

SCALE: 1"=20'

PARKING DEMAND GENERATION - SHOPPING CENTER/SUPERMARKET

Time Period	Land Use (ITL #)	Size (sq)	Parking Demand	Assumed Surplus	Parking Supply
Weekday	ITE #820	41,923 ksf	82		
	ITE #850	52,777 ksf	155		261
	TOTAL	94.7 ksf	237		
Friday	ITE #820	41,923 ksf	109		
	ITE #850	52,777 ksf	242		386
	TOTAL	94.7 ksf	351	+10%	
Saturday	ITE #820	41,923 ksf	122		
	ITE #850	52,777 ksf	182		346
	TOTAL	94.7 ksf	304		
Sunday	ITE #820	41,923 ksf	80		
	ITE #850	52,777 ksf	162		266
	TOTAL	94.7 ksf	242		

BASED ON THE RESULTS CONTAINED IN TABLE 3, THE PROPOSED PARKING SUPPLY OF 387 PARKING SPACES FOR THE EXPANDED SITE, EXCEEDS THE MAXIMUM PARKING SUPPLY OF 386 PARKING SPACES BASED ON ITE PARKING GENERATION DATA WITH A 10% ASSUMED SURPLUS.

ACT 287 as amended SERIAL NUMBER 20230900532 Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Associates, Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

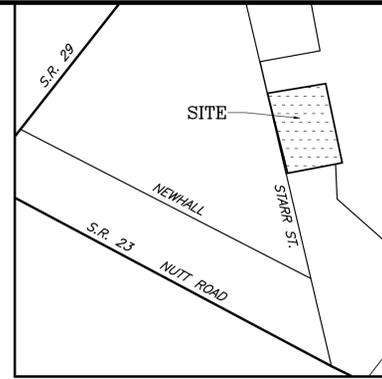
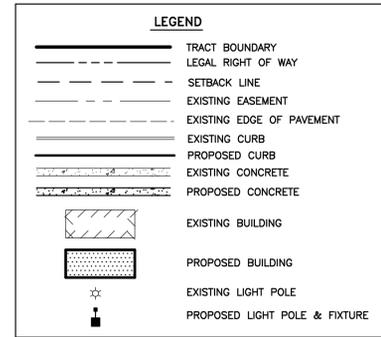
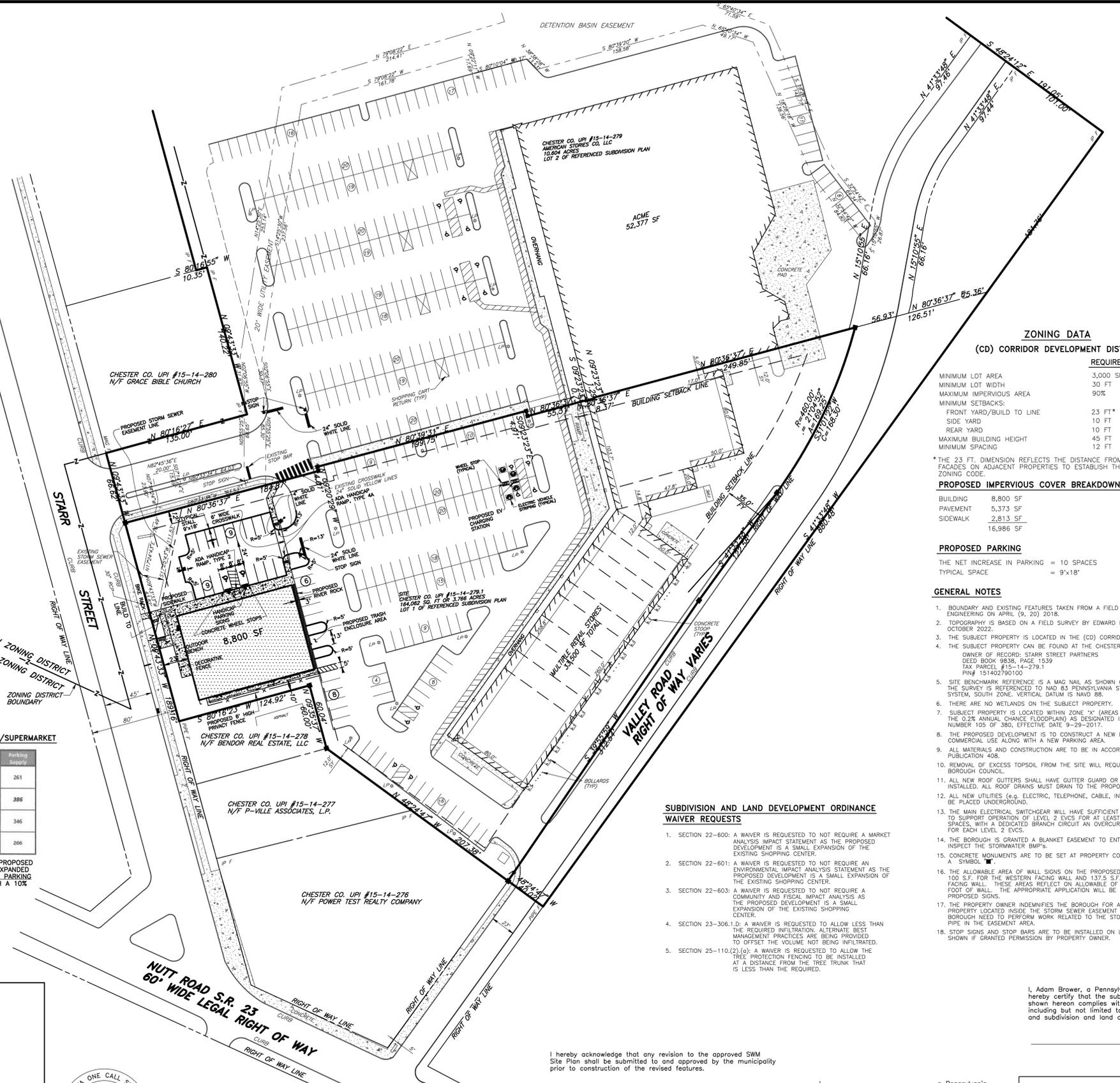
- PHOENIXVILLE BOROUGH WATER (610) 933-1249
- PECO EXELON CO. (800) 841-4141
- PHOENIXVILLE BOROUGH SEWER (610) 933-8801
- KNOLLWOOD APTS (484) 795-0530
- COMCAST CABLE (570) 798-1591
- VERIZON EASTERN (215) 283-0690



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UPI #15-14-279.1



LOCATION MAP
SCALE: 1" = 200'

ZONING DATA
(CD) CORRIDOR DEVELOPMENT DISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	3,000 SF	3,76 ACRES	3.76 ACRES
MINIMUM LOT WIDTH	30 FT	189 FT	189 FT
MAXIMUM IMPERVIOUS AREA	90%	77.32%	10.48% (TOTAL = 87.76%)
MINIMUM SETBACKS:			
FRONT YARD/BUILD TO LINE	23 FT*	23 FT*	23 FT*
SIDE YARD	10 FT	12 FT	12 FT
REAR YARD	10 FT	10 FT	10 FT
MAXIMUM BUILDING HEIGHT	45 FT	<45 FT	<45 FT
MINIMUM SPACING	12 FT	>12 FT	>12 FT

*THE 23 FT. DIMENSION REFLECTS THE DISTANCE FROM RIGHT OF WAY TO FRONT BUILDING FACADES ON ADJACENT PROPERTIES TO ESTABLISH THE FRONT YARD SETBACK PER THE ZONING CODE.

PROPOSED IMPERVIOUS COVER BREAKDOWN

BUILDING	8,800 SF
PAVEMENT	5,373 SF
SIDEWALK	2,813 SF
TOTAL	16,986 SF

PROPOSED PARKING

THE NET INCREASE IN PARKING = 10 SPACES
TYPICAL SPACE = 9'x18'

GENERAL NOTES

- BOUNDARY AND EXISTING FEATURES TAKEN FROM A FIELD SURVEY PERFORMED BY CMC ENGINEERING ON APRIL (6, 20) 2018.
- TOPOGRAPHY IS BASED ON A FIELD SURVEY BY EDWARD B. WALSH & ASSOCIATES ON OCTOBER 2022.
- THE SUBJECT PROPERTY IS LOCATED IN THE (CD) CORRIDOR DEVELOPMENT DISTRICT.
- THE SUBJECT PROPERTY CAN BE FOUND AT THE CHESTER COUNTY COURTHOUSE UNDER: OWNER OF RECORD: STARR STREET PARTNERS DEED BOOK 9838, PAGE 1539 TAX PARCEL #15-14-279.1 PIN# 15140290100
- SITE BENCHMARK REFERENCE IS A MAG NAIL AS SHOWN ON PLAN, BEARING BASIS FOR THE SURVEY IS REFERENCED TO NAD 83 PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. VERTICAL DATUM IS NAVD 83.
- THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED IN FIRM MAP #42029C01050 PANEL NUMBER 105 OF 380, EFFECTIVE DATE 9-29-2017.
- ALL MATERIALS AND CONSTRUCTION ARE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
- REMOVAL OF EXCESS TOPSOIL FROM THE SITE WILL REQUIRE A PERMIT FROM BOROUGH COUNCIL.
- ALL NEW ROOF GUTTERS SHALL HAVE GUTTER GUARD OR A SIMILAR PROTECTIVE BED. INSTALLED. ALL ROOF DRAINS MUST DRAIN TO THE PROPOSED RECHARGE BED.
- ALL NEW UTILITIES (E.G. ELECTRIC, TELEPHONE, CABLE, INTERNET, ETC.) ARE TO BE PLACED UNDERGROUND.
- THE MAIN ELECTRICAL SWITCHGEAR WILL HAVE SUFFICIENT SPACE AND CAPACITY TO SUPPORT OPERATION OF LEVEL 2 EVCS FOR AT LEAST 20% OF THE PARKING SPACES, WITH A DEDICATED BRANCH CIRCUIT AN OVERCURRENT PROTECTION FOR EACH LEVEL 2 EVCS.
- THE BOROUGH IS GRANTED A BLANKET EASEMENT TO ENTER THE SITE AND INSPECT THE STORMWATER BMP'S.
- CONCRETE MONUMENTS ARE TO BE SET AT PROPERTY CORNERS NOTED WITH A SYMBOL.
- THE ALLOWABLE AREA OF WALL SIGNS ON THE PROPOSED BUILDING ARE 100 S.F. FOR THE WESTERN FACING WALL AND 137.5 S.F. FOR THE NORTHERN FACING WALL. THESE AREAS REFLECT ON ALLOWABLE OF 1.25 S.F./LINEAR FOOT OF WALL. THE APPROPRIATE APPLICATION WILL BE SUBMITTED FOR ANY PROPOSED SIGNS.
- THE PROPERTY OWNER INDEMNIFIES THE BOROUGH FOR ANY DAMAGE TO PROPERTY LOCATED INSIDE THE STORM SEWER EASEMENT SHOULD THE BOROUGH NEED TO PERFORM WORK RELATED TO THE STORM SEWER PIPE IN THE EASEMENT AREA.
- STOP SIGNS AND STOP BARS ARE TO BE INSTALLED ON LOT 2 AT LOCATIONS SHOWN IF GRANTED PERMISSION BY PROPERTY OWNER.

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WAIVER REQUESTS

- SECTION 22-600: A WAIVER IS REQUESTED TO NOT REQUIRE A MARKET ANALYSIS IMPACT STATEMENT AS THE PROPOSED DEVELOPMENT IS A SMALL EXPANSION OF THE EXISTING SHOPPING CENTER.
- SECTION 22-601: A WAIVER IS REQUESTED TO NOT REQUIRE AN ENVIRONMENTAL IMPACT STATEMENT AS THE PROPOSED DEVELOPMENT IS A SMALL EXPANSION OF THE EXISTING SHOPPING CENTER.
- SECTION 22-603: A WAIVER IS REQUESTED TO NOT REQUIRE A COMMUNITY AND FISCAL IMPACT ANALYSIS AS THE PROPOSED DEVELOPMENT IS A SMALL EXPANSION OF THE EXISTING SHOPPING CENTER.
- SECTION 23-306.1.D: A WAIVER IS REQUESTED TO ALLOW LESS THAN THE REQUIRED INFILTRATION. ALTERNATE BEST MANAGEMENT PRACTICES ARE BEING PROVIDED TO OFFSET THE VOLUME NOT BEING INFILTRATED.
- SECTION 25-110.(2).(g): A WAIVER IS REQUESTED TO ALLOW THE TREE PROTECTION FENCING TO BE INSTALLED AT A DISTANCE FROM THE TREE TRUNK THAT IS LESS THAN THE REQUIRED.

I hereby acknowledge that any revision to the approved SWM Site Plan shall be submitted to and approved by the municipality prior to construction of the revised features.

Applicant

I, Adam Brower, on this date, hereby certify to the best of my knowledge that the SWM Site Plan meets all design standards and criteria of the Borough of Phoenixville Ordinance No. 2022-2359, Borough of Phoenixville's Stormwater Management Ordinance.

Project Engineer

I, Adam Brower, a Pennsylvania Professional Land Surveyor, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land development regulations and that the error of closure is not greater than 1:10,000.

Adam Brower P.E.

APPLICANT/RECORD OWNER

STARR STREET PARTNERS LLC
P.O. BOX 611
DEVON, PA 19333
610-476-2981



GRAPHIC SCALE

I hereby certify that the Borough of Phoenixville Planning Commission reviewed this plan and issued its comments to Borough Council prior to Council's adoption of Resolution 202-... which approves this plan as a final plan pursuant to the Borough's Subdivision and Land Development Ordinance.

Tom Carnevale Planning Commission Chairperson

We hereby certify that the Borough Council of the Borough of Phoenixville, Chester County, Pennsylvania, by its Resolution 202-... adopted on... 202... approved this plan as a final subdivision and/or land development plan, pursuant to the Borough's then current Subdivision and Land Development Ordinance and the Pennsylvania Municipalities Planning Code and that the Borough, on... 202... hereby authorizes this plan for recording.

E. Jean Krack Borough Manager
Jonathan M. Ewald Council President

This plan or an earlier version hereof was reviewed by the Chester County Planning Commission on... Secretary

AFFIDAVIT OF OWNERSHIP

Commonwealth of Pennsylvania,) SS: County of Chester Before me, the undersigned notary public this day personally appeared... to me known (or satisfactorily proven), who being duly sworn according to law, depose(s) and say(s): I am the record owner(s) of all the property to which this plan applies and of all rights which are necessary to implement this plan. The source of my title is the deed(s) recorded, with the Office ("Recorder's Office") of the Recorder of Deeds in and for Chester County, Pennsylvania, in Record Book... beginning at page... I acknowledge that this plan is my act and deed and is authorized by me to be recorded with the Recorder's Office and that such recording shall be effective for all purposes.

Sworn to and subscribed before me this... day of...

Notary Public

BOROUGH ENGINEERS CERT.

I, Owen Hyme, a Pennsylvania Professional Engineer, have reviewed this plan, for the Borough, and have determined that it has been amended as required by Borough Resolution... and that, based on the information provided by the Applicant and with any waivers specifically identified and shown hereon, the plan complies with the Borough Subdivision and Land Development Ordinance.

Owen Hyme
Date

RECORDER OF DEEDS

Recorded in the Office for Recording of Deeds in and for the County of Chester, at West Chester, Pa. in Plan Book... Page No. ... on... 20...

RECORDER OF DEEDS

PRELIMINARY/FINAL OVERALL SITE PLAN

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
1	6-30-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-3-23 & 5-4-23

LAND DEVELOPMENT PLAN FOR PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS

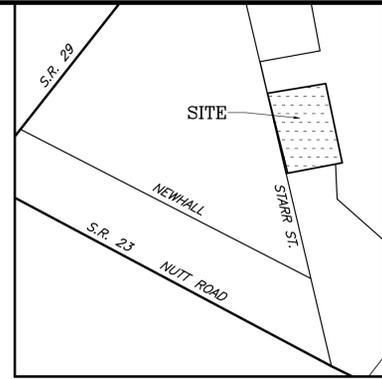
Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080



Project- 4926
Date- 2-2-23
Scale- 1" = 50'
Drawn- ALM
Checked- SJB
Sheet- 1 OF 12

Plotted: 11/22/2023 File: F:\JWB\4926\FPS\4926-B.prc

LEGEND	
	TRACT BOUNDARY
	LEGAL RIGHT OF WAY
	SETBACK LINE
	EXISTING EASEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING CURB
	PROPOSED CURB
	EXISTING CONCRETE
	PROPOSED CONCRETE
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE & FIXTURE



LOCATION MAP
SCALE: 1" = 200'

- THE BOROUGH OF PHOENIXVILLE'S APPROVAL OF THIS PLAN, AS A [PRELIMINARY/FINAL] SUBDIVISION AND LAND DEVELOPMENT PLAN, PURSUANT TO THE BOROUGH OF PHOENIXVILLE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS OF 1989, ORDINANCE NO. 1602, AS AMENDED BY BOROUGH RESOLUTION NO. 100, WHICH WAS ADOPTED ON 10/11/2011. THIS PLAN SHOWS THE CONDITIONS OF ITS APPROVAL PER RESOLUTION NO. 100. THE CONDITIONS AND ALL OWNERS, DEVELOPERS AND USERS OF THE PROPERTY HEREBY DEVELOPED AND/OR SUBDIVIDED AND THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE CONDITIONS MAY CREATE ON-GOING OBLIGATIONS, LIMITATIONS AND/OR REQUIREMENTS AFFECTING THE USE OF THE PROPERTY. THE RESOLUTION IS KEPT BY THE BOROUGH SECRETARY AT THE BOROUGH HALL AND MAY BE INSPECTED THERE BY THE PUBLIC. COPIES OF THE RESOLUTION ARE ALSO AVAILABLE FROM THE BOROUGH FOR A CHARGE.
- ALL CONDITIONS OF PLAN APPROVAL SHOWN ON THIS PLAN, AND OFFERS OF DEDICATION, SHALL RUN WITH THE LAND FOREVER AND SHALL BE ENFORCEABLE BY THE BOROUGH.
- THE APPLICANT REPRESENTS TO THE BOROUGH THAT THE APPLICANT HAS ALL THE PROPERTY RIGHTS NECESSARY TO MAKE THE APPLICATION AND, AT THE TIME ANY PERMITS FOR THE IMPLEMENTATION OF THE PLAN ARE ISSUED AND/OR COMMENCED, WILL HAVE ALL THE RIGHTS NECESSARY TO IMPLEMENT THE PLAN COMPLETELY IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND WITHOUT VIOLATING THE PROPERTY RIGHTS OF OTHERS. IF THE APPLICANT DOES NOT HAVE OR LOSES ANY SUCH PROPERTY RIGHTS THIS APPROVAL SHALL BE VOIDABLE BY THE BOROUGH BY WRITTEN RESOLUTION. IF ANY OTHER PARTY TAKES ANY LEGAL ACTION AGAINST THE BOROUGH FOR ANY REASON INVOLVING AND/OR ALLEGING THE APPLICANT'S OR PROPERTY OWNER'S LACK OF ANY SUCH PROPERTY RIGHT, THE APPLICANT AND PROPERTY OWNER SHALL HOLD THE BOROUGH HARMLESS AND INDEMNIFY IT FROM ANY AND ALL LIABILITY, LOSS, CLAIM, COST AND/OR EXPENSE, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES RESULTING FROM SUCH LEGAL ACTION.
- AT THE BOROUGH'S REQUEST, THE PROPERTY OWNER SHALL EXECUTE AND RECORD, WITH THE APPROPRIATE OFFICES AND OFFICIALS AND IN THE APPROPRIATE AND LEGALLY EFFECTIVE MANNER FOR THE PURPOSES, ALL DOCUMENTS, PLANS, DEEDS AND DECLARATIONS (COLLECTIVELY "RECORDINGS") REQUIRED TO BE RECORDED, BY APPLICABLE REGULATIONS, THE TERMS OF FINAL PLAN APPROVAL AND/OR NOTES ON THIS PLAN, AND SHALL PROVIDE THE BOROUGH WITH COPIES, CERTIFIED BY THE RECORDING OFFICIAL OF ALL SUCH RECORDINGS, OR AT THE BOROUGH'S OPTION, THE BOROUGH MAY RECORD SUCH DOCUMENTS AND THE PROPERTY OWNER SHALL PAY THE BOROUGH'S COSTS.
- AT THE BOROUGH'S REQUEST, THE PROPERTY OWNER WILL EXECUTE, ACKNOWLEDGE AND DELIVER ALL DOCUMENTS, DEEDS AND INSTRUMENTS NECESSARY OR APPROPRIATE, IN THE OPINION OF THE BOROUGH SOLICITOR, TO IMPLEMENT THIS PLAN AS APPROVED AND TO RECORD ALL INSTRUMENTS, DEEDS, COVENANTS, EASEMENTS AND/OR RIGHTS-OF-WAY WHICH ARE REQUIRED BY THE TERMS OF FINAL PLAN APPROVAL AND/OR NOTES ON THIS PLAN TO BE CONVEYED TO THE BOROUGH.
- THE BOROUGH MAY WITHHOLD BUILDING AND/OR OCCUPANCY PERMITS AND/OR REFUSE TO ACCEPT DEDICATION OF IMPROVEMENTS AND/OR RELEASE IMPROVEMENT SECURITY IF THE LAND DEVELOPMENT AND/OR SUBDIVISION IS NOT AND IS NOT BEING FULLY IMPLEMENTED IN FULL COMPLIANCE WITH ANY OTHER GOVERNMENTAL UNITS REGULATIONS WHICH APPLY TO THE BUILDING, STRUCTURE, OCCUPANCY WORK AND/OR IMPROVEMENTS FOR WHICH BOROUGH ACTION IS REQUESTED, HOWEVER, THE BOROUGH DOES NOT HEREBY ASSUME ANY DUTY TO INSPECT FOR OR APPROVE ANY WORK OR CONDITION PURSUANT TO ANY OTHER GOVERNMENTAL ENTITY'S REGULATION. IT IS THE PROPERTY OWNER'S OBLIGATION TO ACHIEVE COMPLIANCE WITH ANY AND ALL REGULATIONS OF OTHER GOVERNMENTAL ENTITIES BY WORKING DIRECTLY WITH SUCH ENTITY, TO THE EXTENT THAT SUCH APPROVALS OF OTHER GOVERNMENTAL ENTITIES ARE REQUIRED, FOR THE IMPROVEMENTS, WORK AND/OR PROPOSED USE, THE PROPERTY OWNER REPRESENTS THAT THESE APPROVALS HAVE BEEN APPLIED FOR AND ALL ARE GRANTED AND IN EFFECT OR WILL BE SO PRIOR TO THE ISSUANCE OF ANY BOROUGH BUILDING PERMIT TO CONSTRUCT NEW IMPROVEMENTS PURSUANT TO THIS PLAN. THE BOROUGH ENGINEER, WITHIN THE REGULATIONS OF OTHER GOVERNMENTAL ENTITIES AND/OR BY APPROVING THE DEVELOPMENT AND SUBDIVISION PLAN OR ANY PLAN AMENDMENTS, NEITHER THE BOROUGH NOR ANY BOROUGH OFFICIAL REPRESENTS THAT THE SUBJECT MATTER OF THE BOROUGH'S APPROVAL COMPLIES WITH SUCH OTHER ENTITY'S REGULATIONS OR HAS BEEN APPROVED BY OR IS INTENDED TO BE APPROVED BY SUCH OTHER ENTITY OR THAT THE SUBJECT OF THE APPROVAL HAS BEEN DESIGNED CORRECTLY OR WILL FUNCTION SAFELY.
- The streets, street rights-of-way and street drainage rights, public water supply facilities and the easements therefor and the public sanitary sewer system and the easements therefor, as shown on this plan, are offered hereby for dedication to the Borough perpetually and irrevocably. The street drainage rights include the right to use, repair and replace any stormwater management facility which drains runoff from a dedicated road (this right does not include any duty to repair or maintain any such facility). Also offered hereby for dedication to the Borough, perpetually and irrevocably, is an exclusive easement, right-of-way and rights (all called "Utility Easement Rights") for the purposes ("Utility Purposes") of any utility and all utilities, with free and uninterrupted right of entry upon the Property for access to and use of the Easement Area. "Utility" includes, but is not limited to, any and all water, sanitary sewer, stormwater management, electric, telephone, cable TV and information transmission lines, facilities, systems, structures and/or operations no matter who the operator(s) and owner(s) are. The Utility Purposes include, but are not limited to, the free right to lay out, place, construct, operate, inspect, test, maintain, repair, replace, relocate, reconstruct, enlarge, change and/or use any and all line(s), structure(s), facility(ies) and/or system(s) and any and all appurtenance(s) therefor to any and all Utility Purposes. The Easement Area shall include and be limited to all of the area of the Property, which area is within all water supply and sanitary sewer easements and/or all street rights-of-way. The Utility Easement Rights may be used over, under, upon and through any and all part(s) of the Easement Area. All the offered rights include a negative easement which prohibits, in the offered right-of-way and/or easement area, any activity, use, condition, plant, improvement, structure and/or building which, in the sole judgment of the Borough, is inconsistent in any way with and/or may in any way interfere with, endanger and/or obstruct the safe or efficient use of any or any purpose of the offered rights. The negative easement shall also provide that no structure shall be permitted on, over and/or under any part of the right-of-way and/or easement area, without the Borough's prior approval, by written Resolution, specifically authorizing such use.

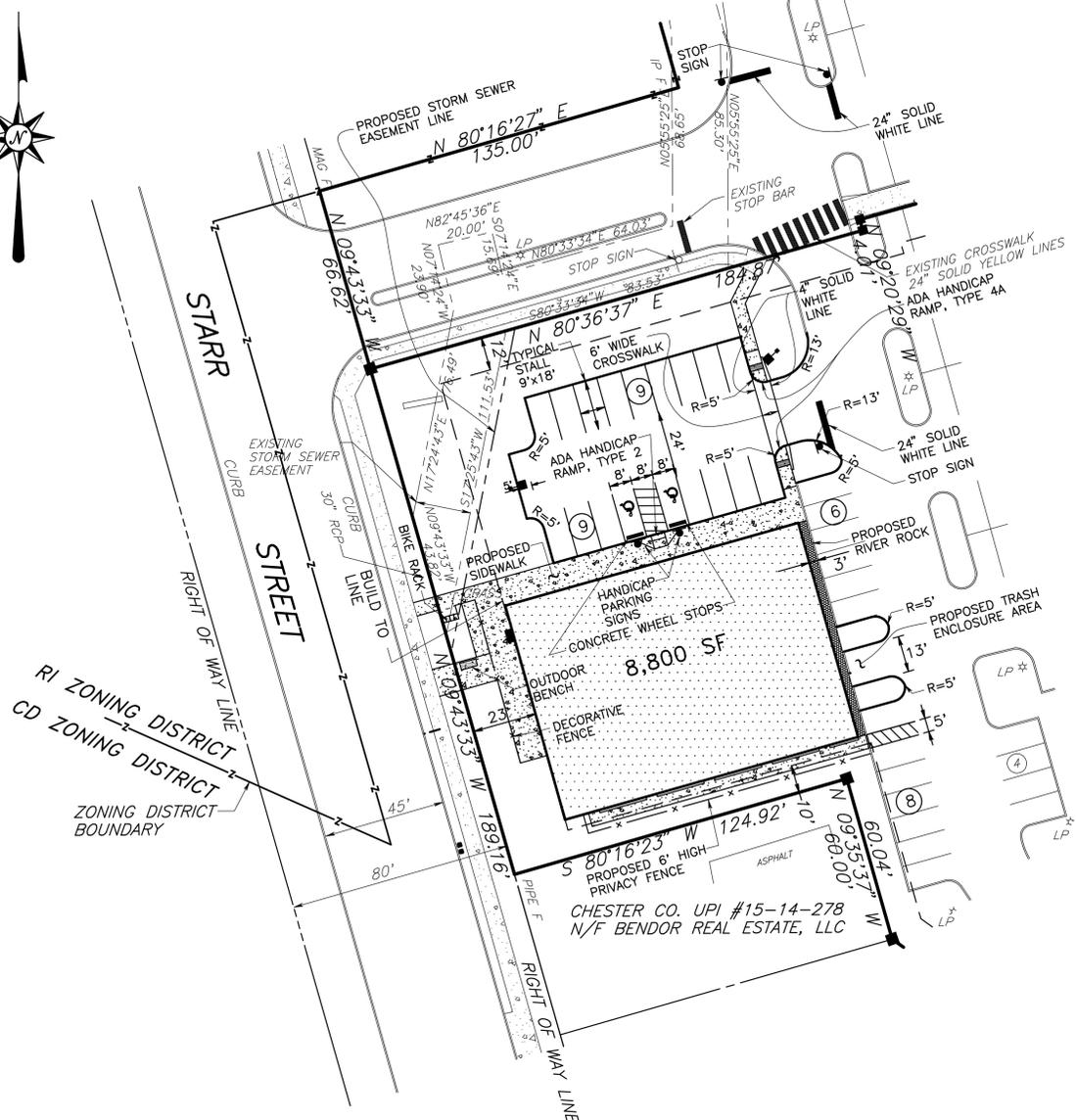
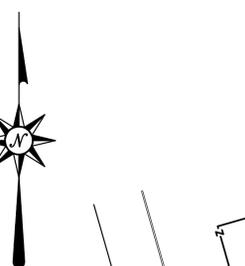
If and when requested by the Borough, the Applicant and [its / his / her / their] heirs, successors and assigns shall transfer title to any and/or all of the offered rights and improvements to the Borough. Such transfer shall be by deed(s) or agreement(s) of dedication which shall be in such form as the Borough may require and title to all such rights and improvements shall be good and marketable and free from any encumbrances. When transferring to [its / his / her / their] assigns the Property Owner shall and hereby does reserve and except for itself [and the Homeowners Association] all interests and rights necessary for either to make, fully and completely, all the dedications required hereby. However, these reserved rights to dedicate shall not be exclusive and the [lot owner(s) / Applicant's and Property Owner's(s) successors and assigns] may also make such dedications. In any event, the Applicant's and Property Owner's(s) successors and assigns shall be obligated to make such transfer to the Borough, at the Borough's request.

Neither the Borough's approval of this Plan, the Plan's recording nor any note hereon is intended to or does obligate the Borough to maintain and/or accept, in any way, any street, stormwater management, water supply and/or sanitary sewer facility, easement or right-of-way and/or any other improvement shown hereon and/or any Utility. If the Borough, in its discretion, takes dedication of a street or street right-of-way, the Borough shall, at its expense, expressly and clearly provides otherwise, the Borough will not take fee title to the area within such street right-of-way and will not own or be responsible for any street tree, sidewalks (either existing, required or provided hereafter whether or not shown on this Plan) and yard areas within such right-of-way. Responsibility for such street trees, sidewalks and yard areas shall remain, for all purposes, with the owner(s) of the fee title. The Borough, at any time, in accepting dedication of a street, may require a street tree to be moved. All rights dedicated to and accepted by the Borough, unless the Borough shall require otherwise, shall be perpetual, run with the land and be assignable by the Borough.

- THE UTILITY SYSTEMS SHALL BE INSTALLED, AND INSPECTED AND APPROVED AS REQUIRED BY THE BOROUGH ENGINEER, BEFORE PAVING OF THE DRIVEWAY, POURING OF CONCRETE FOR AND/OR PAVING OF SIDEWALKS AND THE CONSTRUCTION OF ANY OTHER IMPROVEMENT WITH WHICH THE CONSTRUCTION OF THE UTILITY SYSTEM MIGHT INTERFERE. NO UTILITY SYSTEM SHALL BE INSTALLED AND/OR EASEMENT FOR SUCH SYSTEM GRANTED, WITHIN ANY RIGHT-OF-WAY AND/OR EASEMENT FOR ANY ROAD, STREET, SEWER, WATER SUPPLY AND/OR STORMWATER MANAGEMENT FACILITY, PROPOSED TO BE DEDICATED TO THE BOROUGH, UNLESS AND UNTIL THE PLANS FOR SUCH UTILITY SYSTEM AND/OR EASEMENT AND THE TIMING OF ITS CONSTRUCTION ARE APPROVED BY THE BOROUGH ENGINEER IN WRITING.
- IF THE BOROUGH ACCEPTS, FROM THE DEVELOPER, THE DEVELOPER'S SUCCESSOR OR ASSIGNS OR ANY OTHER GRANTOR, A DEED OR OTHER INSTRUMENT OF DEDICATION FOR ANY IMPROVEMENT, THE DEVELOPER AND ITS SUCCESSORS AND ASSIGNS SHALL HOLD THE BOROUGH HARMLESS AND DEFEND THE BOROUGH AND ALL BOROUGH OFFICIALS, FROM AND AGAINST ANY AND ALL CLAIMS, DEMANDS, SUITS, JUDGEMENTS AND LIABILITIES WHATSOEVER RESULTING FROM THE NEGLIGENCE, CONSTRUCTION, DESIGN AND/OR INSPECTION OF THE IMPROVEMENTS.
- ALL TREES EXISTING IN AND/OR PLANTED IN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED IN GOOD, HEALTHY AND SAFE CONDITION, AT ALL TIMES, BY THE FEE OWNER OF THE PART OF THE PROPERTY WHERE THE TREE IS LOCATED. THE BOROUGH SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO INSPECT ANY SUCH TREE AND TO REQUIRE ITS OWNER, AT THE OWNER'S EXPENSE, TO PRUNE, MAINTAIN AND, IF THE TREE IS DEAD, DISEASED, DAMAGED, MALFORMED OR A THREAT TO PUBLIC SAFETY, TO REMOVE THE TREE AND REPLACE IT WITH A TREE OF AT LEAST A THREE (3) INCH CALIPER AND OF THE SAME SPECIES OR A SPECIES APPROVED BY THE BOROUGH. ALL LIABILITY FOR ANY TREE ON THE PROPERTY SHALL BE ON THE FEE OWNER OF THE PART OF THE PROPERTY WHERE THE TREE IS LOCATED. WITHOUT LIMITATION, SUCH OWNER SHALL HAVE THE DUTY TO ENSURE THAT THE TREE DOES NOT CREATE ANY NUISANCE OR SAFETY HAZARD.
- IRREVOCABLE LICENSES AND RIGHTS OF ENTRY UPON ANY OF THE PROPERTY SUBJECT TO THIS PLAN ARE HEREBY GRANTED TO THE BOROUGH OF PHOENIXVILLE, ITS OFFICERS AND AGENTS, FOR THE PURPOSE OF CORRECTING OR ABATING A PUBLIC NUISANCE AND/OR TO ADD, TO REPAIR, MODIFY AND/OR REPLACE ANY DRAIN, STORMWATER MANAGEMENT FACILITIES, SEWERS, WATER LINES AND/OR OTHER UTILITIES WHICH ARE CONNECTED TO A PUBLIC FACILITY OR UTILITY AND TO INSPECT AND ENFORCE THE BOROUGH'S REGULATIONS AND/OR COMPLIANCE WITH THIS PLAN. THESE RIGHTS CREATE NO BOROUGH DUTY TO DO ANY SUCH WORK OR INSPECTIONS.
- ANY IMPROVEMENT SHOWN ON THIS PLAN WHICH DOES NOT FUNCTION SAFELY, AS INTENDED AND/OR IN COMPLETE COMPLIANCE WITH ALL APPLICABLE REGULATIONS SHALL BE REDESIGNED AND RECONSTRUCTED PROMPTLY BY THE DEVELOPER AND/OR THE PROPERTY OWNER. AT SUCH PARTY'S EXPENSE, TO BE SAFE, FUNCTION AS INTENDED AND TO COMPLY WITH ALL APPLICABLE REGULATIONS. ALL SUCH NEW DESIGNS AND SPECIFICATIONS SHALL BE SUBJECT TO THE BOROUGH ENGINEER'S PRIOR WRITTEN APPROVAL AND INSPECTION, DURING AND AFTER CONSTRUCTION, ALL AT THE APPLICANT'S COST.
- THE STORMWATER MANAGEMENT FACILITIES (INDIVIDUALLY "STORMWATER FACILITY," AND COLLECTIVELY "STORMWATER FACILITIES"), LOCATED ON THE PROPERTY AND SHOWN ON THIS PLAN ARE NOT TO BE REMOVED OR ALTERED. STORMWATER FACILITIES INCLUDE, BUT ARE NOT LIMITED TO, DRAINS DESIGNED OR USED TO CONVEY STORMWATER, THE HOMEOWNERS ASSOCIATION AND THE OWNER(S) OF EACH PARCEL WHERE ANY STORMWATER FACILITY IS LOCATED AND [SUCH OWNER'S/THEIR] HEIRS, SUCCESSORS AND ASSIGNS (COLLECTIVELY "THE OWNER") SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER FACILITIES LOCATED ON THAT PARCEL. THE OWNER SHALL MAINTAIN THE STORMWATER FACILITIES, FOR WHICH THE PROPERTY OWNER IS RESPONSIBLE, IN A CONDITION WHICH IS STRUCTURALLY SOUND AND FUNCTIONAL AND IN COMPLIANCE WITH ALL REGULATIONS AND SHALL NOT CAUSE OR ALLOW ANY SUCH FACILITY TO BE ALTERED, REMOVED, SITED UP, OVERGROWN AND/OR TO FAIL TO FUNCTION AS DESIGNED AND/OR AS REQUIRED BY APPLICABLE REGULATIONS. IF THE OWNER DOES NOT DO SO, UPON NOTIFICATION BY THE BOROUGH, THE PROPERTY OWNER, AS PROMPTLY AS POSSIBLE, SHALL CORRECT, REPAIR, RECONSTRUCT AND/OR REPLACE SUCH FACILITY TO ADHERE AND MAINTAIN THE FACILITY'S DESIGN SPECIFICATIONS, FUNCTIONS AND ITS COMPLIANCE WITH ALL APPLICABLE REGULATIONS. IF THE OWNER FAILS TO SO RESTORE AND/OR CORRECT THE STORMWATER FACILITY, WITHIN THE TIME SPECIFIED BY THE BOROUGH, THE CONDITION OF THE STORMWATER FACILITY SHALL BE A PUBLIC NUISANCE AND THE BOROUGH SHALL HAVE

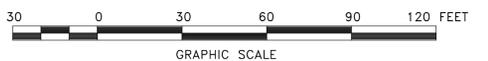
THE FREE RIGHT TO ENTER UPON THE PROPERTY AND TO DO SUCH REPAIRS, MAINTENANCE, REPLACEMENT AND/OR RECONSTRUCTION AS THE BOROUGH DETERMINES NECESSARY WITH RESPECT TO SUCH STORMWATER FACILITY. ALL SUCH CORRECTION, REPAIRS, RECONSTRUCTION AND/OR REPLACEMENT AND THE DESIGN COSTS THEREOF SHALL BE AT THE EXPENSE OF THE OWNER AND THE BOROUGH SHALL HAVE A LIEN AND EASEMENT UPON THE PROPERTY (AS A MUNICIPAL CLAIM LIEN AND/OR IN ANY OTHER MANNER PROVIDED BY LAW) FOR THE COST OF ALL SUCH WORK, INCLUDING ANY ENGINEERING AND DESIGN COST, AND FOR ATTORNEY'S FEES FOR ENFORCEMENT AND COLLECTION.

- EACH ASSIGNEE OF ANY PARCEL ON THIS PLAN SHALL BE RESPONSIBLE FOR ALL THE TERMS AND CONDITIONS OF THIS PLAN AS APPLICABLE TO SUCH PARCEL, AS USED IN THESE PLAN NOTES. "APPLICANT," "PROPERTY OWNER" AND "DEVELOPER" INCLUDE SUCH PARTY'S HEIRS, SUCCESSORS AND ASSIGNS.
- ALL PLANTS WHICH ARE PROVIDED PURSUANT TO THE PLAN SHALL CONFORM TO THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. EACH PLANT SHALL BE MULCHED WHEN PLANTED WITH THREE INCHES OF MULCH APPROVED BY THE BOROUGH. TREES AND SHRUBS, WHICH GROW TO HEIGHTS OF FIVE FEET OR TALLER, SHALL BE PLACED SO THAT THEIR BRANCHES WILL NOT GROW INTO ANY BUILDINGS, OBSTRUCT DRIVEWAY AND/OR STREET SIGHT TRIANGLES OR INTERFERE WITH OVERHEAD PUBLIC UTILITIES.
- AS PART OF THE LAND DEVELOPMENT AND SUBDIVISION PLAN REVIEW AND APPROVAL PROCESS, THE BOROUGH DID NOT DETERMINE WHETHER THERE ARE ANY WETLANDS ON THE PROPERTY, IF THE U.S. ARMY CORPS OF ENGINEERS (CORPS) OR PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) DETERMINES THAT THERE ARE SUCH WETLANDS ON THE TRACT AND THE APPLICABLE WETLAND REGULATIONS RESULT IN A RELOCATION AND/OR REDESIGN OF ANY IMPROVEMENT OR AFFECT COMPLIANCE WITH ANY APPLICABLE REGULATION, THIS PLAN SHALL BE VOIDABLE BY THE BOROUGH, BY WRITTEN RESOLUTION, AND THE BOROUGH MAY REQUIRE THE PROPERTY OWNER TO AMEND THE DEVELOPMENT AND SUBDIVISION PLAN, IN SUCH CASE, THE BOROUGH MAY REQUIRE ITS PRIOR WRITTEN APPROVAL OF THE AMENDMENT WHICH APPROVAL MAY BE GRANTED SUBJECT TO SUCH CONDITIONS AS BOROUGH COUNCIL DETERMINES APPROPRIATE.
- THE WAIVERS SPECIFICALLY GRANTED BY RESOLUTION NO. 100 RELATE ONLY TO SUBDIVISION AND LAND DEVELOPMENT ORDINANCE REQUIREMENTS. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO WAIVE, WAIVER OR REDUCE ANY REQUIREMENTS OF THE ZONING ORDINANCE OR ANY OTHER BOROUGH ORDINANCE OR REGULATION.
- THE BOROUGH AND BOROUGH ENGINEER HAVE REVIEWED THE DEVELOPMENT AND SUBDIVISION PLAN AND ALL INFORMATION SUPPLIED WITH IT ONLY FOR BOROUGH PURPOSES AND ONLY FOR COMPLIANCE WITH BOROUGH REGULATIONS, SUCH AS THOSE RELATING TO STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION CONTROL. THE BOROUGH DOES NOT WARRANT, IN ANY WAY, THE IMPROVEMENTS OR WORK SHOWN ON THE PLAN. IN REVIEWING THE DEVELOPMENT AND SUBDIVISION PLAN AND ANY FUTURE PLANS, PLAN CHANGES AND/OR SPECIFICATIONS AND DESIGNS CONCERNING THE PROPOSED USE, IMPROVEMENTS AND/OR WORK, THE BOROUGH ENGINEER AND ALL BOROUGH OFFICIALS HAVE RELIED AND MAY RELY ON THE INFORMATION SUPPLIED BY THE APPLICANT. THE APPLICANT IS RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ALL INFORMATION (E.G. PROPERTY OWNERSHIP, ENCUMBRANCES, MEASUREMENTS, CALCULATIONS, PLANS, LOCATIONS, SURVEYS AND SITE DATA) SUPPLIED TO THE BOROUGH AT ALL TIMES. IT IS THE APPLICANT'S AND APPLICANT'S ENGINEER'S DUTY TO IDENTIFY ALL RELEVANT CONDITIONS BOTH ON AND OFF THE PROPERTY. THE APPLICANT MUST DETERMINE AND THE APPLICANT'S ENGINEER MUST CERTIFY TO THE BOROUGH THAT ALL PLANS DO COMPLY AND THAT ALL IMPROVEMENTS AND WORK, WHEN IMPLEMENTED IN THE FIELD AS SHOWN ON THE PLANS, WILL COMPLY WITH ALL APPLICABLE REGULATIONS, WILL IN ALL WAYS REFLECT GOOD ENGINEERING AND CONSTRUCTION PRACTICES AND WILL NOT RESULT IN DAMAGE TO ANY PERSONS OR PROPERTY. IN MAKING THESE DETERMINATIONS, NEITHER THE APPLICANT NOR THE APPLICANT'S ENGINEER SHALL RELY UPON ANY APPROVAL, PERMIT, DETERMINATION OF OR INFORMATION OR RECOMMENDATIONS FROM OR SPECIFICATIONS ESTABLISHED BY THE BOROUGH, THE BOROUGH ENGINEER OR ANY OTHER BOROUGH OFFICIAL. NO BOROUGH OFFICIAL IS RESPONSIBLE FOR DESIGNING, CHOOSING SPECIFICATIONS FOR OR PROPER CONSTRUCTION AND/OR SUITABILITY OF ANY IMPROVEMENT OR WORK OR FOR DETERMINING TITLE ISSUES CONCERNING THE TRACT AND/OR ANY ENCUMBRANCE OR FOR FIELD CHECKING ANYTHING SHOWN ON THE PLAN AS PART OF THE PLAN REVIEW AND/OR INSPECTION PROCESS. THE BOROUGH HAS ASSUMED AND MAY ASSUME THAT THE APPLICANT WARRANTS TO THE BOROUGH, AND THE APPLICANT DOES SO WARRANT, THAT ANY PLAN, APPLICATION AND/OR REQUEST FOR BOROUGH APPROVAL, SUBMITTED TO THE BOROUGH, COMPLIES WITH ALL APPLICABLE REGULATIONS AND SHOWS ALL RELEVANT INFORMATION COMPLETELY AND ACCURATELY AND THAT THE APPLICANT'S ENGINEER HAS SO CERTIFIED. THE ISSUANCE OF ANY PERMIT OR APPROVAL BY ANY BOROUGH OFFICIAL DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO DETERMINE INDEPENDENTLY AND INSURE THAT THE IMPROVEMENTS AND/OR WORK ARE DESIGNED AND CONSTRUCTED PROPERLY, COMPLY WITH ALL APPLICABLE REGULATIONS AND WILL BE FIT AND SAFE FOR THEIR INTENDED PURPOSES. IF THE IMPROVEMENTS AND/OR WORK ARE NOT SO DESIGNED AND CONSTRUCTED, THE BOROUGH MAY REQUIRE REDESIGN AND RECONSTRUCTION TO ACHIEVE SUCH COMPLIANCE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS TO IMPLEMENT THE PLAN, THE APPLICANT AND, IF THE BOROUGH REQUIRES, THE PROPERTY OWNER, MUST ENTER INTO A DEVELOPMENT AGREEMENT AND AN IMPROVEMENT SECURITY AGREEMENT, WITH THE BOROUGH, WITH TERMS AND CONDITIONS SATISFACTORY TO THE BOROUGH, AND MUST PROVIDE THE REQUISITE IMPROVEMENT SECURITY AS IDENTIFIED BY THE BOROUGH ENGINEER. THE IMPROVEMENT SECURITY SHALL SECURE, FOR THE BOROUGH'S BENEFIT, THE PROPER AND TIMELY COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE DEVELOPMENT AGREEMENT. THE IMPROVEMENT SECURITY SHALL NOT BE A BOND. THE DEVELOPMENT AGREEMENT MAY PROVIDE THAT THE BOROUGH MAY WITHHOLD AND/OR REVOKE PERMITS IF THE DEVELOPER IS IN DEFAULT OF ITS OBLIGATIONS THEREUNDER. NO WORK SHALL BE DONE TO IMPLEMENT THE PLAN AND NO BUILDING PERMITS SHALL BE ISSUED FOR ANY SUCH PURPOSE UNTIL THE DEVELOPMENT AGREEMENT IS EXECUTED. THE PLANS ARE FINALLY APPROVED IN ALL RESPECTS AND THE REQUISITE IMPROVEMENT SECURITY IS POSTED TO THE BOROUGH'S SATISFACTION.



RI ZONING DISTRICT
CD ZONING DISTRICT
ZONING DISTRICT BOUNDARY

UPI #15-14-279.1



PRELIMINARY/FINAL SITE PLAN

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
1	6-30-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-25-23&5-44-23

LAND DEVELOPMENT PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

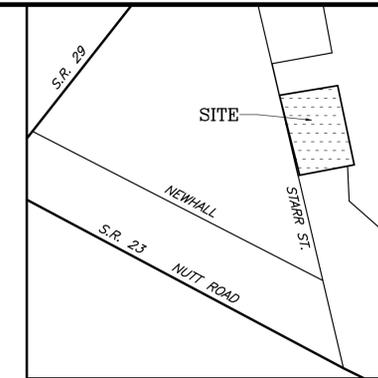
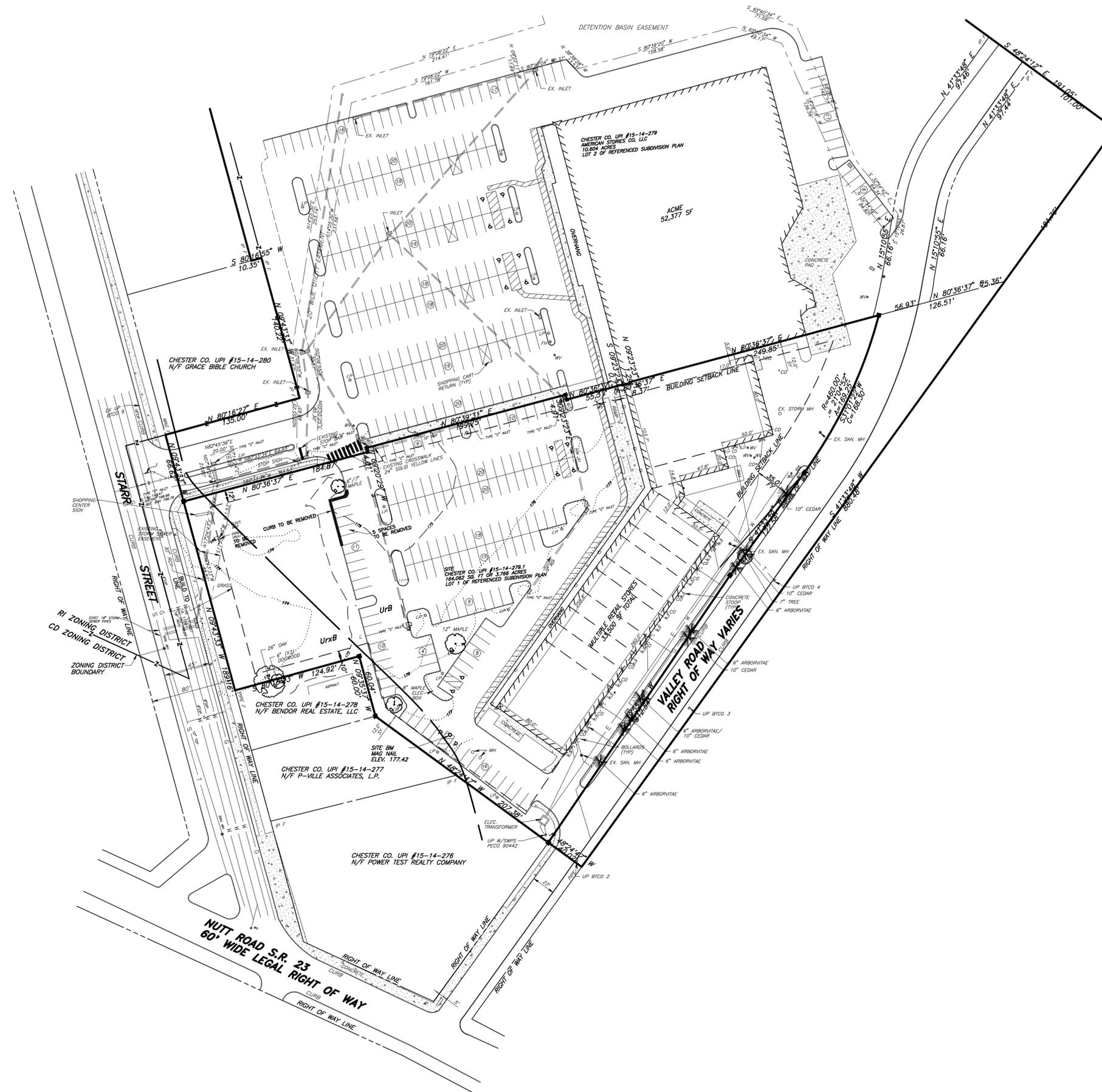
BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080

Project- 4926
Date- 2-2-23
Scale- 1" = 30'
Drawn- SJM
Checked- AJB
Sheet- 2 OF 12

Plotted: 11/22/2023 File: F:\JIB\4926\FPS\4926-B.prc



LOCATION MAP
SCALE: 1" = 200'

LEGEND

---	4.30	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---		EXISTING INLET
---		EXISTING STORM SEWER PIPE
---		EXISTING SANITARY MANHOLE
---		EXISTING SANITARY SEWER PIPE
---		EXISTING GAS LINE
---		EXISTING ELECTRIC LINE
---		EXISTING UTILITY POLE
---		EXISTING WATER LINE
---		EXISTING WATER VALVE
---		SOILS LINE
---		EXISTING TREE
---		EXISTING EDGE OF PAVEMENT
---		EXISTING CURB
---		PROPOSED CURB
---		EXISTING CONCRETE
---		PROPOSED CONCRETE
---		EXISTING BUILDING
---		PROPOSED BUILDING
---		EXISTING LIGHT POLE

SOILS DATA

Urb - URBAN LAND, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
UrxB - URBAN LAND, PENN COMPLEX, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B

PRELIMINARY/FINAL
EXISTING FEATURES PLAN

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
1	6-30-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-3-23 & 5-4-23

LAND DEVELOPMENT PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

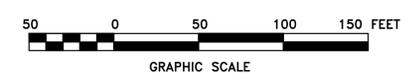
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Phone: 610-903-0060
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EBW

Project- 4926
Date- 2-2-23
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Drawn- SLM
Checked- AJB
Sheet- 3 OF 12

Plotted: 11/22/2023 File: F:\JIB\4926\FPS\4926-B.prc



UPI #15-14-279.1



NOTES:

1. PLAN INFORMATION
AERIAL IMAGERY SOURCE: 2015 DATA FROM THE PENNSYLVANIA SPATIAL DATA ACCESS (PASDA) WEBSITE.
TOPOGRAPHY SOURCE: PENNSYLVANIA SPATIAL DATA ACCESS (PASDA) - 2007.
PROPERTY BOUNDARY INFORMATION: TAKEN FROM THE CHESTER COUNTY GIS HUB.
2. THE AERIAL ONLY SHOWS THE ROOF OVERHANG IT DOES NOT SHOW THE BUILDING WALL. PER GOOGLE EARTH THE OVERHANG MEASURES APPROX. 1FT.
3. THE PLAN SHOWS THE 23 FT. DIMENSION TO THE BUILDING WALL OF STRUCTURES NEAR THE PROPOSED DEVELOPMENT.

2. 9-11-23 REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23.

AERIAL VIEW PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

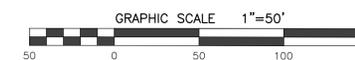
BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA

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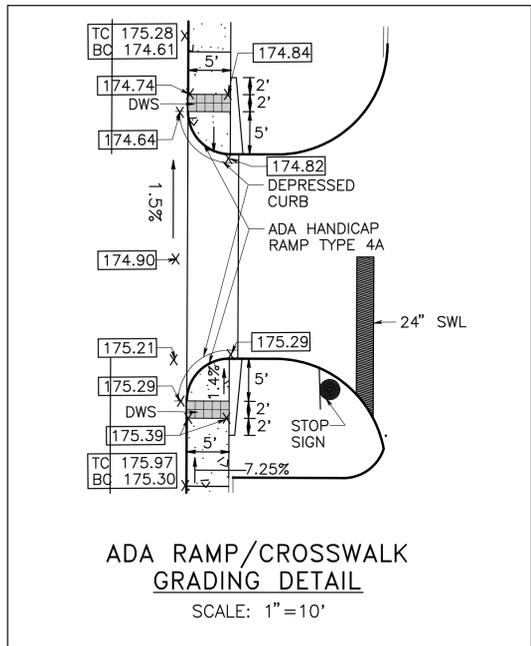
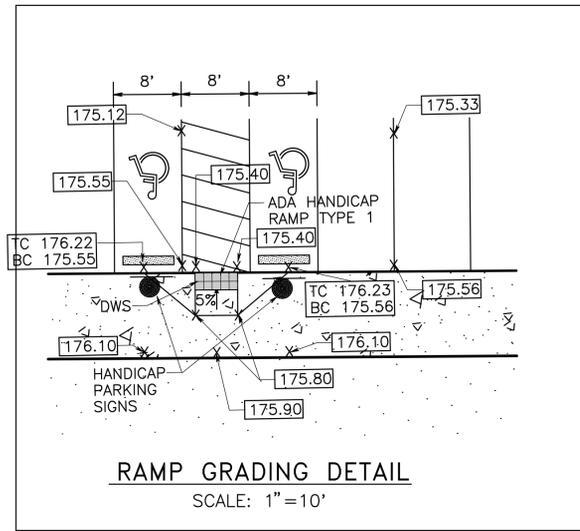
CIVIL ENGINEERS & SURVEYORS
Lionville Professional Center
125 Drexel Forge Road
Exton, Pennsylvania 19341
Phone: (610) 903-0060
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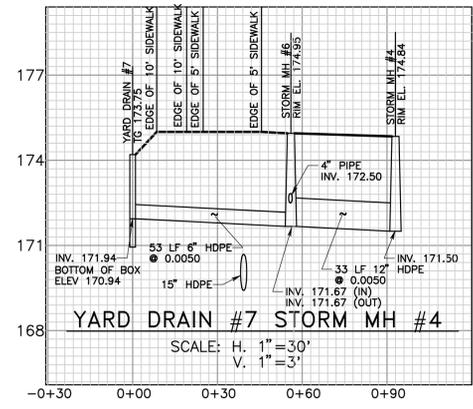
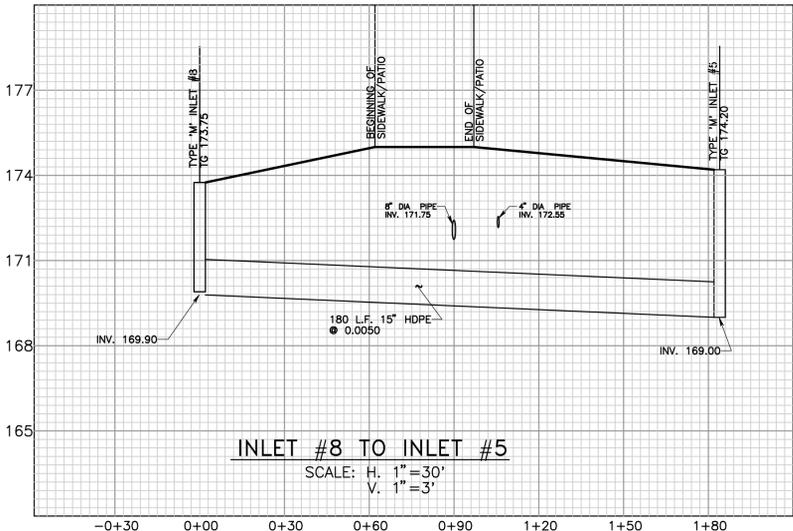
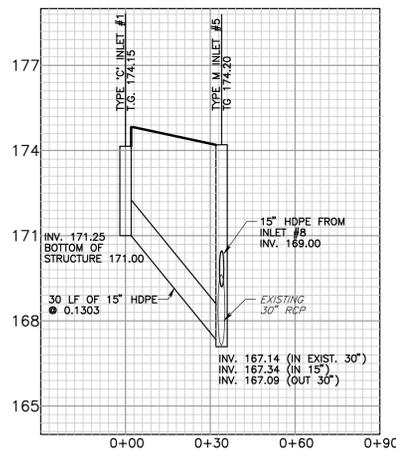
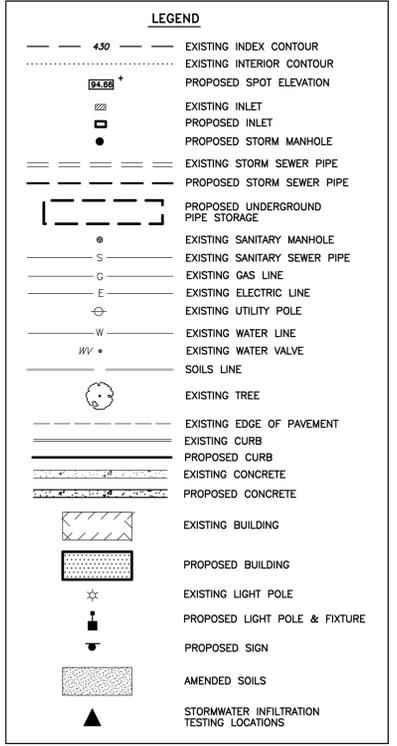
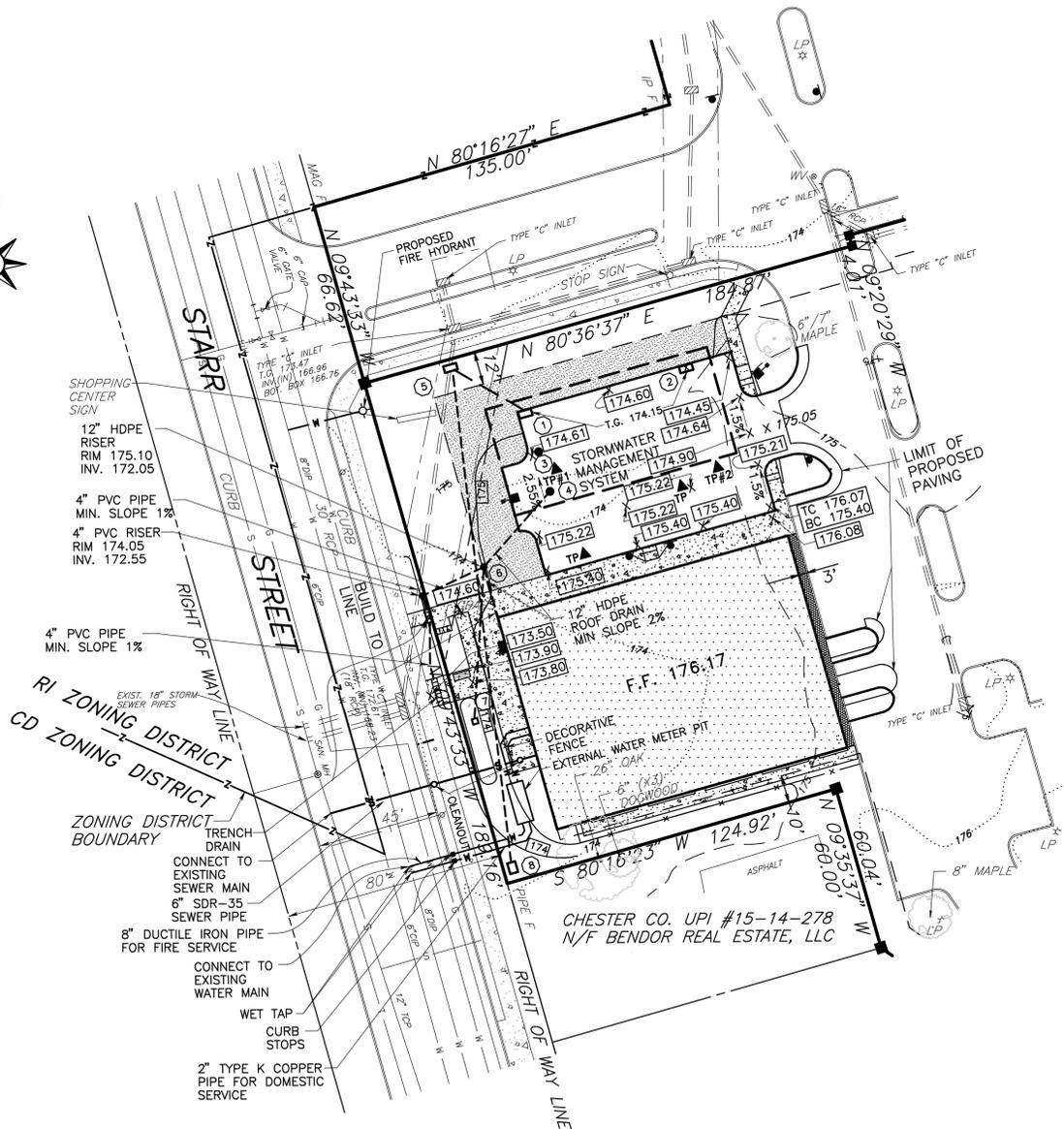
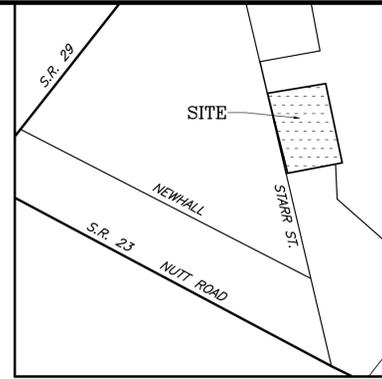
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DATE: 9/21/2023
SCALE: 1" = 50'
DRAWN: MF
CHECKED: AB
SHEET: 4 OF 12



Plotted: 9/21/2023 File: F:\JIB\4926\AERIAL\4926-AERIAL.DWG



SOILS DATA
UrB - URBAN LAND, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
UrxB - URBAN LAND, PENN COMPLEX, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B

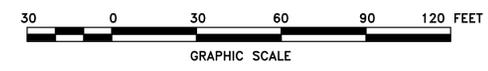


STORMWATER CONVEYANCE PIPE RUNS

LINE ID	LINEAR FEET	PIPE SIZE (INCHES)	PIPE MATERIAL	PIPE SLOPE (%)
1 - 5	30.0	15	HDPE	0.1303
4 - 6	33	12	HDPE	0.0050
6 - 7	53	8	HDPE	0.0050
5 - 8	158	15	HDPE	0.0050

STORMWATER INFILTRATION TESTING

TEST PIT NUMBER	TEST PIT TEST ELEVATION	INFILTRATION RATE
1	171.50	0.09 IN/HR
2 - 1	169.00	0.0 IN/HR
2 - 2	171.50	0.0 IN/HR



PRELIMINARY/FINAL CONSTRUCTION IMPROVEMENT PLAN

3 11-20-23 REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
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1 6-30-23 REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-3-23 & 5-4-23

LAND DEVELOPMENT PLAN FOR PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS

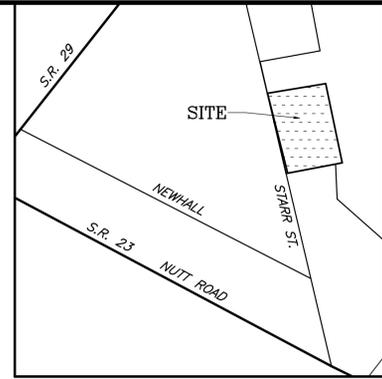
Whiteland Business Park
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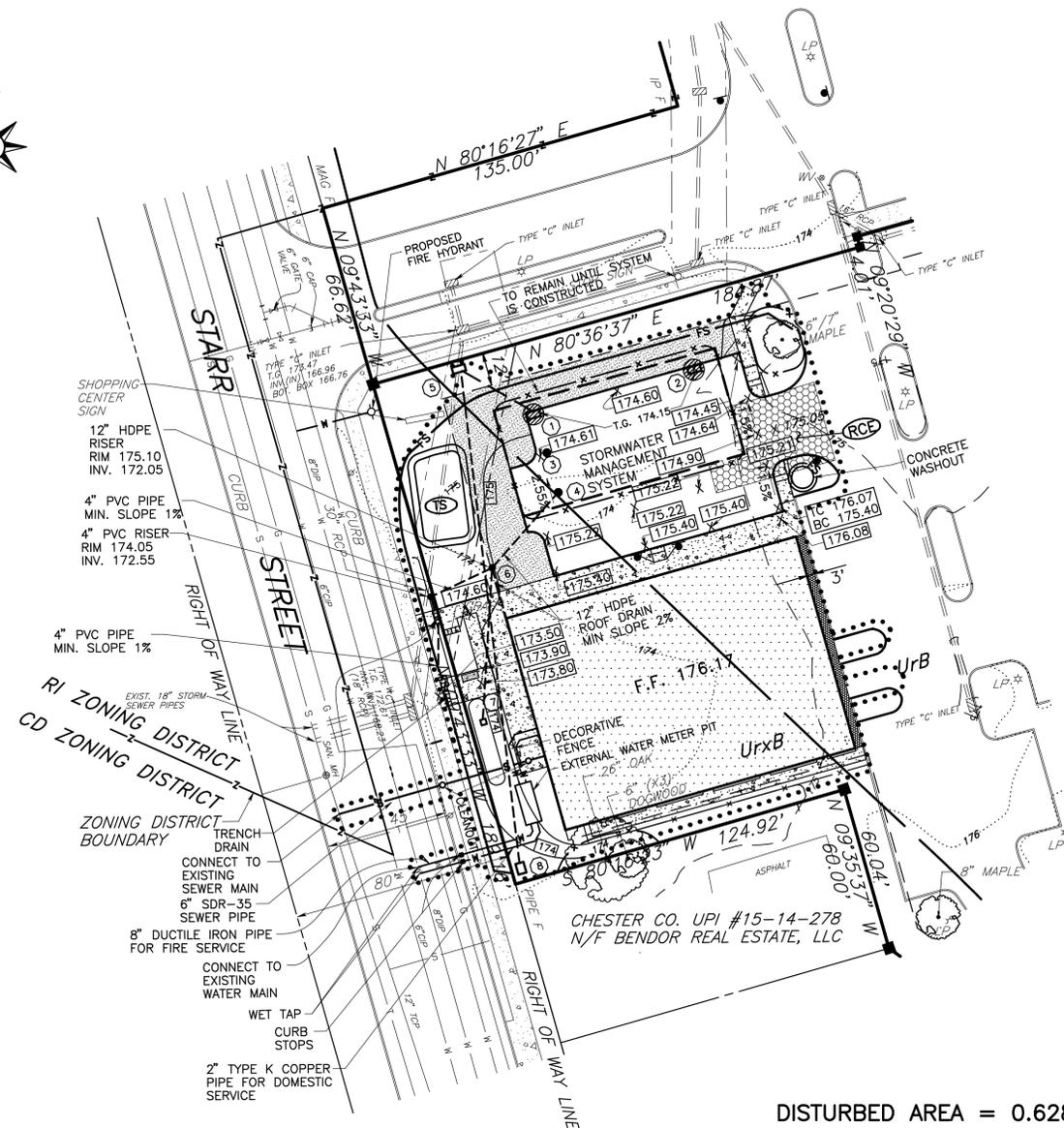
UPI #15-14-279.1

SOILS DATA

URB - URBAN LAND, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B
 URxB - URBAN LAND, PENN COMPLEX, 0 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP B



LOCATION MAP
SCALE: 1" = 200'



CLEAN FILL RESPONSIBILITY

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE THAT IMPORTED FILL MATERIAL MEETS THE PADEP QUALIFICATIONS FOR "CLEAN FILL".

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE IT MUST BE RESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PAS DEP'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PADEP'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

UTILITY LINE TRENCH EXCAVATION NOTES

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
- SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

DUST CONTROL MEASURES

- PROVIDE MISTING WATER SPRAYS SUFFICIENT TO REDUCE AIRBORN DUSTING.
- APPLY ADDITIONAL WATER DURING DRY WEATHER.
- DUST CONTROL SHALL BE PERFORMED BY THE CONTRACTOR AT ANY TIME DUST RESULTING FROM CONTRACTOR OPERATIONS, BECOMES A NUISANCE OR VISUAL IMPEDIMENT.

NOTES:

- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FACILITIES WEEKLY AND AFTER EACH RAINFALL EVENT. ANY DAMAGED OR BROKEN FACILITY MUST BE REPAIRED OR REPLACED IMMEDIATELY.
- ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH N.A.G.S-75 EROSION CONTROL BLANKET.
- ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE MUNICIPALITY. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- PERMANENT SITE STABILIZATION THAT MUST BE ACHIEVED PRIOR TO REMOVAL OF E&S CONTROLS IS DEFINED AS VEGETATED AREAS MUST PROVIDE A MINIMUM UNIFORM 70% PERENNIAL VEGETATED COVER OVER THE ENTIRE DISTURBED AREA.

CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INVITE ALL APPROPRIATE MUNICIPAL OFFICIALS, AND THE PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- INSTALL ROCK CONSTRUCTION ENTRANCE AT LOCATIONS SHOWN & DELINEATE LIMIT OF DISTURBANCE.
- INSTALL FILTER SOCK AND TREE PROTECTION FENCING AT LOCATIONS SHOWN.
- CLEAR AND GRUB THE AREA NECESSARY FOR GRADING & BUILDING CONSTRUCTION.
- BEGIN REMOVAL OF TOPSOIL FROM AREAS TO BE DISTURBED. TOPSOIL TO BE STOCKPILED AT LOCATION SHOWN. STOCKPILE HEIGHT NOT TO EXCEED 35 FEET. SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH STOCKPILE WITH TEMPORARY SEED MIX AND MULCH. INSTALL SILT FENCE AROUND STOCKPILE.
- BEGIN EARTH MOVING TO ESTABLISH ROUGH SUBGRADE FOR PARKING LOT AND BUILDING PAD.
- INSTALL STORMWATER MANAGEMENT SYSTEM AND INSTALL INLET PROTECTION WHERE NOTED.

THIS IS A CRITICAL BMP THAT MUST BE INSPECTED BY THE PROJECT ENGINEER OR LICENSED PROFESSIONAL.

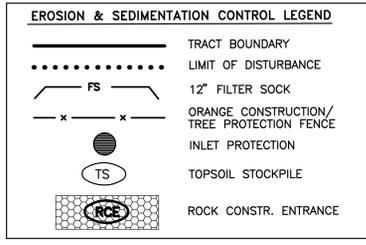
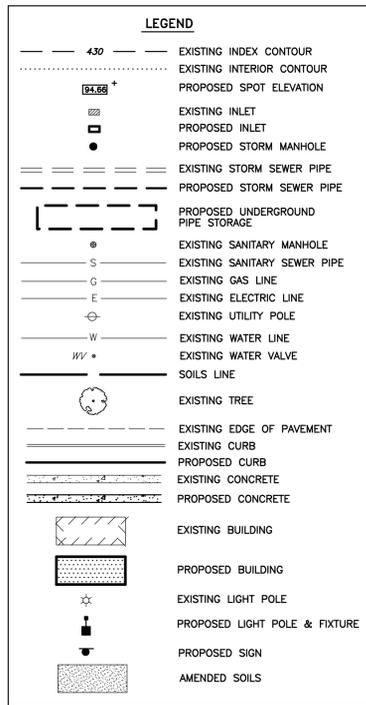
- BEGIN BUILDING CONSTRUCTION & INSTALL UTILITIES TO SERVICE BUILDING.
- INSTALL SIDEWALKS & CURBING IN PARKING LOT.
- INSTALL STONE BASE COURSE IN PARKING LOT.
- INSTALL LANDSCAPING AS SHOWN ON LANDSCAPE PLAN.
- INSTALL TOPSOIL ON DISTURBED AREAS AND AMENDED SOILS WHERE INDICATED.
- STABILIZE AREAS DISTURBED BY SPREADING PERMANENT SEED MIX AND MULCH ON ALL DISTURBED AREA.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, THE E&S BMP'S MAY BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.

THE PROJECT ENGINEER OR OTHER LICENSED PROFESSIONAL SHALL INSPECT SWM SYSTEM TO ENSURE IT IS FUNCTIONING PROPERLY.

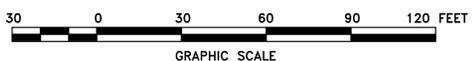
- PAVE PARKING LOT AND INSTALL STRIPING & SIGNAGE.

CONSTRUCTION DEBRIS HANDLING:

- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 2801.1 ET SEQ. AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, BURN, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- THE PROJECT WASTES INCLUDE CONCRETE AND BUILDING MATERIALS WHICH MUST BE REMOVED AS PART OF THE PROJECT. CONSTRUCTION DEBRIS MUST BE STORED IN REUSE CONTAINERS FOR REMOVAL FROM THE SITE. THE CONTAINERS MUST BE PLACED IN ACCESSIBLE LOCATIONS.
- THE CONCRETE AND BUILDING MATERIALS MUST BE DISPOSED OF BY TAKING IT TO A DEF-APPROVED FACILITY.
- NO DEBRIS MAY BE STORED/LEFT IN LOW AREAS OR DEPRESSIONS ON THE SITE.
- NO FUEL MAY BE STORED ON SITE.



DISTURBED AREA = 0.628 ACRES, 27,378 SF



**PRELIMINARY/FINAL
EROSION & SEDIMENTATION
CONTROL PLAN**

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
1	6-30-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-3-23 & 5-4-23

LAND DEVELOPMENT PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080

Project- 4926
Date- 2-2-23
Scale- 1" = 30'
Drawn- SLM
Checked- AJB
Sheet- 6 OF 12

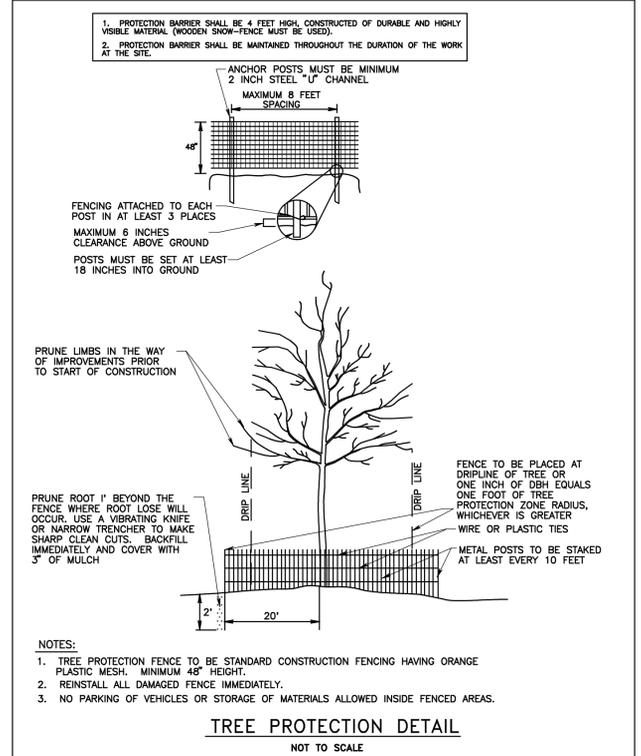
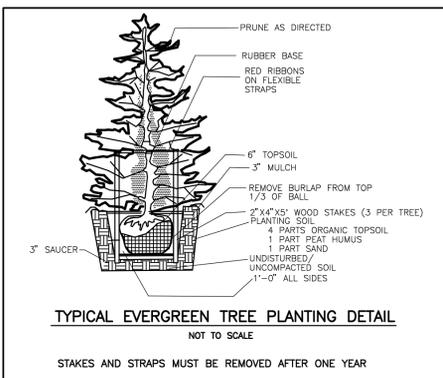
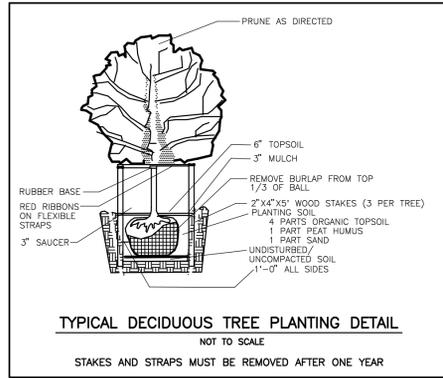
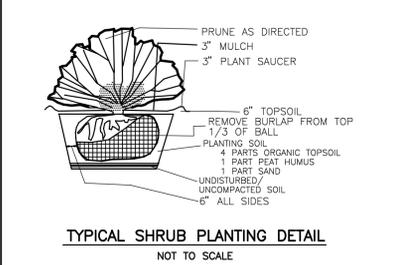
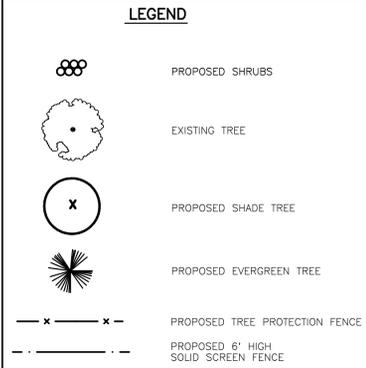
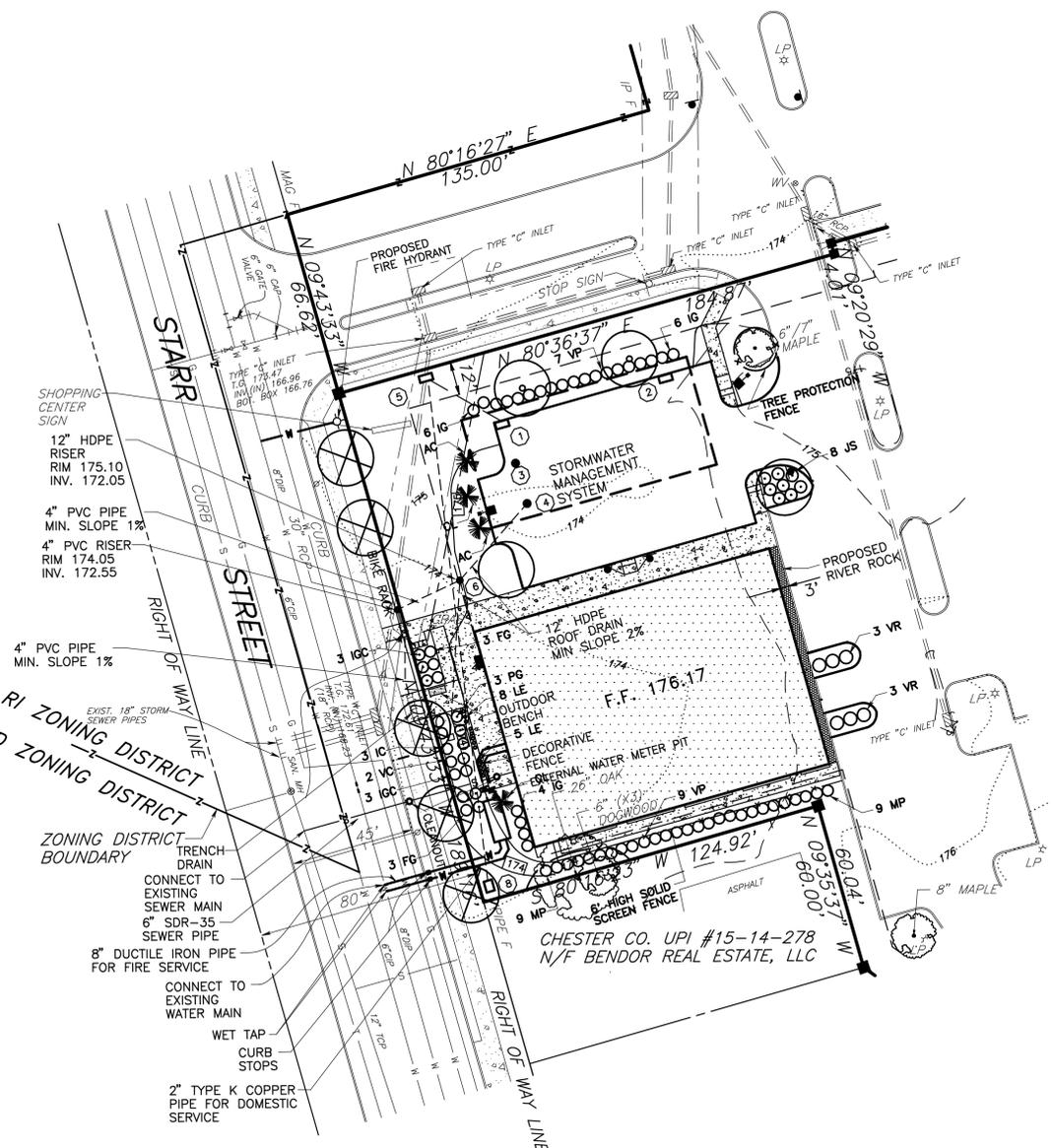
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LANDSCAPE NOTES:

- PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- PROVIDE CONTINUOUS MULCH (3" THICK) IN ALL SHRUB BEDS AND GROUND COVER AREAS AND AT THE BASE OF SPECIMEN TREES.
- SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
- NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL UNTIL JOB IS TURNED OVER TO OWNER.
- CONTRACTOR SHALL LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIVATOR OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1 - 1 1/2") IN ANY DIMENSIONS AND STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER.
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE SOILS, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
- TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- ALL PLANTING BEDS SHALL BE MULCHED WITH DOUBLY GROUND SHREDDED HARDWOOD MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
- ALL CANOPY TREES MUST HAVE A SPREAD EQUAL TO FIFTY PERCENT (50%) OF THE HEIGHT.
- ALL DISTURBED LAWN AREAS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH BLUE GRASS SEED MIX.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
- THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
- NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PRESERVE SUCH TREES.
- ALL SIZES AND GRADING STANDARD FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATES OF NURSERYMEN, INC., AND APPROVED MAY 2, 1986 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC., OR THE LATEST REVISED EDITION OF THIS STANDARD.
- TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK OR THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHODS OR APPROVED EQUAL: (A) SEEDING OR PLANTING OF SLOPES WITH A GRADIENT OF THIRTY THREE PERCENT (33%) OR LESS STEEP. (B) SOODING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY THREE PERCENT (33%) OR MORE STEEP.
- ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
- THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- ALL DISTURBED AREAS ARE TO BE SEED TO ESTABLISH A VIABLE LAWN.
- ANY TREE OR SHRUB WITH DIES WITHIN EIGHTEEN (18) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH, WITHIN THE AFOREMENTIONED TIME PERIOD IS DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP, NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.
- TREES ARE TO BE LOCATED 3' TO 5' OUTSIDE THE RIGHT OF WAY.
- ALL SHRUBS ARE TO BE PLANTED MASSES TOGETHER IN GROUPS IN MULCHED PLANTING BEDS.
- ALL STAKES AND STRAPS AT THE TREES MUST BE REMOVED AFTER ONE YEAR.
- ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTING SOIL SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL AND 1 PART PEAT HUMUS, 1 PART WASHED SAND.
- TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE UP: BE FRABLE SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE, INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-16% ORGANIC MATERIAL, NO MORE THAN 30% WEIGHT OF CLAY. SHALL BE WEED FREE (ABSENCE OF LIVING/DYING WEED CONTAMINANT) SHALL HAVE LESS THAN 2% BY WEIGHT OF DIAMETERED MATERIALS SUCH AS STONES (NO LARGER THAN 12mm IN DIAMETER IN THE TOP 50mm, CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL.
- NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15) FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.
- NO TREES SHALL BE PLACED WITH THEIR CENTERS LESS THAN FIVE (5) FEET FROM ANY PROPERTY LINE AND NO SHRUBS WITH THEIR CENTERS LESS THAN THREE (3) FEET FROM ANY PROPERTY LINE.
- EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF DRIVEWAYS, SHALL BE CUT TO THE HEIGHT OF TWENTY-FOUR INCHES (24") FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES BACK SEVENTY-FIVE FEET (75') TO AVOID BLOCKING SIGHT DISTANCE TO ONCOMING TRAFFIC; AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE DWARF VARIETY AND SHALL NOT EXCEED TWENTY-FOUR INCHES (24") IN HEIGHT AT MATURITY.
- ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS.
- PROPER SIGHT LINES SHALL BE MAINTAINED AT SKELP LEVEL ROAD THERE SHALL BE A CLEAR SIGHT TRIANGLE MEASURING ONE HUNDRED FEET (100') ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN, THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.
- ALL TREES TO BE RETAINED WITHIN TWENTY-FIVE FEET (25') OF A BUILDING, PARKING OR OTHER PROPOSED IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
- ALL PLANTING BEDS, LAWN AREAS AND TREE BASES ARE TO BE TOP DRESSED WITH 6" OF ORGANIC TOPSOIL.
- ALL PARKING LOT TREES ARE TO BE PRUNED TO PROVIDE SEVEN FEET (7') CLEARANCE FROM THE GROUND AT BASE OF TREE.
- PLANT MATERIAL QUANTITIES LISTED FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBERS OF SYMBOLS SHALL TAKE PRECEDENCE OVER QUANTITIES LISTED IN CASES OF CONFLICT.
- ALL PLANT MATERIAL SHALL BE OF THE MINIMUM SIZE NOTED ON THE PLANS. PLANT MATERIAL SHALL BE MEASURED ACROSS THE MAIN BODY OF THE PLANT, NOT TO THE FURTHEST MOST TIPS OF GROWTH.
- ALL AREAS TO BE LANDSCAPED, ESPECIALLY NEXT TO BUILDING AREAS, SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS AND BACKFILLED WITH A GOOD, MEDIUM TEXTURED PLANTING SOIL. ALL LAWN AREAS SHALL HAVE A MINIMUM OF 4" - 6" OR TOPSOIL.
- SEE PLANTING DETAILS FOR TREE PLANTING, STAKING AND CUYING DIRECTIONS. SEE SHRUB PLANTING DETAIL FOR SHRUBS PLANTING DIRECTIONS. TREES SHALL BE STAKED IMMEDIATELY AFTER PLANTING.
- REMOVE ALL TWINE AND WIRE FROM TREE AND SHRUB PLANTING BALLS. REMOVE ALL NON-NOT BURLAP FROM ALL PLANT MATERIAL PRIOR TO PLANTING. UNTIE ALL TWINE AND/OR BURLAP FROM THE TRUNK OF THE PLANT MATERIAL AND DRAPE DOWN BALL OR REMOVE PRIOR TO PLANTING.
- PRUNE ALL PLANT MATERIAL AFTER PLANTING IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. PRUNE ALL SPECIMEN TREES AFTER PLANTING. PRUNE ALL DEAD BRANCHES FROM PLANTS. DO NOT DISFIGURE PLANTS BY PRUNING.
- TREES AND SHRUBS SHALL NOT BE PLANTED OVER ANY UNDERGROUND UTILITY, NOR WITHIN ANY UNDERGROUND UTILITY EASEMENT (MINIMUM 10' FROM CENTER OF PIPE). CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK.



PLANT SCHEDULE DECIDUOUS TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	CONDITION
	2	Acer Rubrum Red Sunset	Red Sunset Maple	10'-12'	2"-2 1/2"	B & B
	2	Halesia Carolina	Carolina Silverbell	10'-12'	2"-2 1/2"	B & B
	5	Quercus Phellos	Willow Oak	10'-12'	2"-2 1/2"	B & B

PLANT SCHEDULE EVERGREEN TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
AC	2	Abies Concolor	Concolor Fir	6'	B & B
CL	2	Cupressus X Cupressopyxis Leylandii	Leyland Cypress	6'	B & B

PLANT SCHEDULE SHRUBS

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
FG	6	Fothergilla Gardenii	Dwarf Fothergilla	24"-30"	B & B
IC	3	Ilex Crenata Compacta	Compact Japanese Holly	30"-36"	B & B
IG	16	Ilex Glabra	Inkberry	3'	B & B
IGC	6	Ilex Glabra Compacta	Compact Inkberry	30"-36"	B & B
JS	8	Juniperus Chinensis Sargentii	Sargent Juniper	18"-24"	B & B
LE	13	Liriodendron Emerald Goddess	Emerald Goddess Liriodendron	9"-12"	B & B
MP	18	Myrica Pensylvanica	Northern Bayberry	30"-36"	B & B
PG	3	Prunus Grandiflora Sinesis	Dwarf Flowering Almond	24"-30"	B & B
VC	2	Viburnum Koronopsis	Carle's Compactum Viburnum	30"-36"	B & B
VP	16	Viburnum Procerum	Prague Viburnum	30"-36"	B & B
VR	6	Viburnum Rhytidophyllum	Leatherleaf Viburnum	3'	B & B

PRELIMINARY/FINAL LANDSCAPE PLAN

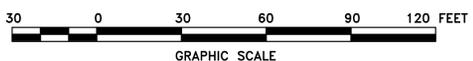
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LAND DEVELOPMENT PLAN FOR
PHOENIXVILLE SHOPPING CENTER

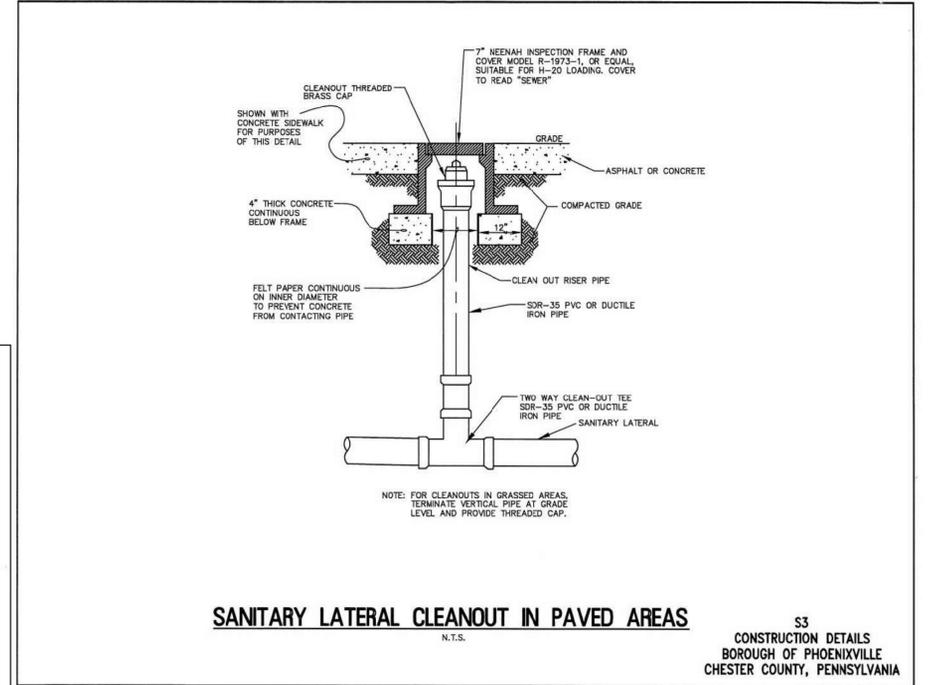
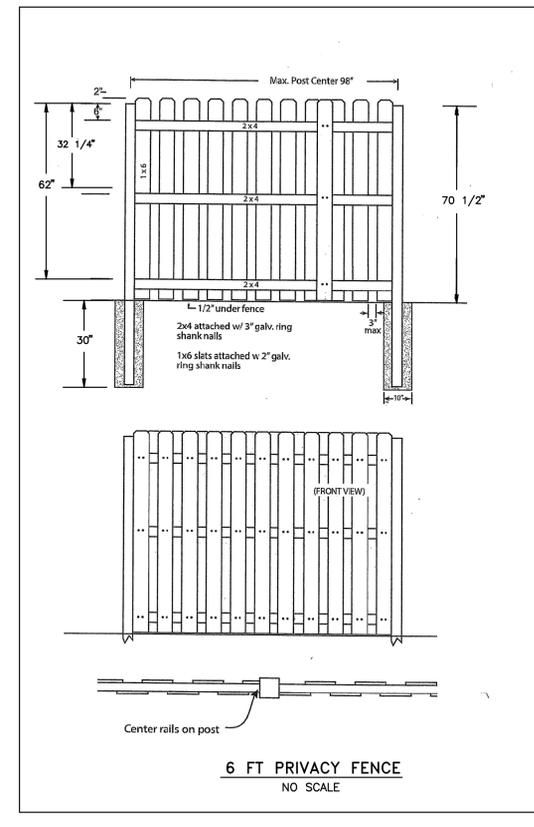
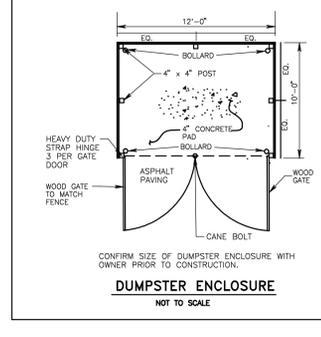
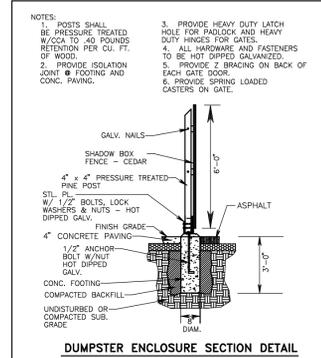
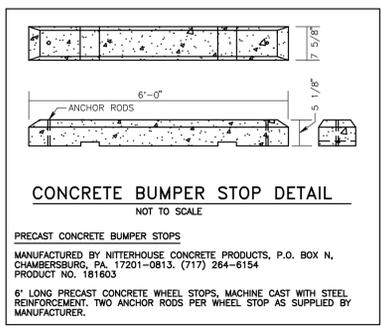
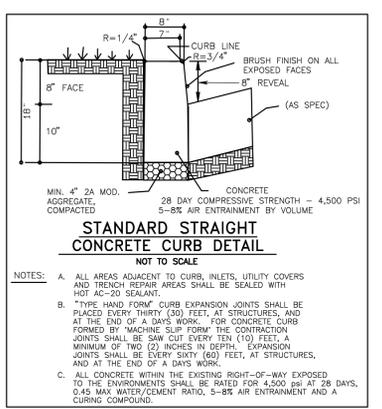
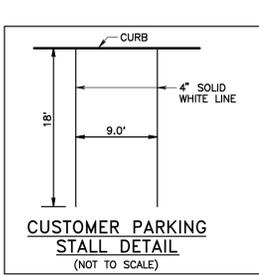
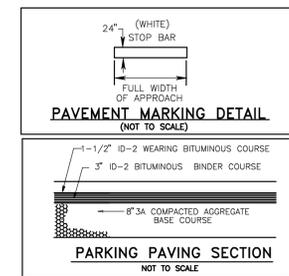
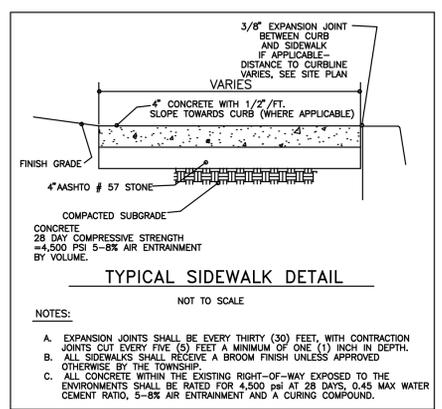
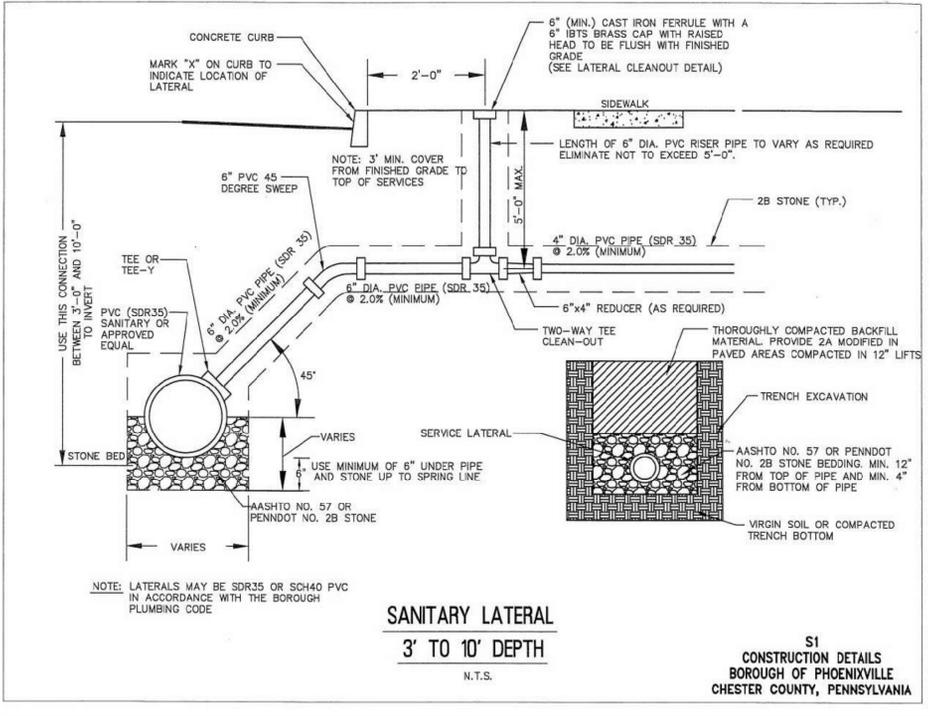
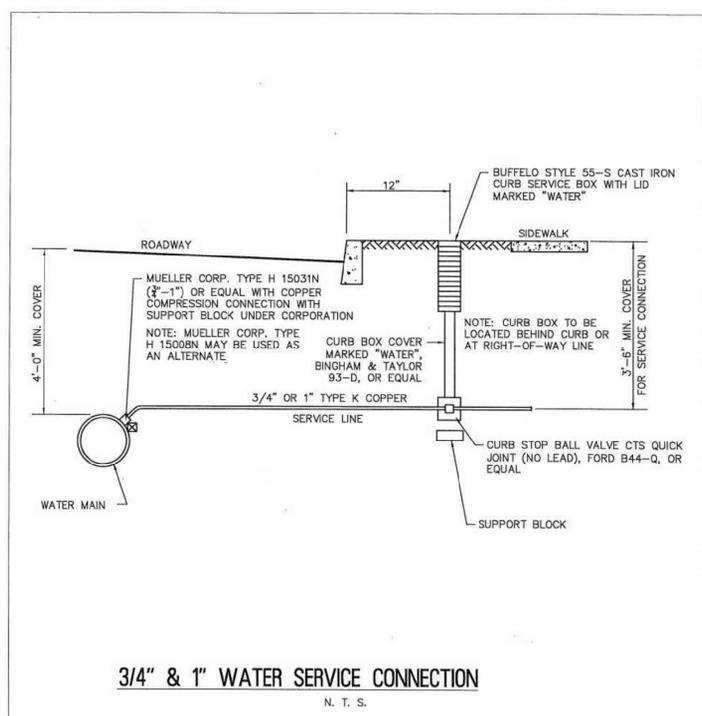
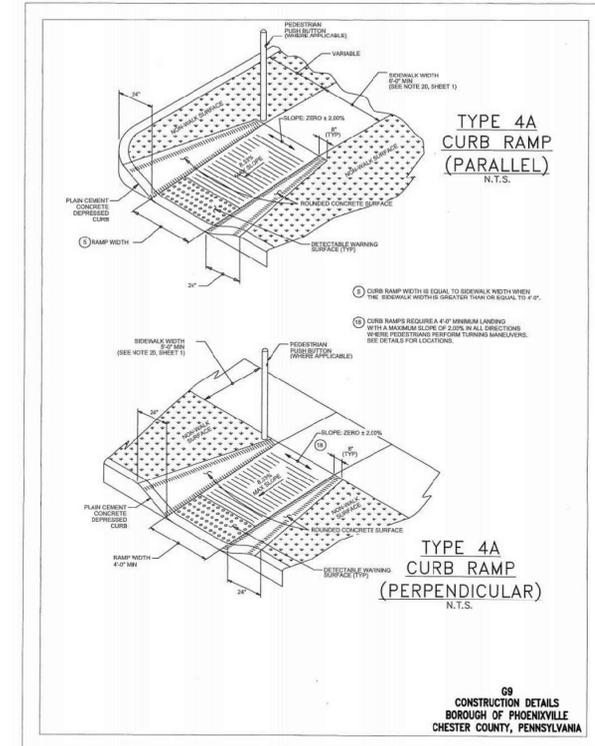
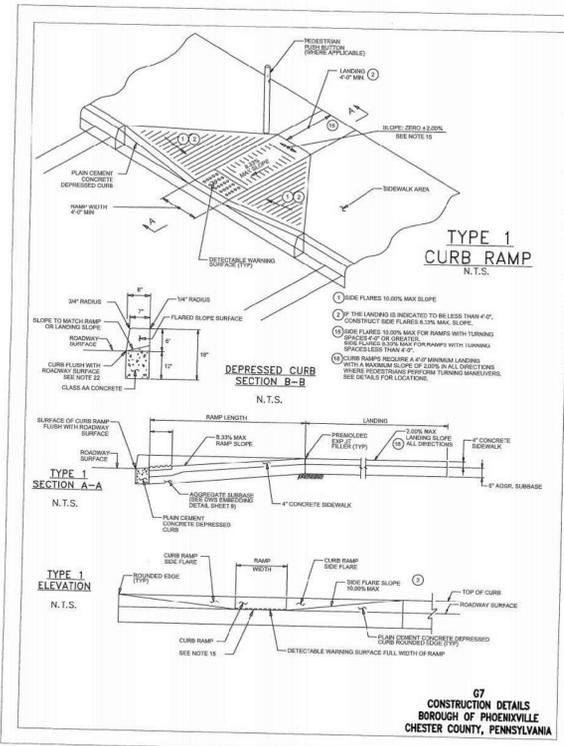
BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.
 Edward B. Walsh & Associates, Inc. **Project- 4926**
 CIVIL ENGINEERS & SURVEYORS **Date- 2-2-23**
 Whiteland Business Park **Scale- 1" = 30'**
 855 Springdale Drive, Suite 202 **Drawn- SLM**
 Exton, Pennsylvania 19341 **Checked- AJB**
 Phone: 610-903-0060 **Sheet- 8 OF 12**
 Fax: 610-903-0080

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PRELIMINARY/FINAL POST CONSTRUCTION STORMWATER MANAGEMENT SYSTEM AND GENERAL DETAIL SHEET

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
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LAND DEVELOPMENT PLAN FOR
PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080

Project- 4926
Date- 2-2-23
Scale- N/A
Drawn- ALM
Checked- SJB
Sheet- 9 OF 12

Plotted: 11/22/2023 File: F:\J\4926\FPS\4926-B.prc



Back-to-back pedestal

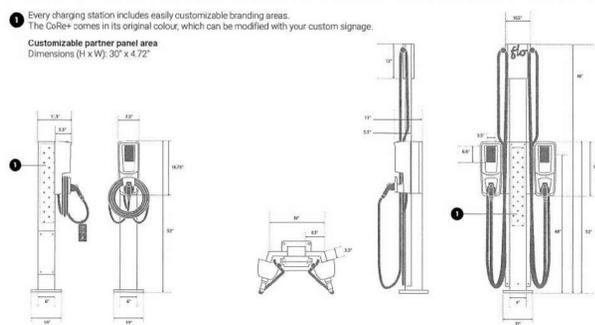


ELECTRIC VEHICLE CHARGING PARKING SPACE STRIPING DETAIL

Dimensions and customization

- Every charging station includes easily customizable branding areas. The Core+ comes in its original colour, which can be modified with your custom signage.

Customizable partner panel area
Dimensions (H x W): 30" x 4.72"



FLO - CORE+ CHARGING STATION

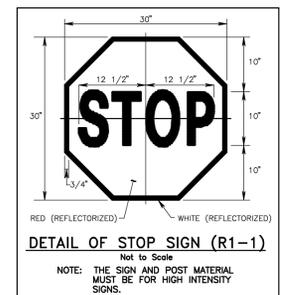
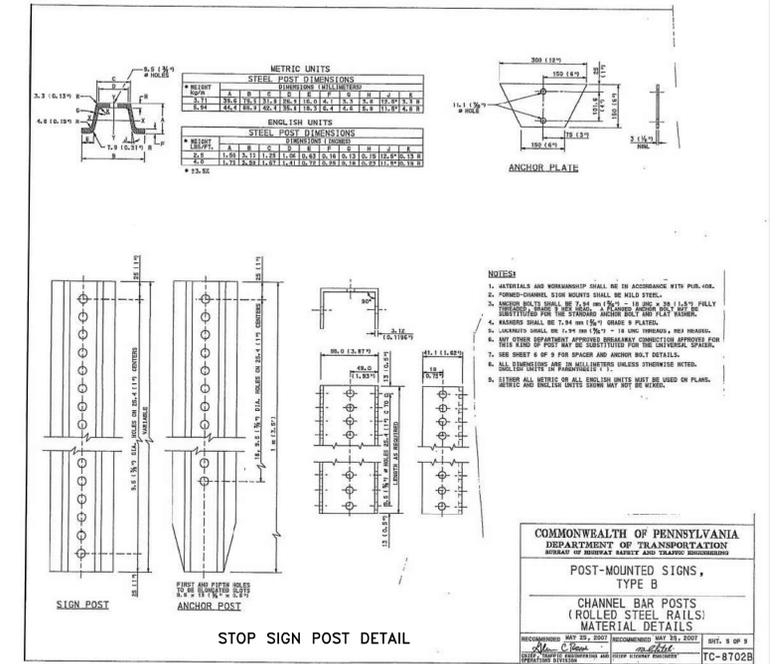
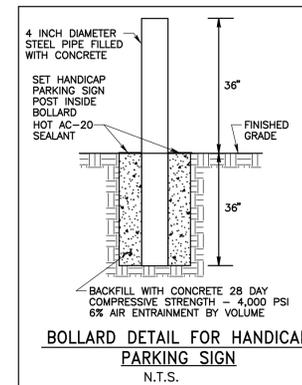
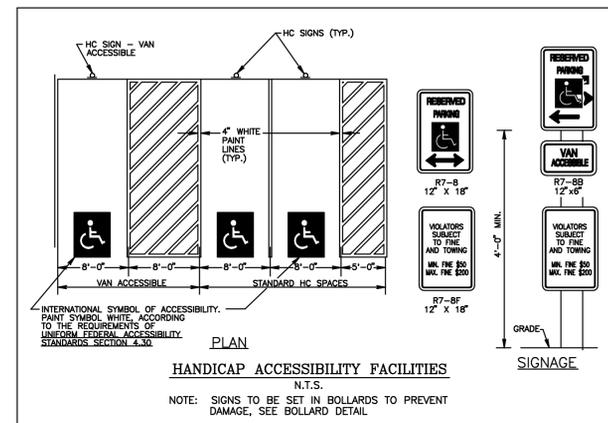
Technical specifications

	Standard option	PowerSharing™ option
Aluminum casing	Type 4X enclosure	
Charging connector	SAE J1772	
Cable	21' (optional 25') / 6.4 m (optional 7.62 m)	
Input Power	Standard: 30 A @ 208 VAC or 240 VAC for each charging station	PowerSharing: 32 A @ 208 VAC or 240 VAC per set of 4 charging stations
Charging power	1.2 kW to 7.2 kW (maximum configurable by software)	
Output current	6 A to 33 A (maximum configurable by software)	
Integrated GFCI	20 mA, auto reset (3 attempts at 15-minute intervals)	
Frequency	60 Hz	
Operating and storage temperature	-40 °F to 122 °F / -40°C to +50°C	
Weight	Charging station: 21 lbs / 9.53 kg; Pedestal: 32 lbs / 14.5 kg Cable management system: 15 lbs / 6.8 kg	
Humidity	Up to 95% (non-condensing)	
Card reader	ISO 14443 A/B, ISO 15693, NFC	
Communication interface	ZigBee - IEEE 802.15.4 meshed network	
Networking	Cellular - LTE (gateway is installed separately for optimal performances)	
Certifications	CSA-C22.2 No. 280 / UL 2594, CSA C22.2 No 281.1 and 281.2 / UL 2231-1 and 2231-2	
EMC compliance	USA - FCC 47 CFR 15 class A CAN - ICES-3 (A)	
Metering Accuracy	Certified according to California Type Evaluation Program (CTEP)	
Model Number (21' Cable)	COCH602EA1-FL-P07	COP5602EA1-FL-P07
Model Number (25' Cable)	COCH102AA1-FL-P07	COP5102AA1-FL-P07

Learn more
info@flo.com
1.855.543.8356 flo.com

Designed and manufactured by AddEnergie

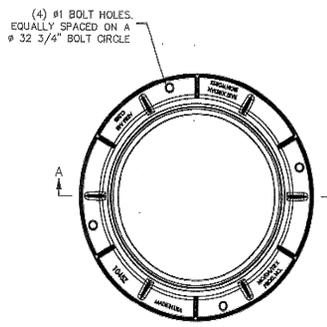
ELECTRIC CAR CHARGING STATION DETAIL



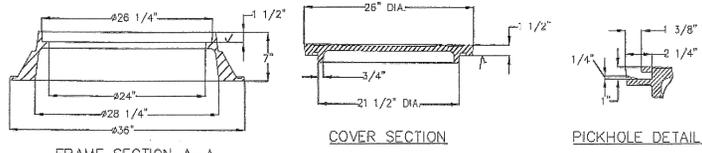
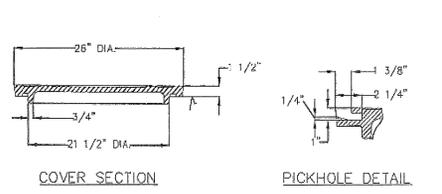
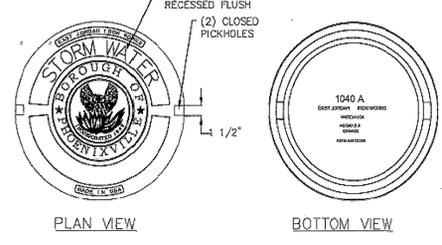
PRELIMINARY/FINAL POST CONSTRUCTION STORMWATER MANAGEMENT SYSTEM AND GENERAL DETAIL SHEET

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
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LAND DEVELOPMENT PLAN FOR PHOENIXVILLE SHOPPING CENTER	
BOROUGH OF PHOENIXVILLE	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	Project- 4926 Date- 2-2-23 Scale- N/A Drawn- SLM Checked- AJB Sheet- 10 OF 12
Whitelands Business Park 855 Springdale Drive, Suite 202 Exton, Pennsylvania 19341 Phone: 610-903-0060 Fax: 610-903-0080	
Plotted: 11/22/2023 File: F:\JIB\4926\FPS\4926-B.prc	

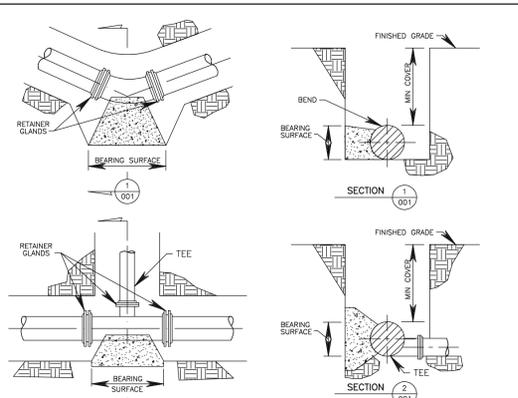


- NOTES:**
- STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - STANDARD MANHOLE FRAME & COVER SHALL BE BRIDGESTATE PATTERN #1012B, OR APPROVED EQUAL, WITH FOUR (4) MCGUIARD BOLTS
 - "FLOW-SEAL" MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, & OUTSIDE OF THE CENTERLINE OF PAVED ROADS.
 - ALL MANHOLE FRAME & COVERS SHALL BE MADE IN THE U.S.A.



STORM MANHOLE FRAME AND COVER DETAIL

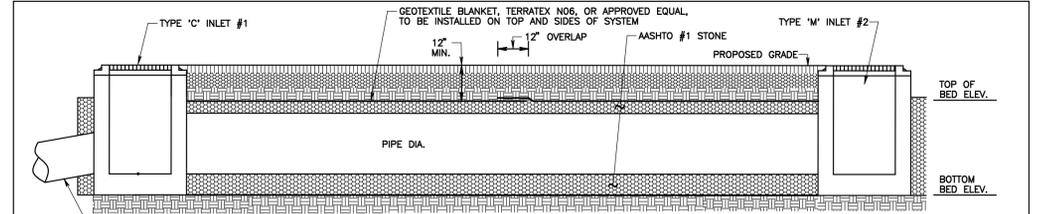
G15
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



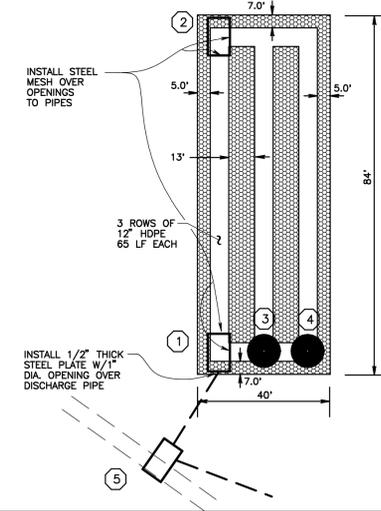
**HORIZONTAL THRUST BLOCKING
150 PSI WORKING PRESSURE**

PIPE SIZES	6" AND 8"				10" AND 12"			
	DEGREE BEND OR DEFLECTION		DEGREE BEND OR DEFLECTION		DEGREE BEND OR DEFLECTION		DEGREE BEND OR DEFLECTION	
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS	11 1/4"	22 1/2"	45"	90"	11 1/4"	22 1/2"	45"	90"
SAND 1 TON/SQ.FT.	1.50	3.00	6.00	12.00	3.00	6.00	12.00	24.00
SOFT CLAY 1 TON/SQ.FT.	1.00	1.50	3.00	6.00	1.50	3.00	6.00	12.00
SAND & GRAVEL 2 TON/SQ.FT.	1.00	1.00	2.00	4.00	1.00	2.00	4.00	8.00
CLAY 3 TON/SQ.FT.	1.00	1.00	2.00	4.00	1.00	2.00	4.00	8.00
SOFT ROCK 5 TON/SQ.FT.	1.00	1.00	1.00	2.50	1.00	1.00	2.50	5.00
ROCK 20 TON/SQ.FT.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00

WATER SERVICE THRUST BLOCK DETAIL
N.T.S.



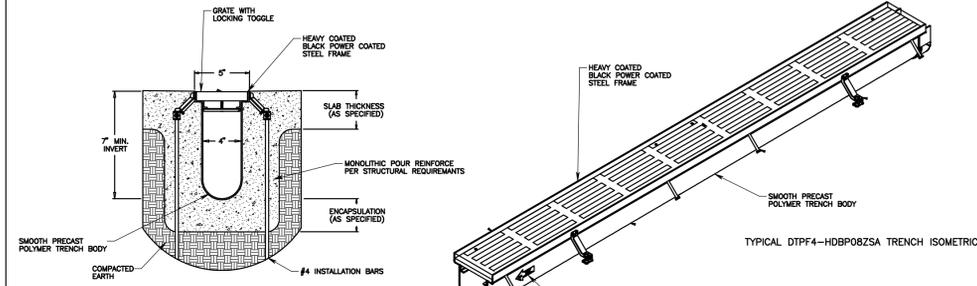
SUBSURFACE STORMWATER MANAGEMENT BED CROSS-SECTION
NOT TO SCALE



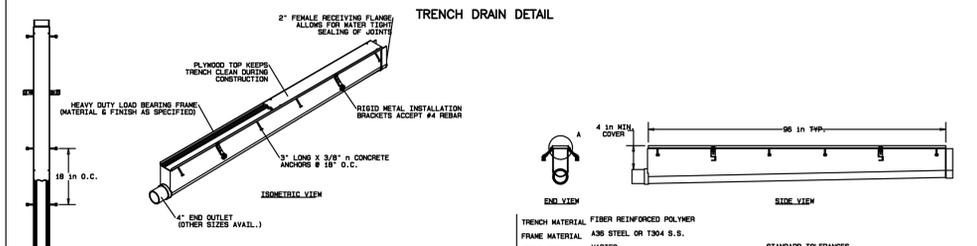
STORAGE BED						
LENGTH	WIDTH	HEIGHT "H"	# OF ROWS	PIPE (DIA.)	BOT. BED ELEV.	TOP BED ELEV.
80'	40'	2.0'	3	12"	171.0	173.0

OUTLET STRUCTURE						
STRUCTURE	OUTLET STRUCTURE RIM ELEV.	OUTFLOW PIPE DIA.	INV. OUT	OUTFLOW PIPE SLOPE FT/FT	OUTFLOW PIPE LENGTH	INV. DOWN
1	174.15	15"	171.25	0.1303	30'	167.34

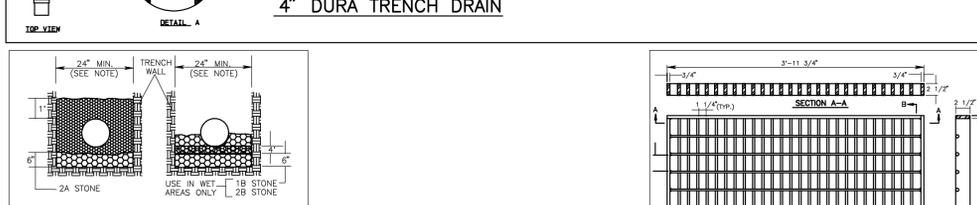
STRUCTURES				
STRUCTURE #/TYPE	T.G./RIM	INV. (DISTRIBUTION PIPE)	INV. OUT	BOTTOM
1 TYPE 'C' INLET	174.15	171.50	171.25	169.00
2 TYPE 'C' INLET	174.15	171.50		169.00
3 TYPE 'M' STORM MANHOLE	174.58	171.50		171.00
4 TYPE 'M' STORM MANHOLE	174.84	171.50		171.00
5 TYPE 'M' INLET	174.20		167.14 (IN EXIST. 30')	167.09
			167.34 (IN 15')	
			169.00 (IN 15')	
			167.09 (OUT 30')	



TYPICAL DTPF4-HDBP08ZSA TRENCH SECTION



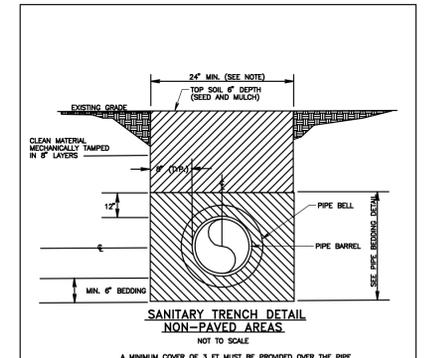
TRENCH DRAIN DETAIL



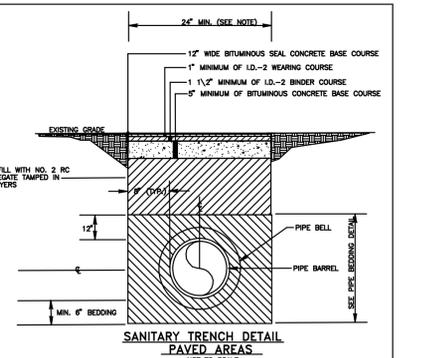
4" TRENCH WITH END OUTLET
4" DURA TRENCH DRAIN



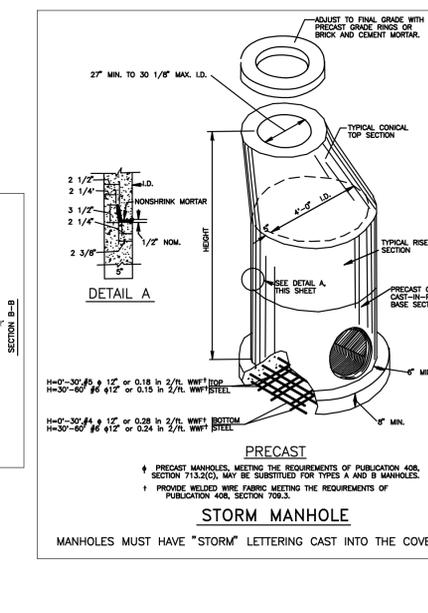
SANITARY SEWER BEDDING
BUILDING SEWER CONNECTION



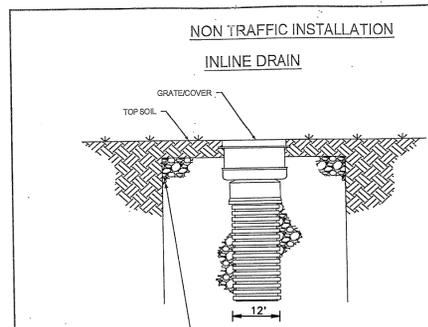
**SANITARY TRENCH DETAIL
NON-PAVED AREAS**
NOT TO SCALE



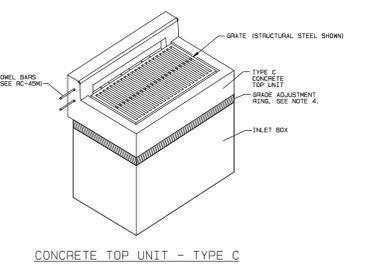
**SANITARY TRENCH DETAIL
PAVED AREAS**
NOT TO SCALE



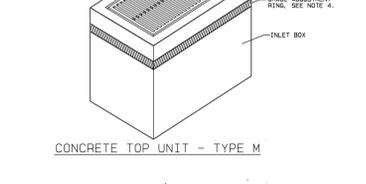
PRECAST STORM MANHOLE
MANHOLES MUST HAVE "STORM" LETTERING CAST INTO THE COVER



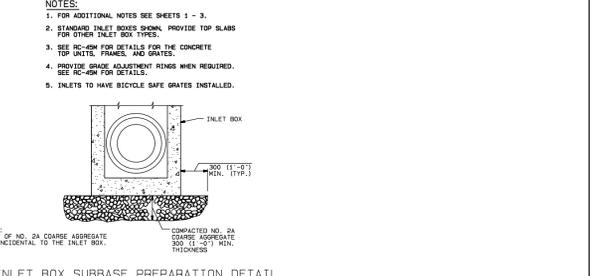
**NON TRAFFIC INSTALLATION
INLINE DRAIN**



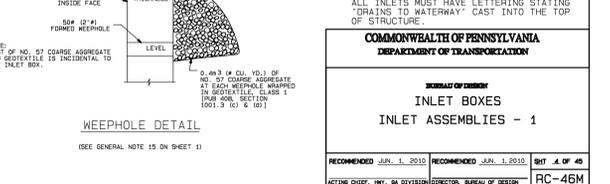
CONCRETE TOP UNIT - TYPE C



CONCRETE TOP UNIT - TYPE M



INLET BOX SUBBASE PREPARATION DETAIL



WEEPHOLE DETAIL

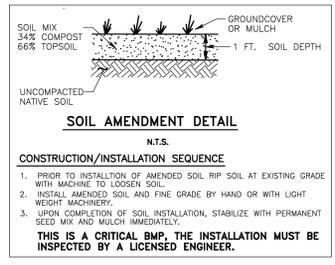
NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

ALL INLETS MUST HAVE LETTERING STATING "DRAINS TO WATERWAY" CAST INTO THE TOP OF STRUCTURE.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

INLET BOXES
INLET ASSEMBLIES - 1

RECOMMENDED JUN. 1, 2010
ACTING CHIEF, HWY. & DIVISION DIRECTOR, BUREAU OF DESIGN



SOIL AMENDMENT DETAIL

- CONSTRUCTION/INSTALLATION SEQUENCE**
- PRIOR TO INSTALLATION OF AMENDED SOIL RIP SOIL AT EXISTING GRADE WITH MACHINE TO LOOSEN SOIL.
 - INSTALL AMENDED SOIL AND FINE GRADE BY HAND OR WITH LIGHT WEIGHT MACHINERY.
 - UPON COMPLETION OF SOIL INSTALLATION, STABILIZE WITH PERMANENT SEED MIX AND MULCH IMMEDIATELY.
- THIS IS A CRITICAL BMP. THE INSTALLATION MUST BE INSPECTED BY A LICENSED ENGINEER.**

**PRELIMINARY/FINAL
POST CONSTRUCTION STORMWATER
MANAGEMENT SYSTEM AND GENERAL
DETAIL SHEET**

- 3 11-20-23 REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
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LAND DEVELOPMENT PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080

Project- 4926
Date- 2-2-23
Scale- N/A
Drawn- ALM
Checked- SJB
Sheet- 11 OF 12

Plotted: 11/22/2023 File: F:\JIB\4926\FPS\4926-B.pr

SEED MIX SPECIFICATIONS

Grass Seed: All seed shall be fresh, and new crop seed shall be used in accordance with the U.S. Department of Agriculture Rules and Regulations under the Federal Seed Act in effect on the date of invitation for bids. Seed shall be furnished in sealed containers, bearing the warranty of the supplier and certifying as to the kind, purity, and germination of the seed. The seed shall be certified by the supplier and shall be of the quality indicated by the percentages of purity and germination indicated on the label. The applicable plan seed mix shall be as specified. Seed, at the applicable plan, shall be minimum for slopes 3:1; if greater, use 5 lbs. per 1000 sq. feet.

TEMPORARY SEEDING DATES: ANYTIME

Temporary Seeding: Shall be annual ryegrass at 40 lbs. per acre. Purity - Minimum 20%. Site preparation - apply 1 ton of agricultural grade limestone per acre plus 50-50 fertilizer applied at a rate of 25 lbs/1000 sq. ft. and work in where possible. After seeding, mulch with hay or straw at a rate of 3 tons per acre.

Hydroseeding: Shall be lime, fertilizer, grass seeds, legume seeds and incipient mixed with water and applied as slurry, at a rate of 1000 gallons per acre. Fertilizer: mix at a rate of 50-100-100 per acre. Incipient: use 5 times rate recommended on the package when seeding with a hydroseeder.

PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1

NAME	GRASS SEED	PARTS BY WEIGHT	PURITY	GERMINATION
Kentucky Blue Grass		35%	95%	85%
Varieties				
Pennistar or Pennfine		35%	95%	90%
Perennial Ryegrass		15%	95%	85%
Pennistar Fescue		15%	95%	85%
Annual Ryegrass		15%	95%	85%

Mulch: Shall be hay which is free of weeds and seeds, not moldy or rotten, and shall be applied at all disturbed areas at a rate of 3 tons per acre.

Kentucky Bluegrass Sod (if called for): Sod shall be grown under supervision of the Bureau of Plant Industry Pennsylvania Department of Agriculture or shall be composed of only Blue Top Certified Seed.

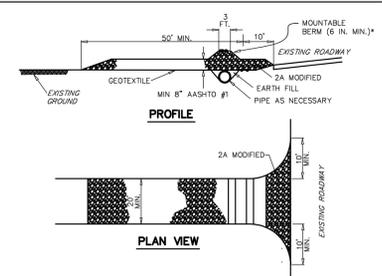
PERMANENT SEEDING: For permanent seeding, soil supplements shall be applied to areas to be seeded as follows: 10-20-20 fertilizer shall be applied to 25 LBS/1000 Sq. Ft. pulverized dolomite limestone at 90 LBS/1000 Sq. Ft.

SEEDING AND MULCH NOTES

- Any undisturbed area on which activity has ceased must be seeded and mulched immediately. During non-germinating periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be redistributed within 1 year may be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will not be redistributed within 1 year must be seeded and mulched with a permanent seed mixture and mulch.
- Diversions, channels, sedimentation basins, sediment trap must be stabilized immediately with erosion control blanket. Stockpiles must be seeded and mulched immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
- Graded areas are to be temporarily seeded and mulched immediately following earth moving procedures. Seed shall be annual ryegrass applied at the rate of 5 lbs. per 1000 sq. ft.
- Establish permanent seeding as soon as possible after final grading is complete. Permanent seeding shall be 15% Pennistar Red Fescue, 35% Pennistar Perennial Ryegrass, 35% Kentucky Bluegrass and 15% annual Ryegrass applied at the rate of 4 lbs. per 1000 sq. ft.
- Soils testing should be performed with recommendations provided for appropriate seed mixes and rates based on the soils at the site.

TOPSOIL PLACEMENT NOTES

Areas which are to top-soiled shall be scarified to a minimum depth of 3 to 5 inches (6 to 12 inches on compacted soils) prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching, i.e. yards.



NOTES:

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CURBTYPE PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

INSTALLATION SEQUENCE:

- PREPARE SURFACE BY REMOVING ANY DEBRIS AND TOPSOIL.
- EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- UPON REMOVAL OF CONSTRUCTION ENTRANCE REMOVE STONE AS NEEDED AND STABILIZE ACCORDINGLY DEPENDENT ON THE PERMANENT USE OF THE AREA.

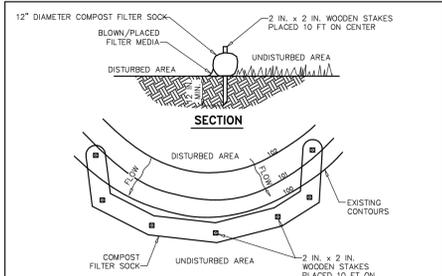
MAINTENANCE NOTES:

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE MUST BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH BACK, WASHING THE ROADWAY OR SHEETING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, COLLECTORS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

INSPECTIONS:

INSPECTIONS MUST BE PERFORMED AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**
NOT TO SCALE



NOTES:

- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. MANUAL.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRAPHEABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

INSTALLATION SEQUENCE:

- PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

MAINTENANCE NOTES:

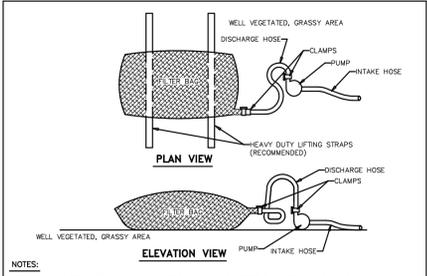
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

DAMAGED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

INSPECTIONS:

INSPECTIONS MUST BE PERFORMED AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**
NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "T" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 120 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4884	200 LB
PUNCTURE	ASTM D-4883	110 LB
MULLER BURST	ASTM D-736	350 PSI
UV RESISTANCE	ASTM D-4355	70%
LOSS % RETAINED	ASTM D-4751	80 SIEVE

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRADED) AREA AND DISCHARGE INTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 3% FOR SLOPES EXCEEDING 3% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-HOLLING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HD OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

INSTALLATION SEQUENCE:

- PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT AND WELL VEGETATED SURFACE IS PROVIDED.
- UPON COMPLETION OF USE, THE FILTER BAG MUST BE REMOVED. ACCUMULATED SEDIMENT MUST BE PROPERLY PLACED IN PROTECTED AREA ON SITE AND STABILIZED WITH TEMPORARY SEED MIX AND MULCH.

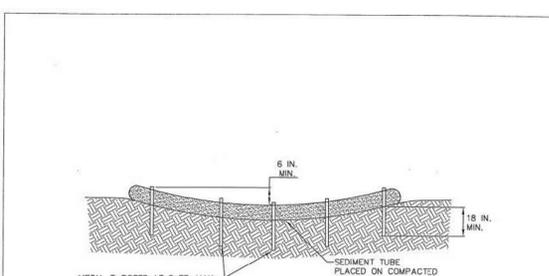
MAINTENANCE NOTES:

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

INSPECTIONS:

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG**
NOT TO SCALE



NOTES:

METAL T-POSTS AT 2 FT. MAX. SPACING ON DOWNGRADIENT SIDE OF TUBE. ANGLE POSTS TOWARD DIRECTION OF FLOW.

SEDIMENT TUBE PLACED ON COMPACTED GROUND SURFACE.

INSTALLATION SEQUENCE:

- PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT AND WELL VEGETATED SURFACE IS PROVIDED.
- UPON COMPLETION OF USE, THE FILTER BAG MUST BE REMOVED. ACCUMULATED SEDIMENT MUST BE PROPERLY PLACED IN PROTECTED AREA ON SITE AND STABILIZED WITH TEMPORARY SEED MIX AND MULCH.

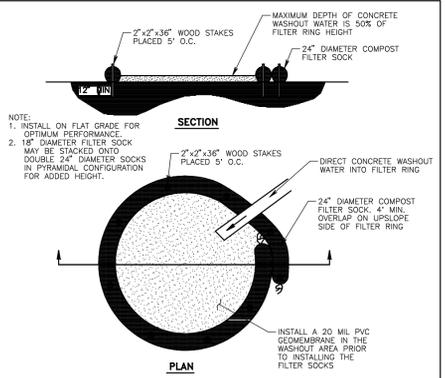
MAINTENANCE NOTES:

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

INSPECTIONS:

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #4-4
WEIGHTED SEDIMENT FILTER TUBE INSTALLATION
CONCENTRATED FLOW AREA**
NOT TO SCALE



NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18" DIAMETER FILTER SOCK MAY BE STACKED OVER DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

INSTALLATION SEQUENCE:

- PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
- INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
- UPON REMOVAL OF THE WASHOUT AREA, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
- ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEP FACILITY.

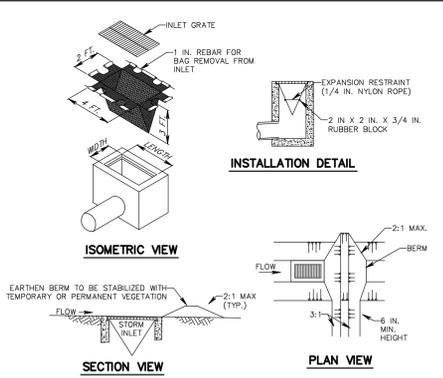
MAINTENANCE NOTES:

WASHOUT AREA SHALL BE INSPECTED WEEKLY. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

INSPECTIONS:

INSPECTIONS MUST BE PERFORMED ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

CONCRETE WASHOUT AREA DETAIL
N.T.S.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

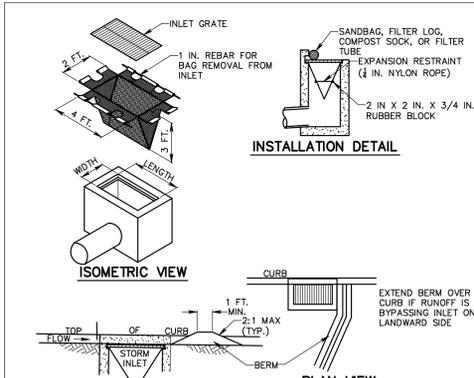
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET**
NOT TO SCALE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET**
NOT TO SCALE

**PRELIMINARY/FINAL
EROSION & SEDIMENTATION
CONTROL DETAIL SHEET**

3	11-20-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 10-6-23
2	9-11-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTER DATED 8-8-23
1	6-30-23	REVISED PER BOROUGH CONSULTANT REVIEW LETTERS DATED 5-3-23 & 5-4-23

LAND DEVELOPMENT PLAN
FOR
PHOENIXVILLE SHOPPING CENTER

BOROUGH OF PHOENIXVILLE CHESTER COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Whiteland Business Park
855 Springdale Drive, Suite 202
Exton, Pennsylvania 19341
Phone: 610-903-0050
Fax: 610-903-0080

Project- 4926
Date- 2-2-23
Scale- N/A
Drawn- ALM
Checked- SJM
Sheet- 12 OF 12

EBW