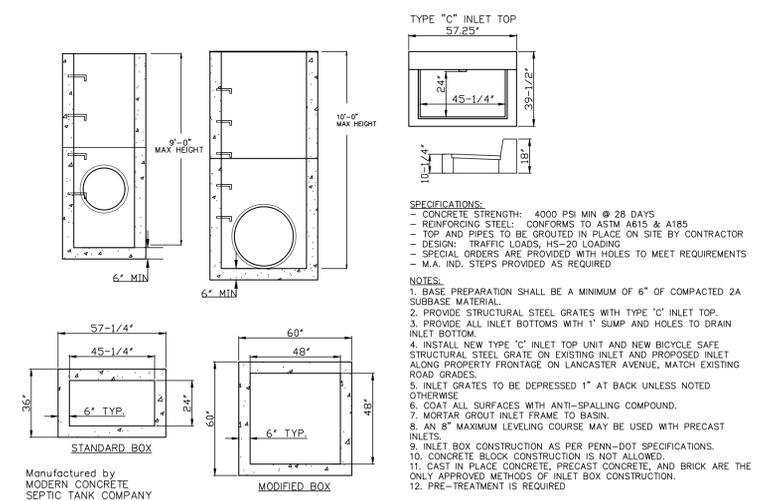
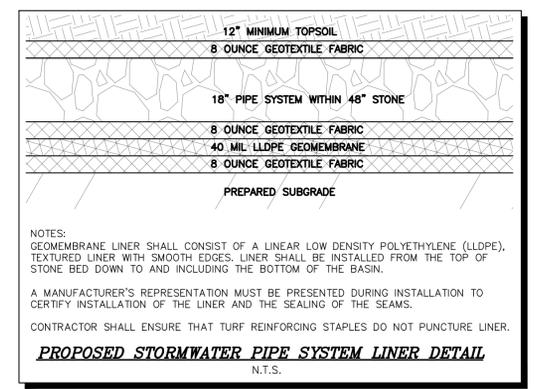
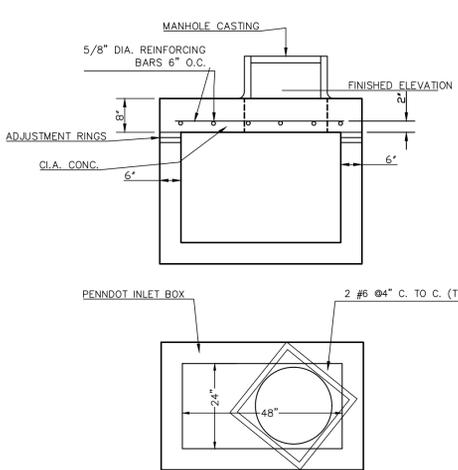
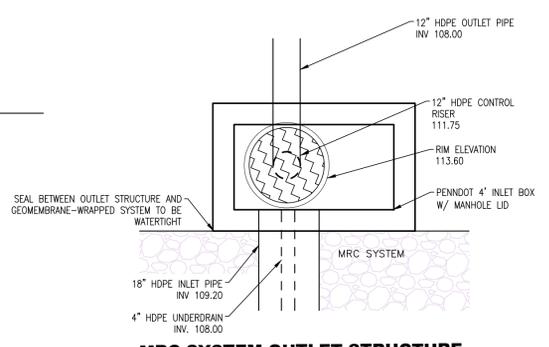
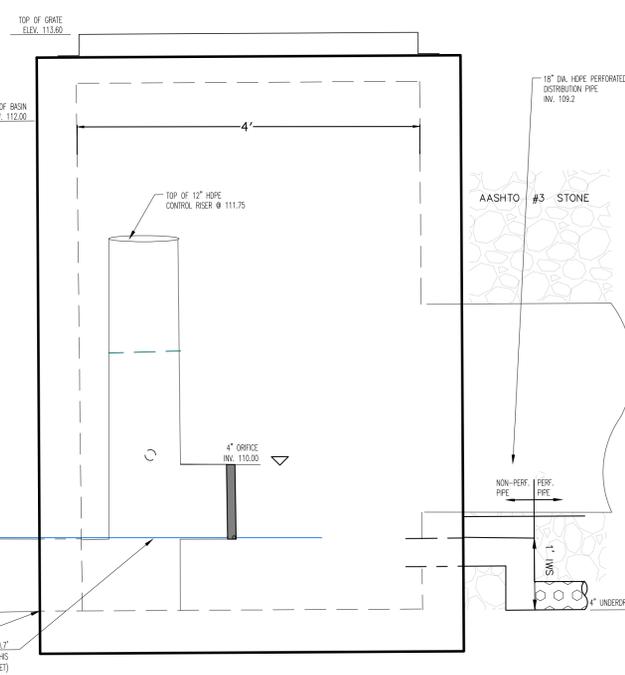
SCALE:
AS SHOWN

PROJECT #:
2023-617

SHEET #:
10 OF **14**



NON-VEGETATED MRC - 2,500 SF x 4' STONE RECHARGE BED NOT TO SCALE



BOX DETAIL FOR OUTLET CONTROL MANHOLE

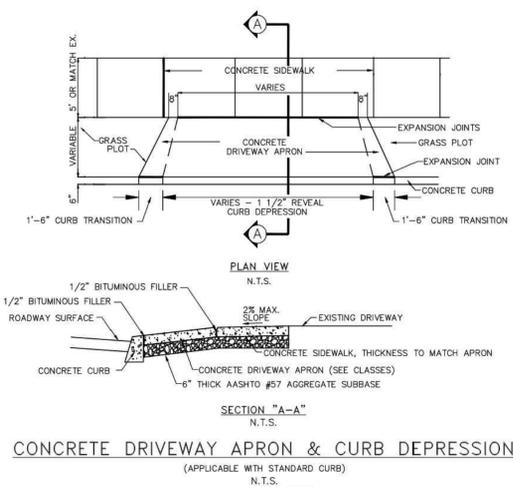
NOTE: FOR USE IN PAVING AREAS AS REQUIRED
 SIZE TO BE ADJUSTED BASED ON CLEANOUT PIPE SIZE
 N.T.S.

NOTES:
 1. WELD STRUCTURAL STEEL GRATES IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLICATION 408, SECTION 1105.03(R). WELDING SHOPS ARE NOT REQUIRED TO BE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) CERTIFIED.
 2. PROVIDE TRANSVERSE RODS, MEETING THE REQUIREMENTS OF AASHTO-M227 OR M255, GRADE 70, 75, OR 80, FLUSH WITH THE GRATE SURFACE.
 3. FABRICATE SLOTS BY BURNING, DRILLING, SHEARING OR PUNCHING. HAVE THE BOTTOM OF ALL BURNED OR DRILLED SLOTS CONFORM TO THE SHAPE OF THE ROD.
 4. REFER TO RC-34, SHEET 3 OF 9 FOR COMPLETE COMPLIANCE WITH DETAIL AND NOTES.
 5. *DRAINS TO WATERWAY* LETTERING TO BE INSTALLED.

TYPE C INLETS
 N.T.S.

J:\PROJECTS\2023\20230617 - 375 Morgan Street Road\DWG\20230617 - 375 Morgan Street - LD.dwg
 PROJECT: 2023\20230617 - 375 Morgan Street Road\DWG\20230617 - 375 Morgan Street - LD.dwg

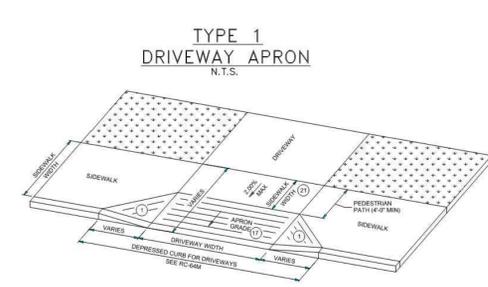
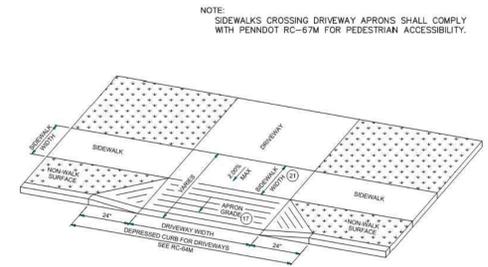
<p>Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at www.pennocall.org. Pennsylvania One Call System Serial Number 20233401370, 20223632057</p>		PROJECT: 375 MORGAN STREET PHOENIXVILLE, PA 19460 BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA	PLAN TITLE: PRELIMINARY/FINAL LAND DEVELOPMENT	DESIGNED: BAM	PROJECT #: 2023-617
		PREPARED FOR: 217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025	SHEET TITLE: STORMWATER MANAGEMENT CONSTRUCTION DETAILS	PREPARED BY: <p>ENGINEERING GROUP, LLC 374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 610-323-3400</p>	CHECKED (PM): JCM
1 06/20/24 PER BOROUGH CONSULTANTS' REVIEW REV DATE DESCRIPTION DESCRIPTION BY				SCALE: AS SHOWN	



- NOTES:
1. ALL CONCRETE IS TO BE 3,500 P.S.I., CLASS AA.
 2. DEPRESSED CURB SHALL BE SLOPED 1/4" PER FOOT TOWARDS THE STREET.
 3. CONCRETE SHALL BE ALLOWED TO CURE FOR SEVEN (7) DAYS.
 4. USE OF "HIGH EARLY" CONCRETE MAY BE APPROVED BY THE BOROUGH INSPECTOR.
 5. MONOLITHIC POURS SHALL ONLY BE PERMITTED BY SPECIAL EXCEPTION, AND ARE SUBJECT TO APPROVAL BY THE BOROUGH.
 6. CONTRACTOR SHALL PROVIDE EROSION CONTROLS TO CONTAIN OPEN EXCAVATIONS AND PROTECT THE NEAREST DOWNSTREAM INLET.

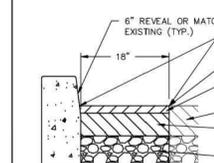
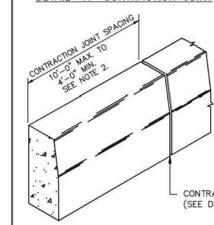
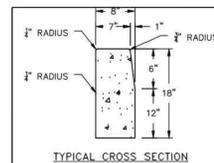
- DRIVEWAY APRON CLASSES - MINIMUM STANDARDS:
1. RESIDENTIAL - 6" THICKNESS WITH 6x6-W1.4/W1.4 WIREMESH REINFORCEMENT
 2. COMMERCIAL - 8" THICKNESS WITH 6x6-W2.1/W2.1 WIREMESH REINFORCEMENT
 3. INDUSTRIAL - DESIGN TO BE PROVIDED TO BOROUGH ENGINEER.
- *DETERMINATION OF CLASS SUBJECT TO APPROVAL BY THE BOROUGH.

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CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



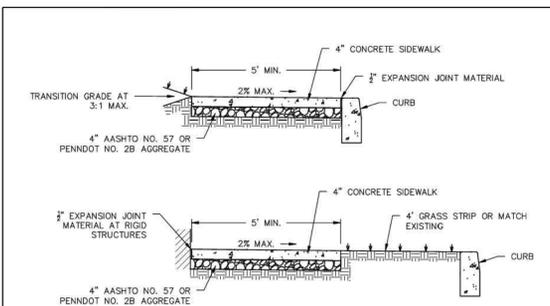
- NOTES:
1. SIDE FLARES TO 10% MAX SLOPE
 2. 1/4" MAX CHANGE IN GRADE BETWEEN ROAD SURFACE AND DRIVEWAY
 3. MINIMUM SIDEWALK WIDTH ACROSS DRIVEWAY IS 4'-0"

66
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



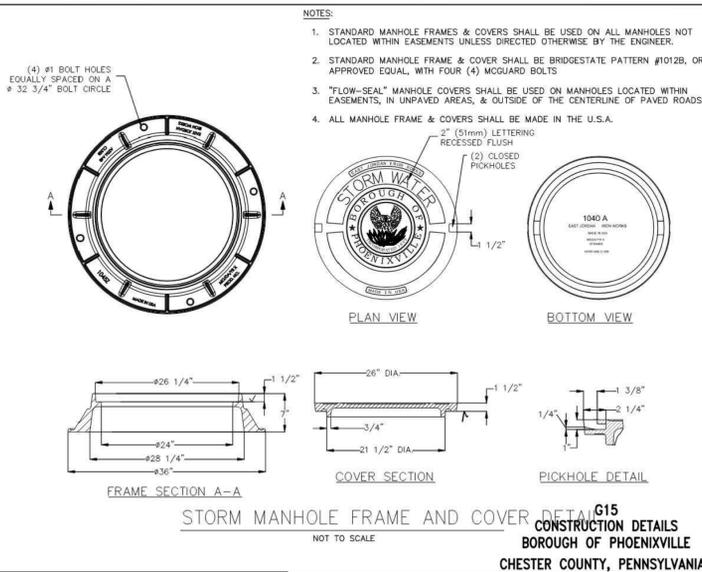
61
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER, EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,500 PS).
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 2" PREMOLDED EXPANSION JOINT MATERIAL CONFORMING TO THE CROSS SECTIONAL AREA OF THE CURB AT RIGID STRUCTURES AND AT THE END OF THE WORKDAY.
 4. SEE PENNDOT PUB. 72M, RC-50M FOR PLAIN CEMENT CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES.
 5. DEPRESSED CURB SHALL BE SLOPED 1/4" PER FOOT TOWARDS THE STREET.
 6. ALL CONCRETE SHALL BE CURED USING A WHITE PIGMENTED CURING COMPOUND OR OTHER APPROVED METHOD IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 501.
 7. THE MINIMUM LENGTH OF ANY CURB REPLACEMENT SHALL BE 4 FEET. WHERE CURB REPLACEMENT IS WITHIN 4 FEET OF AN EXISTING JOINT, THE CURB REPLACEMENT LENGTH SHALL BE EXTENDED TO THE EXISTING JOINT.
 8. FACE FORMED CURB IS PROHIBITED, EXCEPT WHEN AUTHORIZED IN ADVANCE BY THE BOROUGH.
 9. EXISTING SUBGRADE, STONE SUBBASE, AND ASPHALT PAVEMENT SHALL BE WELL COMPACTED.
 10. EXISTING PAVEMENT SHALL BE SAWCUT IN A NEAT, STRAIGHT LINE. IF ANY EXISTING PAVEMENT ALONG THE SAWCUT LINE BECOMES COMPROMISED DURING THE WORK, SAWCUT AROUND AND REMOVE THE COMPROMISED PAVEMENT PRIOR TO PERFORMING PAVEMENT RESTORATION.
 11. ALL CONCRETE SHALL BE PROTECTED UNTIL CURED SUFFICIENTLY FOR PEDESTRIAN OR, IF APPLICABLE, VEHICULAR TRAFFIC.

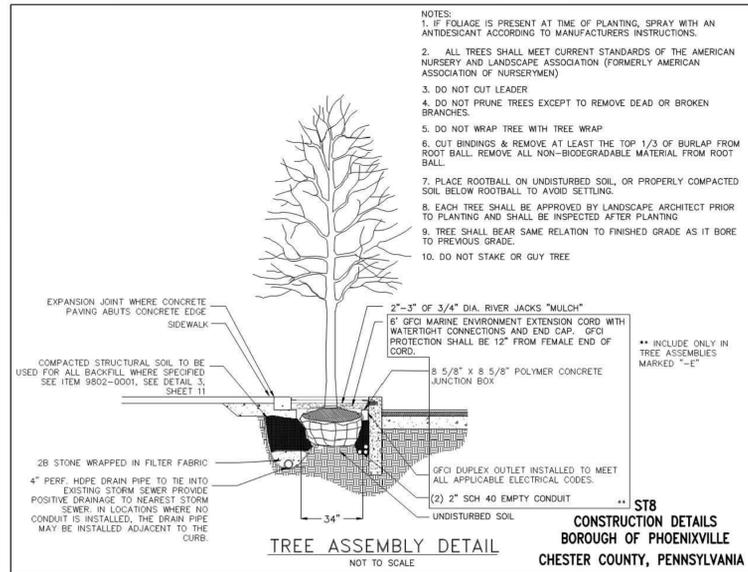


- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 676 FOR CEMENT CONCRETE SIDEWALKS. EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,500 PS).
 2. PLACE 2" PREMOLDED EXPANSION JOINT MATERIAL FOR THE FULL DEPTH OF THE SIDEWALK AT JOINTS ADJACENT CURB, BETWEEN SIDEWALK AND CURB, AND BETWEEN SIDEWALK AND RIGID STRUCTURES.
 3. FORM OUTSIDE EDGES AND JOINTS WITH 3/4" RADIUS EDGING TOOL.
 4. PROVIDE ADEQUATE SURFACE DRAINAGE FROM SIDEWALK TO THE TOP OF ADJACENT CURB OR OTHER OUTLET (MIN. 0.5% SLOPE).
 5. INSTALL SIDEWALK IN ACCORDANCE WITH CURRENT ADA STANDARDS.
 6. PROVIDE A LIGHT BROOM FINISH TRANSVERSE TO THE DIRECTION OF TRAVEL.
 7. ALL CONCRETE SHALL BE CURED USING A WHITE PIGMENTED CURING COMPOUND OR OTHER APPROVED METHOD IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 501.
 8. THE MINIMUM AREA OF ANY SIDEWALK REPLACEMENT SHALL EXTEND TO EXISTING CONTROL JOINTS AROUND THE REPLACEMENT.
 9. ALL CONCRETE SHALL BE PROTECTED UNTIL CURED SUFFICIENTLY FOR PEDESTRIAN OR, IF APPLICABLE, VEHICULAR TRAFFIC.
 10. MINIMUM SIDEWALK WIDTH SHALL BE 5 FEET OR SHALL MATCH ADJOINING SIDEWALK WIDTH, IF GREATER.

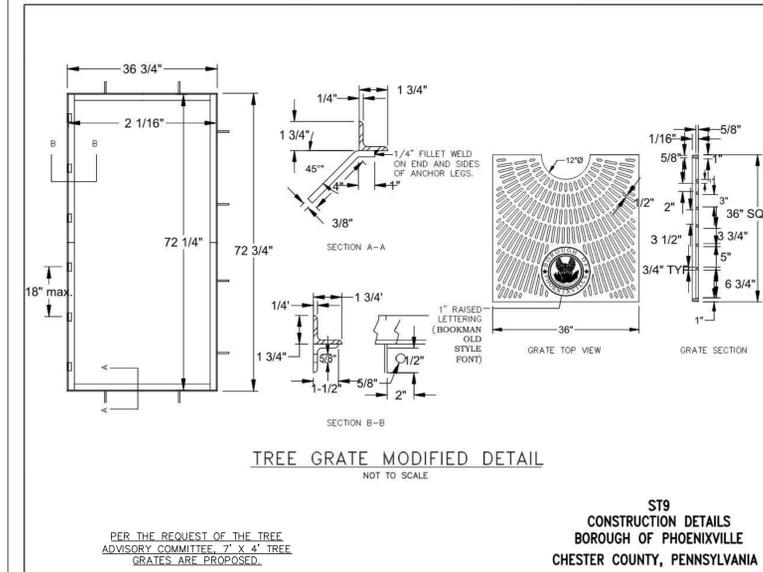
62.1
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



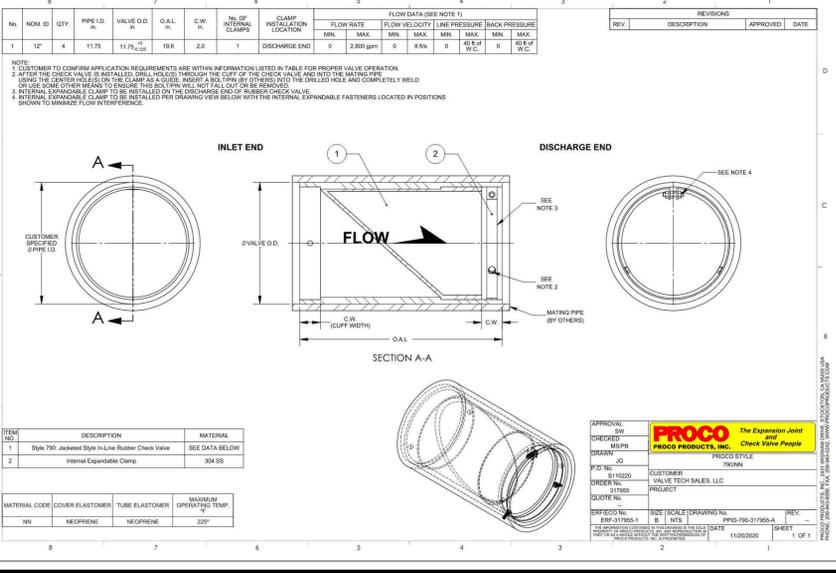
615
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



ST8
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



ST9
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



PROCO
The Expansion Joint and Check Valve People
811
Dial 8-1-1 or 1-800-242-1778 not less than 3 business days prior to the start of excavation.
Coordinate your projects via Coordinate PA at www.pacoecall.org.
Pennsylvania One Call System Serial Number 2023.3401370, 2022.3632057

REVISIONS		PROJ. DATA	
REV.	DESCRIPTION	DATE	APPROVED
1	06/20/24	PER BOROUGH CONSULTANTS' REVIEW	BAM
2			BY

375 MORGAN STREET PHOENIXVILLE, PA 19460
BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025

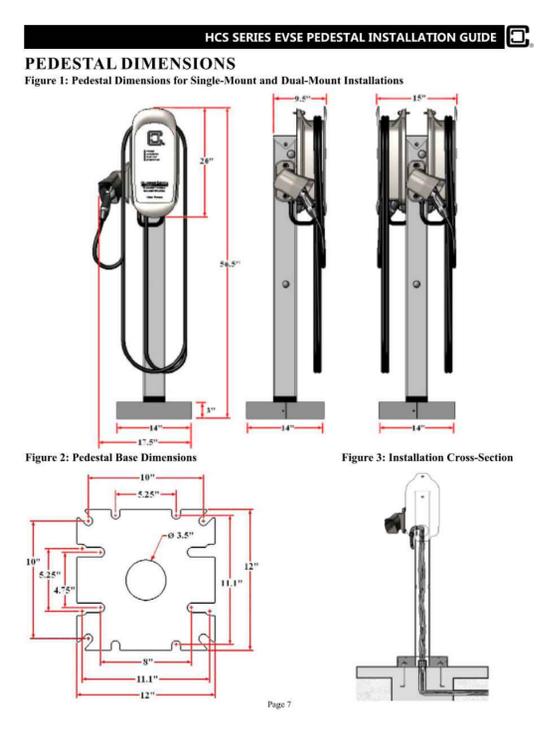
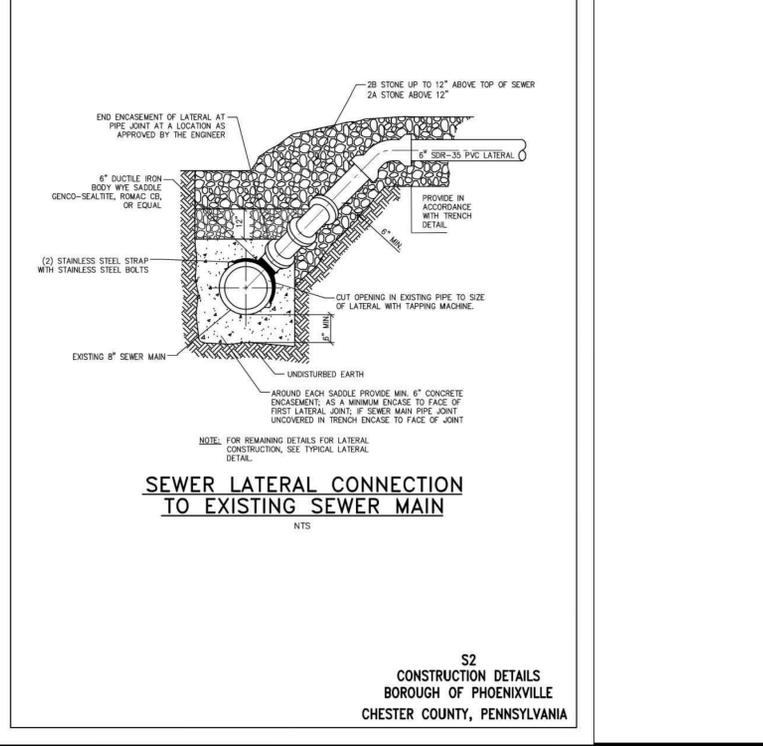
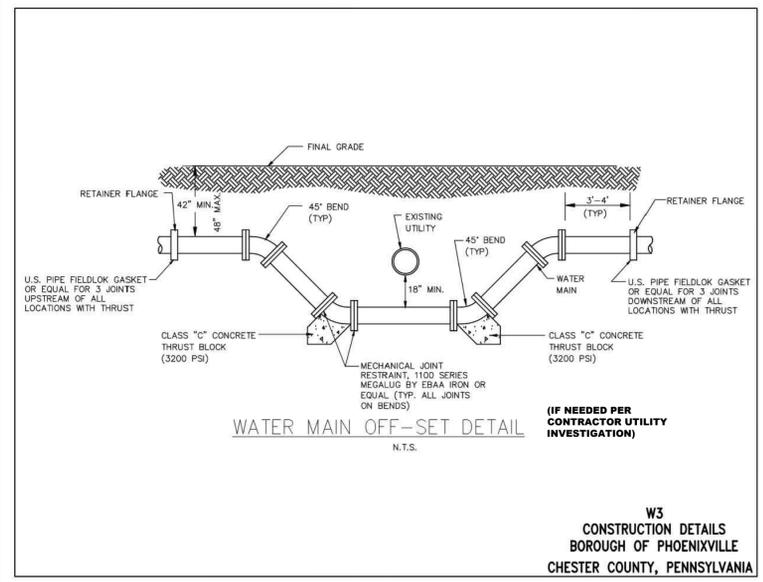
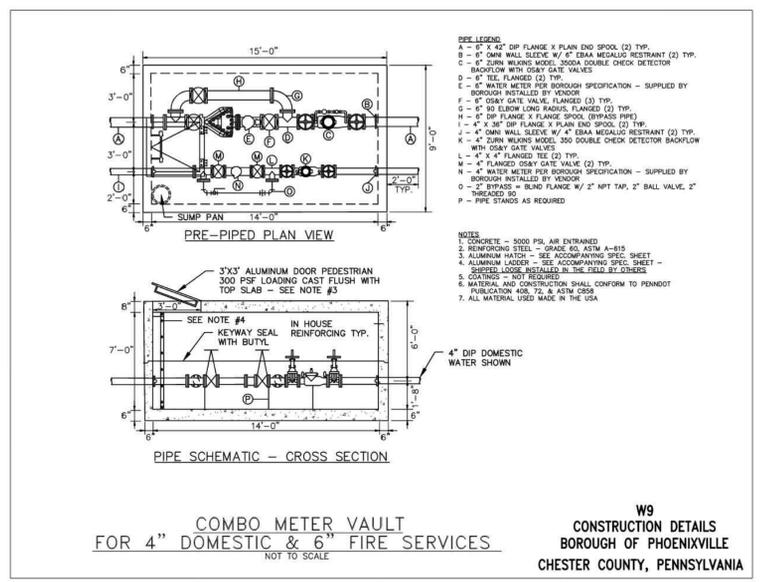
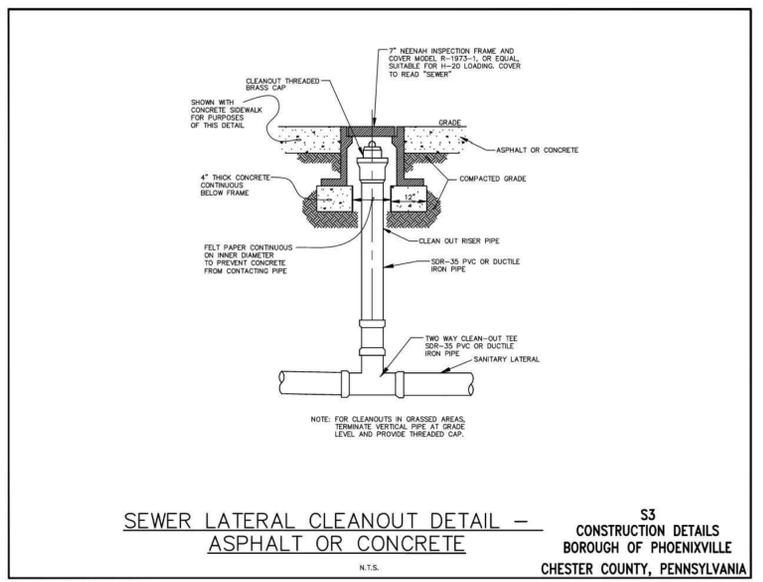
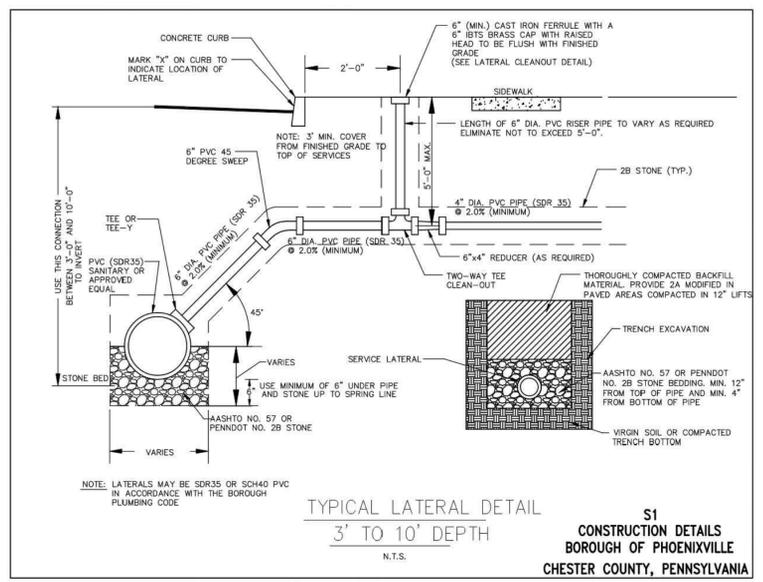
PRELIMINARY/FINAL LAND DEVELOPMENT

BOROUGH CONSTRUCTION DETAILS

WILKINSON APEX
ENGINEERING GROUP, LLC
374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 | 610-323-3400

DESIGNED: BAM
CHECKED (PM): JCM
DATE: 04/04/24
SCALE: AS SHOWN

PROJECT #: 2023-617
SHEET #: 12 OF 14



HCS SERIES EVSE PEDESTAL INSTALLATION GUIDE

INITIAL PEDESTAL INSTALLATION

1. Concrete Pad Requirements
The location, dimensions, and composition of the concrete pad underlying the pedestal should always adhere to local building codes. The following dimensions are minimum recommended values. Always verify that installation plans adhere to local code requirements prior to proceeding.
• The pad area must be a minimum of 18" to a side.
• The concrete must be poured a minimum depth of 18".
• If there is no bumper block, the center of the pedestal base should be situated 36" behind the curb.
• If a bumper block is in place, the center of the pedestal base should be situated 12" behind the curb.

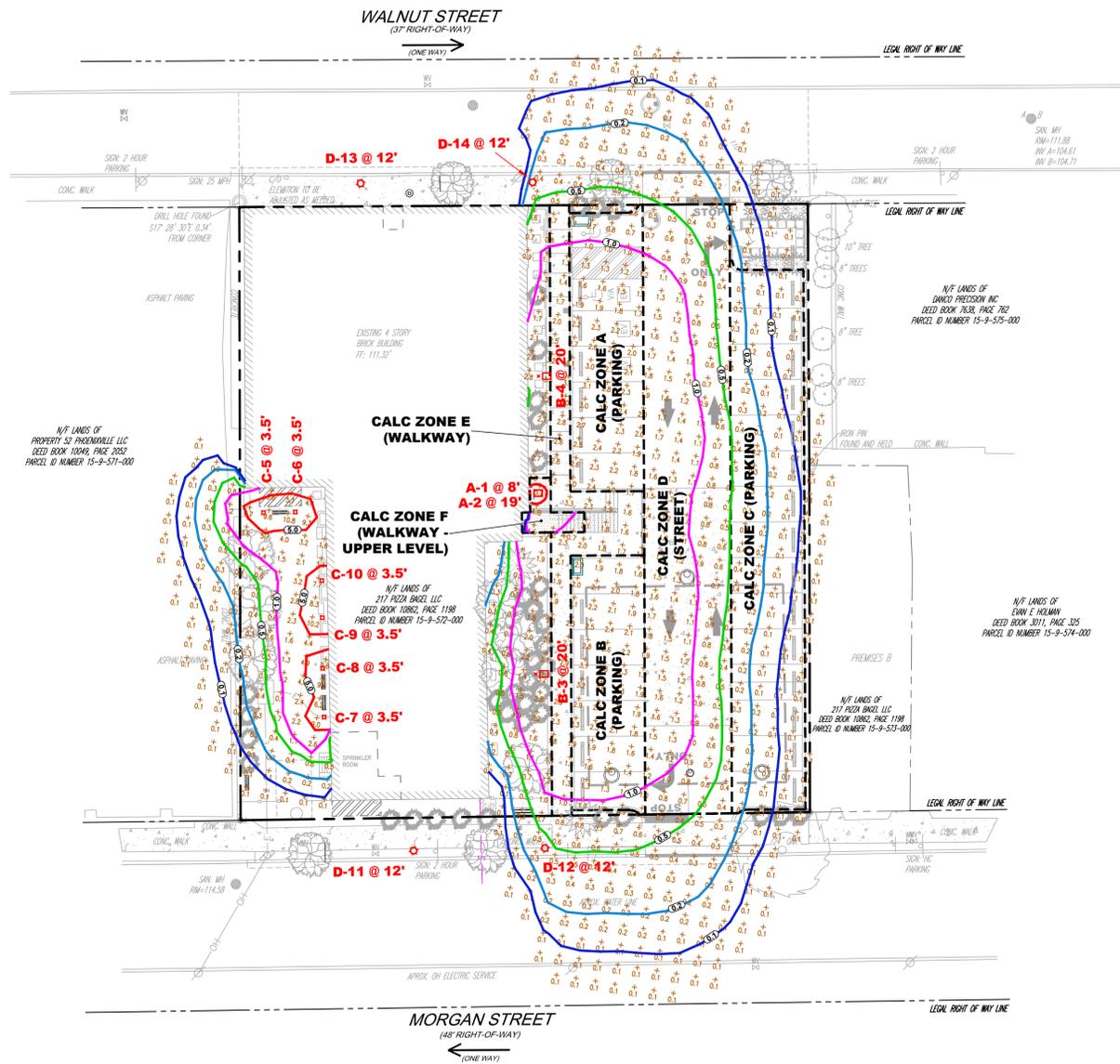
2. Anchor Bolt Placement
A minimum of four (4) anchor bolts must be embedded in the concrete pad for the purposes of securing the pedestal post.
Maximum Anchor Bolt Height:
• The anchor bolts should not protrude more than 3" above the surface of the concrete pad and must be at least 1.5" above the surface of the concrete pad to compensate for the added height of the base stiffeners. (This only applies if installing the optional Extension Kit).

Use the Pedestal Base Pattern Template:
• To better facilitate the installation of the anchor bolts, a cardboard template in the shape of the pedestal base is included in the pedestal kit. A template is provided as a knock-out piece on the back of the cardboard box in which the EVSE mounting plate is packaged. The base pattern is shown in Figure 5.
Standard 10" x 10" Square Pattern:
• Arrange four (4) 1/2" or 3/4" anchor bolts in a 10" square pattern. This placement corresponds to the 'A' labels shown in Figure 5.
Alternate 5.25" x 11.1" Rectangular Pattern:
• Arrange four (4) 1/2" anchor bolts in a 5.25" by 11.1" rectangular pattern. This placement corresponds to the 'B' labeled (preferable) or 'C' labeled (if necessary) inner cutouts in the pedestal base. See Figure 5.

Do not place bolts where 'X' labels are shown IF USING THE EXTENSION KIT.
Your configurations may vary slightly from what is depicted in this manual.

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<p>Dial 8-1-1 or 1-800-242-1778 not less than 3 business days nor more than 10 business days prior to the start of excavation. Coordinate your projects via Coordinate PA at www.pennrec.org. Pennsylvania One Call System Serial Number 2023.33401370, 2022.3632057</p>	<p>1 06/20/24 PER BOROUGH CONSULTANTS' REVIEW</p>	<p>SEAL</p>	<p>PROJECT:</p> <p>375 MORGAN STREET PHOENIXVILLE, PA 19460</p> <p>BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA</p> <p>PREPARED FOR:</p> <p>217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025</p>	<p>PLAN TITLE:</p> <p>PRELIMINARY/FINAL LAND DEVELOPMENT</p> <p>SHEET TITLE:</p> <p>BOROUGH CONSTRUCTION DETAILS 2</p>	<p>DESIGNED:</p> <p>BAM</p> <p>CHECKED (PM):</p> <p>JCM</p> <p>DATE:</p> <p>04/04/24</p> <p>SCALE:</p> <p>AS SHOWN</p>	<p>PROJECT #</p> <p>2023-617</p> <p>SHEET #</p> <p>13 OF 14</p>
	<p>S2 CONSTRUCTION DETAILS BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PENNSYLVANIA</p>	<p>WILKINSON APEX ENGINEERING GROUP, LLC 374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400</p>				



D-Series Size 1 LED Area Luminaire

d-series

Buy American

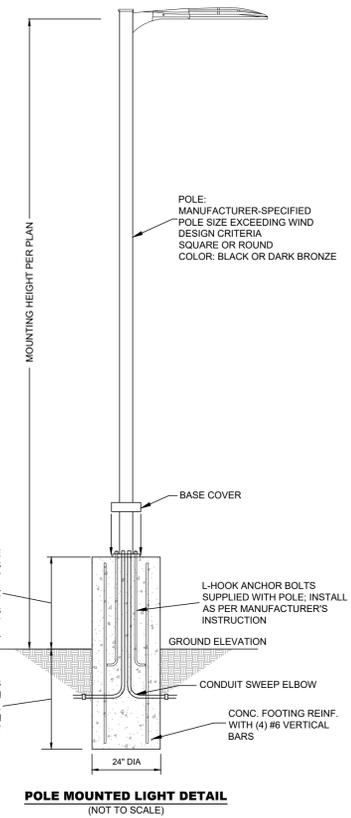
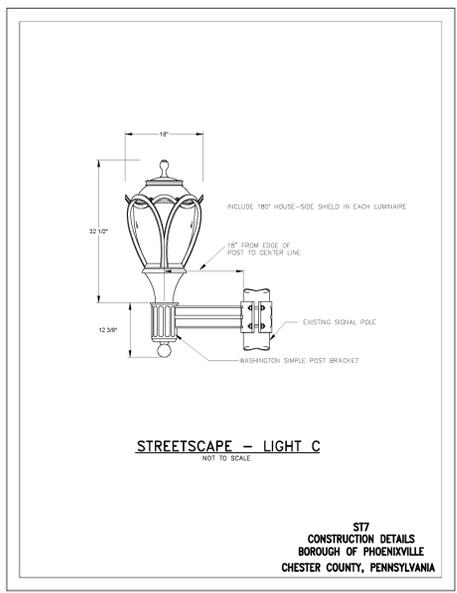
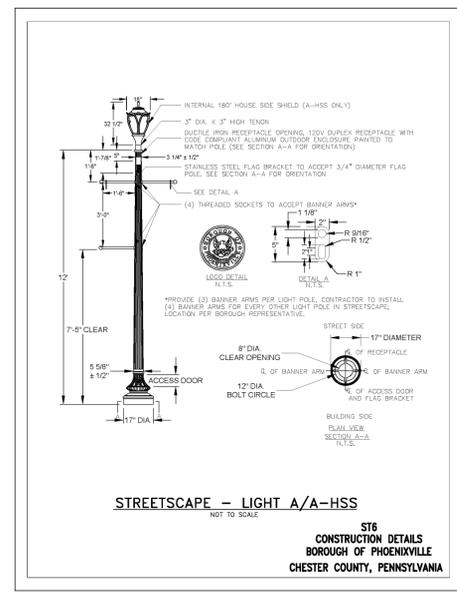
Specifications

- EPA: 1.01 ft² (0.93m²)
- Length: 33" (843mm)
- Width: 13" (330mm)
- Height H1: 7-1/2" (190mm)
- Height H2: 3-1/2" (91mm)
- Weight (max): 27 lbs (12.2kg)

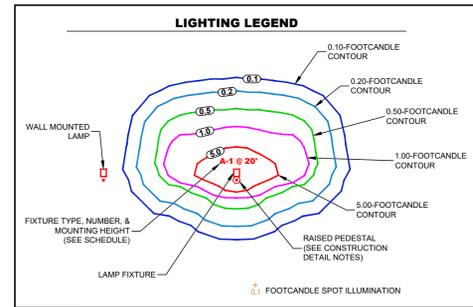


COLOR TEMPERATURE: 3000K
 COLOR: BLACK OR DARK BRONZE
WALL-MOUNTED GOOSE-NECK LAMPS
(BARN LIGHT LMH2 OR APPROVED EQUAL)
 (NOT TO SCALE)

COLOR TEMPERATURE: 3000K
 COLOR: BLACK OR DARK BRONZE
POLE-MOUNTED LAMPS
(LITHONIA DSX1 OR APPROVED EQUAL)
 (NOT TO SCALE)



STREETSCAPE LAMPS
 (NOT INCLUDED IN ILLUMINATION MODELING)
 (NOT TO SCALE)



- LIGHTING NOTES:**
- UNLESS BOROUGH COUNCIL SPECIFICALLY APPROVES NIGHT LIGHTING, LIGHTING FOR COMMERCIAL, INDUSTRIAL, PUBLIC RECREATIONAL, AND INSTITUTIONAL USES SHALL BE CONTROLLED BY AUTOMATIC SWITCHING DEVICES SUCH AS TIME CLOCKS OR COMBINATION MOTION DETECTORS AND PHOTOCELLS, TO EXTINGUISH OUTDOOR LIGHTING AT THE CLOSE OF BUSINESS, BUT NO LATER THAN 11:00 P.M.
 - LIGHTING PROPOSED FOR USE AFTER 11:00 P.M. OR AFTER NORMAL HOURS OF OPERATION OF A BUSINESS, WHICHEVER IS EARLIER, FOR COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR MUNICIPAL APPLICATIONS, SHALL BE REDUCED BY AT LEAST 50% FROM THE LEVELS NORMALLY REQUIRED BY THIS CHAPTER, FROM THEN UNTIL DAWN.
 - ALL ILLUMINATION FOR ADVERTISING SIGNS, BUILDINGS AND/OR SURROUNDING LANDSCAPES FOR DECORATIVE, ADVERTISING OR AESTHETIC PURPOSES IS PROHIBITED BETWEEN 11:00 P.M. AND SUNRISE, EXCEPT THAT SUCH LIGHTING SITUATED ON THE PREMISES OF A COMMERCIAL ESTABLISHMENT MAY REMAIN ILLUMINATED WHILE THE ESTABLISHMENT IS ACTUALLY OPEN FOR BUSINESS AND UNTIL ONE HOUR AFTER CLOSING.
 - ONLY THE UNITED STATES AND STATE FLAGS SHALL BE PERMITTED TO BE ILLUMINATED FROM DUSK TILL DAWN, AND EACH FLAG SHALL BE ILLUMINATED BY A SINGLE SOURCE WITH A BEAM SPREAD NO GREATER THAN NECESSARY TO ILLUMINATE THE FLAG. FLAG LIGHTING SOURCES SHALL NOT EXCEED 10,000 LUMENS PER FLAGPOLE.

STATISTICS

DESCRIPTION	AVG	MAX	MIN	AVG/MIN
A - PARKING	2.0 FC	3.3 FC	0.6 FC	3.3:1
B - PARKING	2.0 FC	3.2 FC	0.8 FC	2.5:1
C - PARKING	0.2 FC	0.5 FC	0.0 FC	N/A
D - ROADWAY	1.0 FC	2.0 FC	0.2 FC	5.0:1
E - WALKWAY	2.2 FC	6.0 FC	0.6 FC	3.7:1
F - 2ND STORY WALKWAY	2.5 FC	5.8 FC	0.8 FC	N/A

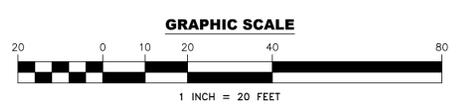
LUMINAIRE LOCATIONS

LOCATION							
NO.	LABEL	X	Y	Z	MH	ORIENTATION	TILT
1	A	2591677.00	298376.60	8.00	8.00'	73.88	0.00
2	A	2591677.00	298376.60	19.00	19.00'	73.40	0.00
3	B	2591685.00	298332.40	20.00	20.00'	78.25	0.00
4	B	2591674.00	298406.80	20.00	20.00'	78.78	0.00
5	C	2591611.00	298361.80	3.50	3.50	0.00	0.00
6	C	2591620.00	298363.50	3.50	3.50	0.00	0.00
7	C	2591634.00	298313.60	3.50	3.50	0.00	0.00
8	C	2591631.00	298325.30	3.50	3.50	0.00	0.00
9	C	2591630.00	298337.80	3.50	3.50	0.00	0.00
10	C	2591628.00	298346.90	3.50	3.50	0.00	0.00

* BUILDING-MOUNTED LAMP HEIGHTS ARE RELATIVE TO FIRST FLOOR ELEVATION.
 ** LAMP B-3 AND B-4 HEIGHTS ARE RELATIVE TO THE ELEVATION OF THE BOTTOM OF THE RETAINING WALL.

SCHEDULE

LABEL	QTY	MANUFACTURER	CATALOG	DESCRIPTION	NUMBER LAMPS	LAMP OUTPUT	LLF	INPUT POWER
A	2	BARN LIGHT ELECTRIC COMPANY		PHOTOPIA - LMH2 - DOMED LENS - WHS 3000K	1	1250	0.85	16
B	2	LITHONIA LIGHTING	DSX1	LED P3 30K T4M MVOLT HS	1	8867	0.85	102
C	6	SPAULDING LIGHTING	FN1-24LU-3K-DB	SQUARE LED BOLLARD W/ SPECULAR ALUMINUM HEAT-SINK	1	1468	0.85	45.9
D	4		A/A-HSS	STREETSCAPE LIGHT POLE REFER TO BOROUGH DETAILS				



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PROJECT: **375 MORGAN STREET PHOENIXVILLE, PA 19460**

BOROUGH OF PHOENIXVILLE CHESTER COUNTY PENNSYLVANIA

PREPARED FOR: **217 PIZZA BAGEL, LLC 515 SKYLARK LANE DRESHER, PA 19025**

DATE: 06/20/24

REVISION: PER BOROUGH CONSULTANTS' REVIEW

DESIGNED BY: BAM

CHECKED BY: JCM

DATE: 04/04/24

SCALE: AS SHOWN

PLAN TITLE: **PRELIMINARY/FINAL LAND DEVELOPMENT**

SHEET TITLE: **LIGHTING PLAN & DETAILS**

PREPARED BY: **WILKINSON APEX**

ENGINEERING GROUP, LLC

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