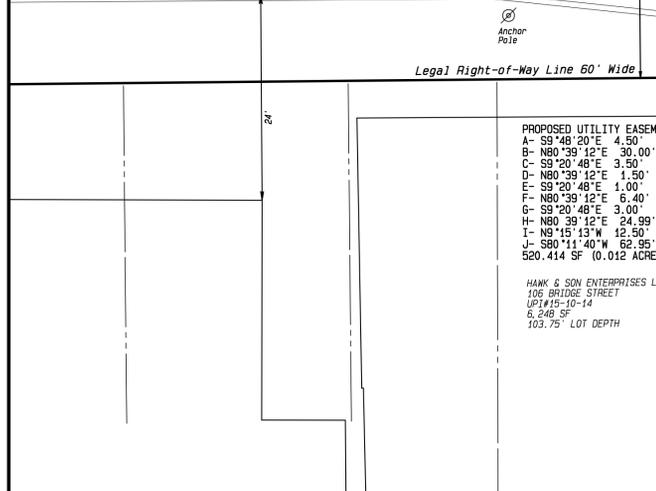




COMCAST CABLE CHESTER COUNTY (J2) 001- CLEAR, NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION.
 PECO AN EXELON COMPANY (K1) 001- CLEAR, NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION.
 PHOENIXVILLE BOROUGH WATER (EJ) 003- FIELD MARKED.
 PHOENIXVILLE BOROUGH WATER (EJ) 003- FIELD MARKED.
 VERIZON PENNSYLVANIA LLC (Y1) 003- FIELD MARKED.



NOTE: ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 AS AMENDED BY ACTS 38 AND 187 SERIAL # 20223271652



EXISTING/PROPOSED IMPERVIOUS AREAS
 LOT AREA: 10,810.490 SF NET TO P/W

EXISTING:
 Buildings: 7,967 SF
 Macadam Courtyard: 1,747 SF
 Patio/Steps: 180 SF
 Walks: 150 SF
 Halls: 10 SF
 Total Existing: 10,044 SF (92.9%) (Non Conforming)

TO BE REMOVED:
 1,410 SF (MACADAM PAVING/LANDSCAPE WALL)

PROPOSED BUILDINGS:
 1,302 SF
 PROPOSED STEPS/PATIO: 108 SF

TOTAL EXISTING/PROPOSED: 10,044 SF (92.9%)
 TOTAL ALLOWED IMPERVIOUS: 90%

STORMWATER MANAGEMENT
 92.9% EXT G IMPV, X 20% REDUCTION IMPV AS MEADOW= 74.33%
 74.33% IMPERVIOUS + 18.58% REDUCTION + 7.09% REMAINING PERVIOUS AREA=100%

PRE SITE RUNOFF TOTAL AREA= 10,810 SF
 MEADOW: 2,009 SF REDUCTION AREA +766 SF EXISTING AREA+ 2,775 SF TOTAL (58 CN)
 IMPERVIOUS: 8,801 SF (89 CN)

RUN OFF VOLUMES IN CF	2 YEAR	100 YEAR
VOLUME POST	2,390 CF	6,081 CF
VOLUME PRE	1,803 CF	5,336 CF
VOLUME REQUIRED WITH NO DISCHARGE	587 CF	745 CF (5,573 GALLONS)
VOLUME PROVIDED WITH NO DISCHARGE	802 CF	802 CF (6,000 GALLONS)
AND INCREASED RUNOFF OF VOLUME CF AT ANY YEAR PRE TO POST SITE		
(2,400 SF OF IMPERVIOUS TO CISTERNS)		

ZONING REQUIREMENTS
 TC-TOWN CENTER -DETACHED INFILL

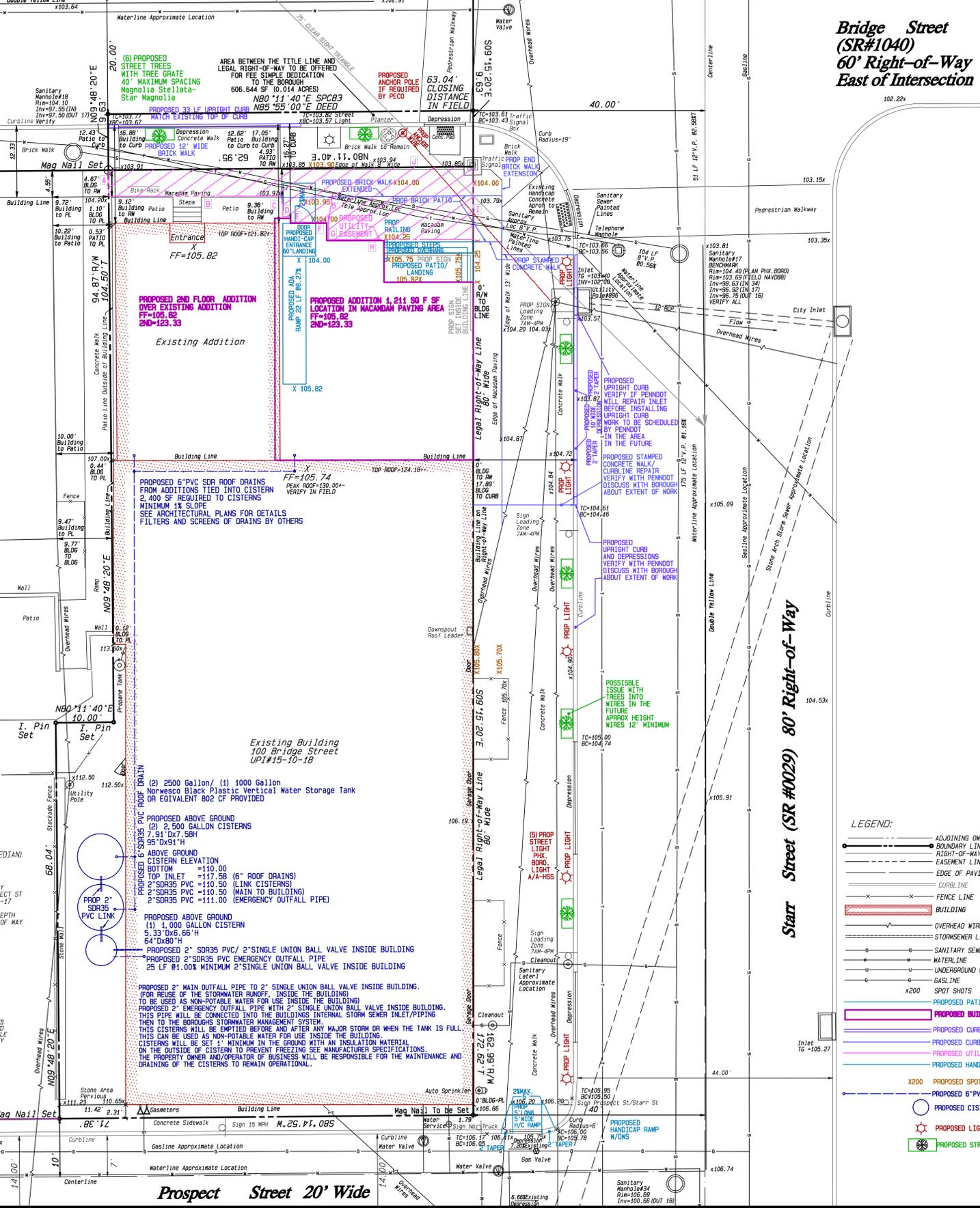
	REQUIRED	PROPOSED	EXISTING
MIN. LOT AREA:	3,000 SF	10,810.496 NET	11,417.13 (6,248 SF AND 1,614 SF ADJOINING OWNERS)
MIN. LOT WIDTH:	30'	62.95'	62.95'
BUILD TO ON BLOCK:	12'-24'	16.27'	16.88' (BRIDGE ST. CURBLINE)
BUILD TO ON BLOCK:	17.89'	17.89'	17.89' (STARR ST. CURBLINE)
MIN. REAR YARD:	10'	11.79'	11.79'
MIN. SIDE YARD:	5'	10.44'	10.44'
MIN. BLDG SEPARATION:	10'	10.00'	10.00'
MAX. BUILDING HEIGHT:	35'/45'	24.25'	24.25'
LOT DEPTH MEDIAN TO P/W:	162.98'	172.63'	(103.75' AND 59' ADJOINING OWNERS/ 162.63' MEDIAN)
MAX. IMPERVIOUS COVERAGE:	90%	92.90%	92.90%
*EXISTING NON-CONFORMING			

PLAN SHEET INDEX:
 SHEET 1 LAYOUT/POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 SHEET 2 EXISTING CONDITIONS PLAN/DEMOLITION/EROSION AND SEDIMENT CONTROL PLAN
 SHEET 3 DETAILS
 SHEET 4 DETAILS/NOTES
 STORMWATER MANAGEMENT/EROSION AND SEDIMENT CONTROL NARRATIVE AND RUN-OFF CALCULATIONS
 DATED 10-1-22 LAST REVISED 2-14-23.

- NOTES:
 1. BOUNDARY DESCRIPTION FROM EXISTING DEEDS AND RECORDS. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
 2. BOUNDARY SURVEY, TOPOGRAPHY, AND LOCATIONS FROM A FIELD SURVEY BY HOPKINS AND SCOTT INC., PROFESSIONAL SURVEYORS AUGUST 2022.
 3. VERTICAL DATUM IS NAVD 88 AND ESTABLISHED BY GPS OBSERVATIONS REFERENCED TO STATE PLANE COORDINATES.
 4. THIS SITE HAS PUBLIC SURFACE WATER.
 5. THERE ARE NO WETLANDS PRESENT ON THIS SITE AS PER U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY.
 6. STREAM CLASSIFICATION FRENCH CREEK (IMP. MIGRATORY FISHES AND TOP. PROD. STOCKING)
 7. THE PROPERTY IS NOT IN THE FLOOD ZONE AS PER FEMA MAPS/REGULATIONS. EFFECTIVE 08/09/2017
 8. SOILS FOR THE SITE ARE UPB Urban Inland-Pann Complex, 0 to 8 percent slopes Hydrologic Soil Group: B
 9. THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN WERE LOCATED IN THE FIELD BY VISIBLE MARKINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES ON THE SURFACE, UNDERGROUND AND ABOVE GROUND SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. SOME UTILITIES ARE SHOWN AS APPROXIMATE LOCATION) AND/OR (UNKNOWN DIRECTION) CONTRACTOR TO VERIFY ALL UTILITIES BEFORE ANY CONSTRUCTION OR DESIGN STARTS.
 10. THE BOROUGH IS GRANTED A BLANKET EASEMENT TO ENTER THE SITE TO INSPECT THE STORMWATER BMP (OUTSIDE CISTERN ONLY)
 11. THE PROPERTY OWNER SHALL SIGN AND RECORD AN OPERATIONS AND MAINTENANCE AGREEMENT WITH THE BOROUGH.
 12. THE PROPERTY OWNER/APPLICANT WILL PROVIDE FINAL AS-BUILT PLANS OF THE BMP AND STORMWATER CONVEYANCE AND FACILITIES.
 13. ROAD CLASSIFICATION FOR STARR STREET (SR#0029) IS MINOR ARTERIAL SECTEM 2100



Bridge Street (Local Road) 60' Right-of-Way West of Intersection



LIST OF UTILITIES
 Water & Sewer: Borough of Phoenixville, Water Street, Phoenixville, Pa. 19460, 610-935-8601, Contact: Brian Watson
 Gas & Electric: Peco Energy, 450 Henderson Road, King of Prussia, Pa. 19406, Contact: Nikkia Simpkins, email: nikki@simpkinsmusicllc.com
 Cable T.V.: Comcast, 100 Shoemaker Road, Pottstown, Pa. 19464, Dave Zeller, 215-283-8883
 Telephone: Verizon Pennsylvania LLC, 1050 Virginia Drive, Fort Washington, Pa. 19034, Contact: Darlene Leppard Johnson, 215-591-6293

AFFIDAVIT OF OWNERSHIP
 Commonwealth of Pennsylvania
 SS: County of Chester
 Before me, the undersigned notary public, this day personally appeared Jared Adkins, to me known (or satisfactory proven), who being duly sworn according to law, deposes and says: He is an officer of BRICK & COPPER HOLDINGS, LLC, which is the record owner of all the property ("Property") to which this plan applies and of all rights which are necessary to implement this plan. The source of title to the Property is the deeds recorded, with the Office of the Recorder of Deeds in and for Chester County, Pennsylvania, in DEED BOOK 9372 PAGE 2237.

OWNER
 By: _____
 Sworn and subscribed to before me
 this ____ day of _____
 Notary Public

I hereby certify that the Borough of Phoenixville Planning Commission reviewed this plan and issued its comments to Borough Council prior to Council's adoption of Resolution No. _____ which approves this plan as a final plan pursuant to the Borough's Subdivision and Land Development Ordinance.

William Davidson
 Planning Commission Chairperson

We hereby certify that the Borough Council of the Borough of Phoenixville, Chester County, Pennsylvania, by its Resolution No. _____ adopted and approved this plan as a final subdivision and/or land development plan, pursuant to the Borough's then current Subdivision and Land Development Ordinance and the Pennsylvania Municipalities Planning Code and that the Borough on _____ and hereby authorizes this plan for recording.

E. Jean Krack, Borough Manager; Jonathan M. Ewald, Council President; Owen M. Hyne, a Pennsylvania Professional Engineer, have reviewed this plan for the Borough, and have determined that it has been amended as required by Borough Resolution No. _____ and that, based on the information provided by the Applicant and with any waivers specifically identified and shown hereon, the plan complies with the Borough Subdivision and Land Development Ordinance.

Owen M. Hyne, P.E. (SEAL)
 Date: _____

ATTEST:
 I, _____ (City, Borough, Township)
 County of Chester, Pennsylvania
 a Notary Public in and for the County and State aforesaid, whose commission expires on the ____ day of _____, 20____, do hereby certify that _____ whose name(s) is/are signed to the foregoing Agreement bearing date of the ____ day of _____, 20____, has acknowledged the same before me in my said County and State.
 GIVEN UNDER MY HAND THIS ____ day of _____, 20____
 NOTARY PUBLIC (SEAL)

Any revision to the approved SWM site plan shall be submitted to and approved by the municipality and the revised erosion and sediment control plan shall be submitted to and approved by the Conservation District or municipality (as applicable) for a determination of adequacy prior to construction of the revised features.

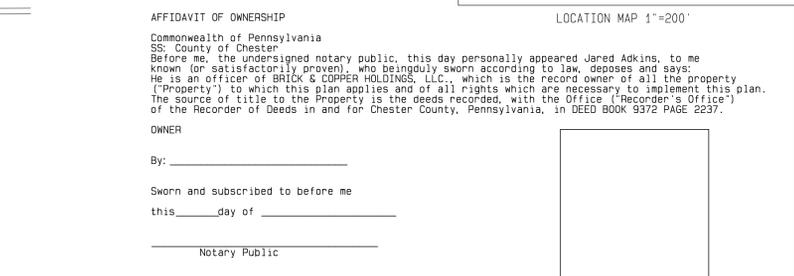
OWNER: _____ DATE: _____

I, JERRY MILLER HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 23 STORMWATER MANAGEMENT ORDINANCE NO. 2239 OF 9/9/2014, OF THE PHOENIXVILLE BOROUGH STORMWATER MANAGEMENT ORDINANCE.

Jerry L. Miller, Professional Land Surveyor SU-032024-E, DATE 10-1-22

I, Jerry L. Miller, a Pennsylvania Professional Land Surveyor, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land development regulations and that the error of closure is not greater than 1:10,000.

Jerry L. Miller, Professional Land Surveyor SU032024-E, P.L.S.



LEGEND:
 ADJOINING OWNERS PROPERTY LINE
 BOUNDARY LINE
 RIGHT-OF-WAY LINE
 EASEMENT LINE
 EDGE OF PAVING
 CURBLINE
 FENCE LINE
 BUILDING
 OVERHEAD WIRES
 STORMSEWER LINE
 SANITARY SEWERLINE
 WATERLINE
 UNDERGROUND UTILITIES
 GASLINE
 X200 SPOT SHOTS
 PROPOSED PATIO/STEPS
 PROPOSED BUILDING
 PROPOSED CURBLINE
 PROPOSED CURBLINE
 PROPOSED UTILITY EASEMENT
 PROPOSED HANDICAP RAMP
 X200 PROPOSED SPOT ELEVATION
 PROPOSED 6" PVC ROOF DRAIN
 PROPOSED CISTERN
 PROPOSED LIGHT
 PROPOSED STREET TREE/GRATE

WATERS REQUESTED FROM SUBDIVISION AND LAND DEVELOPMENT CHAPTER 22
 22-600 (MARKET ANALYSIS) - a fiscal viability report for project will not be prepared. there will be no impact to the downtown commercial district, similar uses at most restaurants/bars.
 22-601 (ENVIRONMENTAL IMPACT ANALYSIS) - there are no environmental features on or within 100' of the development, no impact.
 22-602 (TRAFFIC IMPACT STUDY) - this does not apply to this project, only on projects buildings over 30,000 sf.
 22-603 (COMMUNITY AND FISCAL ANALYSIS) - the development will not impact the social or demographic characteristics for future residents on users, uses are in consistent with other businesses in the area.
 22-604.2 (A PARKING ANALYSIS) - there are no parking requirements for the TC-Town Center along main street, no vehicular traffic into site, not more than 300 trips per day. Off-street Parking and Parking lots within walking distance.
 23-306-C.1 (INFILTRATION REQUIREMENTS) - existing and proposed building within 25' isolation distance from infiltration practices using option 23-306-C.2 for runoff volume required as in 23-306, options may include, but are not limited to, reuse, evaporation, transpiration, and infiltration. Capture and reuse the difference of pre-post development runoff of stormwater with outside cisterns with piping into the building for non-potable water for use inside the building.

LAYOUT/ POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 SITE ADDRESS:
 100 Bridge Street
 Phoenixville, Pa. 19460
 TOTAL AREA:
 11,417.134 SF (0.262 ACRES) GROSS
 10,810.490 SF (0.248 ACRES) NET TO R/W
 UP#15-10-18
 DEED BOOK 9372 PAGE 2237

OWNER:
 BRICK & COPPER HOLDINGS, LLC.
 117 GERALD ROAD
 SCHWENSVILLE, PA. 19473
 APPLICANT: JARED ADKINS
 100 BRIDGE STREET
 PHOENIXVILLE, PA. 19460
 610-933-7827
 jareda@bluebirddistilling.com



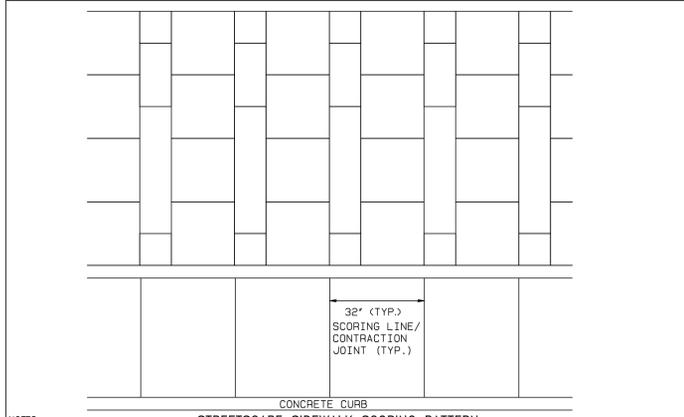
REV: 2-14-23 AS PER BOROUGH ENG LETTER DATED 11-4-22

DATE: 10-1-22
 SCALE: 1"=10'
 SHEET 1 OF 4
 DRAWN BY: AM
 N.B.#:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 OF
 100 BRIDGE STREET
 MADE FOR:
 BLUEBIRD DISTILLING
 STATE IN
 PHOENIXVILLE BOROUGH, CHESTER COUNTY, PA.

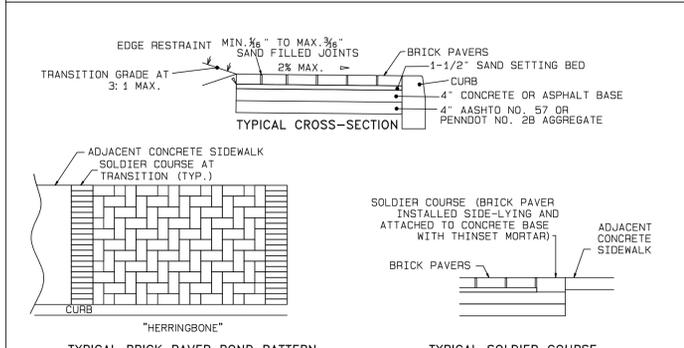
PREPARED BY:
 HOPKINS AND SCOTT INC.
 PROFESSIONAL LAND SURVEYORS
 207 FRANKLIN AVENUE
 PHOENIXVILLE, PA. 19460
 Phone: 610-933-1754 Fax: 610-933-0268

Seal of the Commonwealth of Pennsylvania Professional Land Surveyor Jerry L. Miller No. SU032024-E



STREETSCAPE SIDEWALK SCORING PATTERN
 NOTES:
 1. FOR STANDARD SIDEWALK UP TO 8 FEET IN WIDTH, TRANSVERSE SCORING SHALL BE SPACED AT INTERVALS EQUAL TO THE SIDEWALK WIDTH (E.G. FOR A 5 FOOT WIDE SIDEWALK, TRANSVERSE SCORING SHALL BE SPACED AT 5 FOOT INTERVALS).
 2. FOR STANDARD SIDEWALK GREATER THAN 8 FEET IN WIDTH, LONGITUDINAL SCORING SHALL EVENLY DIVIDE THE SIDEWALK AND TRANSVERSE SCORING SHALL BE SPACED AT INTERVALS EQUAL TO HALF OF THE SIDEWALK WIDTH.
 3. SCORING SHALL BE PERFORMED USING A HAND-TOoled TECHNIQUE. SAWCUTTING IS NOT AN ACCEPTABLE METHOD FOR PERFORMING SCORING.
 4. NO CHANGES OR ADJUSTMENTS TO THE SCORING LAYOUT AND DESIGN SHALL BE PERMITTED WITHOUT PRIOR AUTHORIZATION FROM THE BOROUGH.

G2.2 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



SIDEWALK SCORING PATTERN
 N.T.S.

TYPICAL CROSS-SECTION
 EDGE RESTRAINT MIN. 3/8" TO MAX. 3/4"
 SAND FILLED JOINTS 1-1/2" SAND SETTING BED
 BRICK PAVERS 2% MAX. SAND SETTING BED
 CURB 4" CONCRETE OR ASPHALT BASE
 4" AASHTO NO. 57 OR PENNDOT NO. 2B AGGREGATE

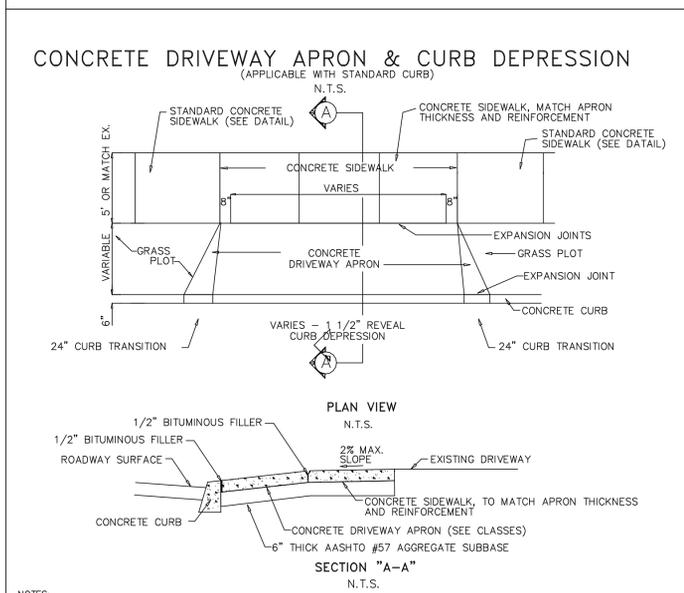
TYPICAL BRICK PAVER BOND PATTERN
 "HERRINGBONE"

TYPICAL SOLDIER COURSE
 ADJACENT CONCRETE SIDEWALK
 SOLDIER COURSE AT TRANSITION (TYP.)
 BRICK PAVERS
 ADJACENT CONCRETE SIDEWALK

NOTES:
 1. BRICK PAVERS SHALL BE CLAY MATERIAL COMPLYING WITH ASTM STANDARD C 902 FOR CLASS "SX" OR "SX (MOLDED)" PAVERS.
 2. JOINT AND SETTING BED SAND SHALL COMPLY WITH ASTM STANDARD C 33.
 3. PROVIDE ADEQUATE SURFACE DRAINAGE FROM BRICK PAVER SIDEWALK TO THE TOP OF ADJACENT CURB OR OTHER OUTLET (MIN. 0.5% SLOPE).
 4. CONCRETE BASE, WHERE USED, SHALL BE PENNDOT CLASS A (3,300 PSI). CONTRACTION JOINTS SHALL BE PROVIDED WITH A MAXIMUM SPACING OF 12 FEET O.C.
 5. ASPHALT BASE, WHERE USED, SHALL BE MMA BASE COURSE, PG64S-22, 25 MM.
 6. HEAVY PLASTIC OR METAL EDGE RESTRAINTS SECURED WITH SPIKES, SUCH AS "SNAP EDGE", SHALL BE INSTALLED ALONG BRICK PAVERS WHERE BRICK PAVER SIDEWALK ABUTS NON-RIGID FEATURES, INCLUDING LANDSCAPED AREAS.
 7. IF THE BRICK PAVER SIDEWALK ABUTS AN EXISTING BRICK PAVER SIDEWALK, THE BOND PATTERN OF THE NEW WALKWAY SHALL CONTINUE THE PATTERN FROM THE EXISTING BRICK PAVER SIDEWALK.
 8. WHERE BRICK PAVER SIDEWALK TRANSITIONS TO ANOTHER SURFACE AND/OR MATERIAL (E.G. TRANSITIONS TO CONCRETE SIDEWALK), A SOLDIER COURSE SHALL BE INSTALLED AT THE TRANSITION.
 9. WHERE BRICK PAVER SIDEWALK IS INSTALLED ADJACENT TO AN EXISTING OR PROPOSED TREE, A 3"-WIDE BY 2"-DEEP TRENCH OF STRUCTURAL SOIL SHALL BE INSTALLED UNDER THE CONCRETE BASE IN LIEU OF THE AGGREGATE BASE.
 9.1. THE STRUCTURAL SOIL SHALL EXTEND 10' IN EACH DIRECTION FROM THE BASE OF THE TREE.

BRICK SIDEWALK (NEW CONSTRUCTION)
 N.T.S.

G3 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



CONCRETE DRIVEWAY APRON & CURB DEPRESSION
 (APPLICABLE WITH STANDARD CURB)
 N.T.S.

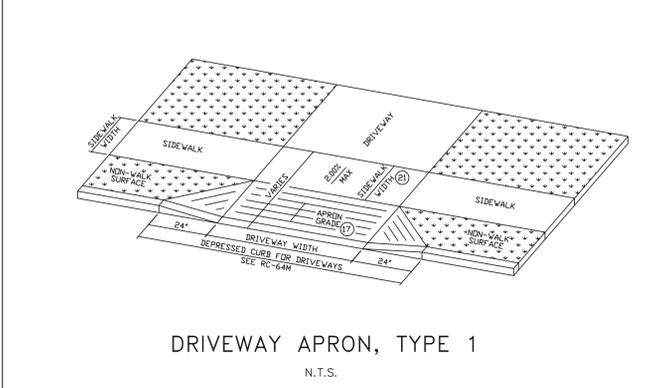
SECTION "A-A"
 N.T.S.

NOTES:
 1. ALL CONCRETE IS TO BE CLASS AA (3,750 P.S.I.).
 2. DEPRESSED CURB SHALL BE SLOPED 1/4" PER FOOT TOWARDS THE STREET.
 3. CONCRETE SHALL BE ALLOWED TO CURE FOR SEVEN (7) DAYS.
 4. USE OF "HIGH EARLY" CONCRETE MAY BE APPROVED BY THE BOROUGH INSPECTOR.
 5. MONOLITHIC POURS SHALL ONLY BE PERMITTED BY SPECIAL EXCEPTION, AND ARE SUBJECT TO APPROVAL BY THE BOROUGH.
 6. CONTRACTOR SHALL PROVIDE EROSION CONTROLS TO CONTAIN OPEN EXCAVATIONS AND PROTECT THE NEAREST DOWNSTREAM INLET.

G5 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

*DETERMINATION OF CLASS SUBJECT TO APPROVAL BY THE BOROUGH.

NOTE:
 SIDEWALKS CROSSING DRIVEWAY APRONS SHALL COMPLY WITH PENNDOT RC-67M FOR PEDESTRIAN ACCESSIBILITY.



DRIVEWAY APRON, TYPE 1
 N.T.S.

DRIVEWAY APRON, TYPE 1A
 N.T.S.

NOTES:
 (1) SIDE FLARES 10.00% MAX SLOPE
 (2) 8% MAX CHANGE IN GRADE BETWEEN ROAD SURFACE AND DRIVEWAY
 (3) MINIMUM SIDEWALK WIDTH ACROSS APRONS IS 4'-0"

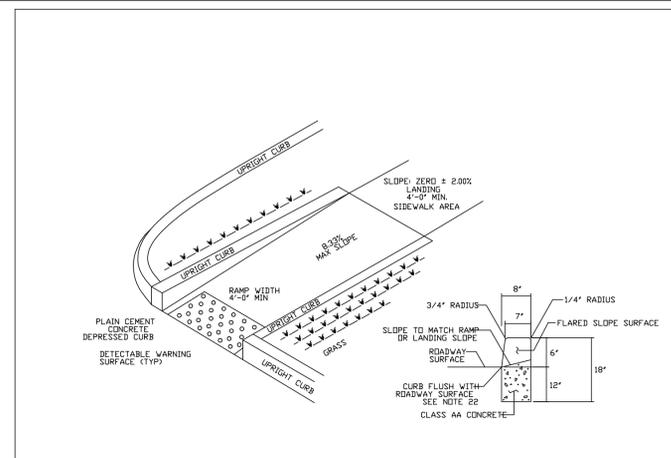
G6 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



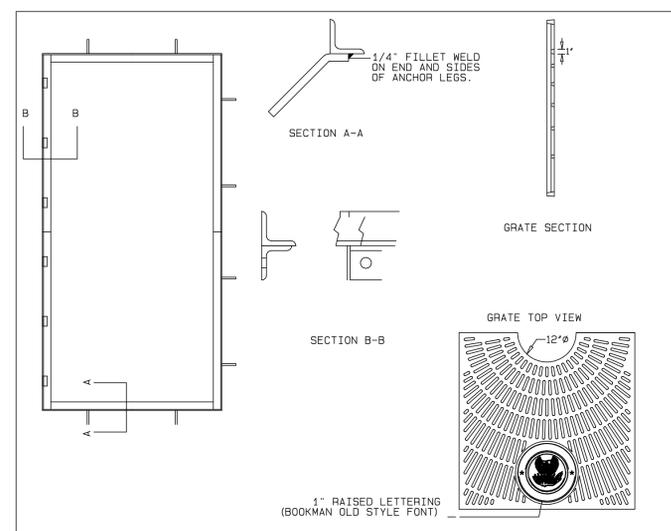
ADA CURB RAMP, TYPE 1
 N.T.S.

G7 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

NOTES:
 1. ALL CONCRETE IS TO BE CLASS AA (3,750 P.S.I.).
 2. DEPRESSED CURB SHALL BE SLOPED 1/4" PER FOOT TOWARDS THE STREET.
 3. CONCRETE SHALL BE ALLOWED TO CURE FOR SEVEN (7) DAYS.
 4. USE OF "HIGH EARLY" CONCRETE MAY BE APPROVED BY THE BOROUGH INSPECTOR.
 5. MONOLITHIC POURS SHALL ONLY BE PERMITTED BY SPECIAL EXCEPTION, AND ARE SUBJECT TO APPROVAL BY THE BOROUGH.
 6. CONTRACTOR SHALL PROVIDE EROSION CONTROLS TO CONTAIN OPEN EXCAVATIONS AND PROTECT THE NEAREST DOWNSTREAM INLET.

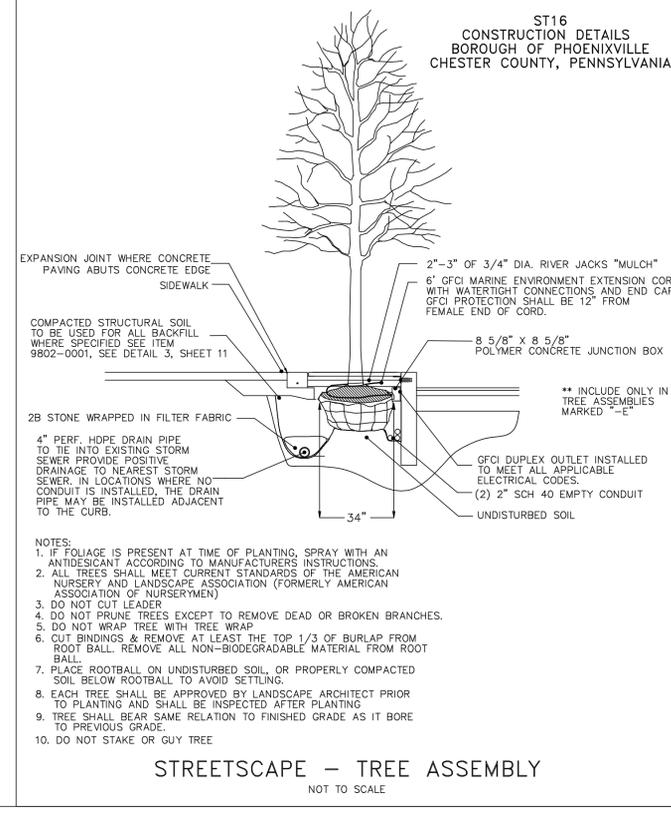


ADA CURB RAMP, TYPE 4
 N.T.S.



STREETSCAPE - TREE GRATE
 NOT TO SCALE

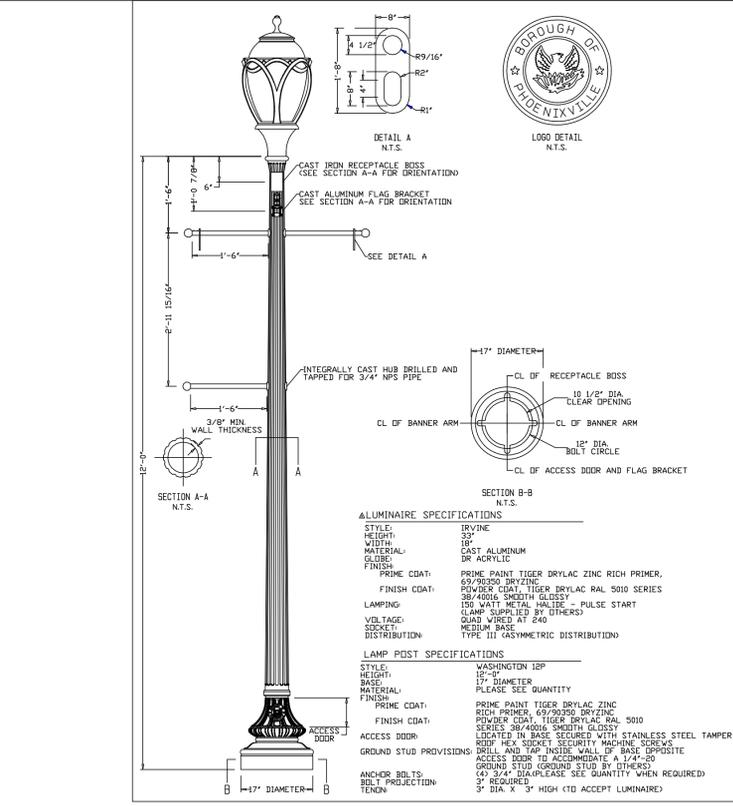
ST17 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



STREETSCAPE - TREE ASSEMBLY
 NOT TO SCALE

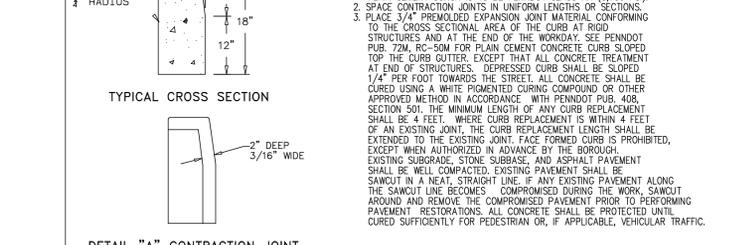
ST16 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

NOTES:
 1. IF FOLIAGE IS PRESENT AT TIME OF PLANTING, SPRAY WITH AN ANTIDESICCANT ACCORDING TO MANUFACTURERS INSTRUCTIONS.
 2. ALL TREES SHALL MEET CURRENT STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN).
 3. DO NOT CUT LEADER.
 4. DO NOT PRUNE TREES EXCEPT TO REMOVE DEAD OR BROKEN BRANCHES.
 5. DO NOT WRAP TREE WITH TREE WRAP.
 6. CUT BRINDOS & REMOVE AT LEAST THE TOP 1/3 OF BURLAP FROM ROOT BALL. REMOVE ALL NON-BIODEGRADABLE MATERIAL FROM ROOT BALL.
 7. PLACE ROOTBALL ON UNDISTURBED SOIL, OR PROPERLY COMPACTED SOIL BELOW ROOTBALL TO AVOID SETTLING.
 8. EACH TREE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING AND SHALL BE INSPECTED AFTER PLANTING.
 9. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.
 10. DO NOT STAKE OR GUY TREE.



ALUMINAIRE SPECIFICATIONS
 STYLE: IRVINE
 HEIGHT: 15'-0"
 WIDTH: 18"
 MATERIAL: CAST ALUMINUM OR ACRYLIC
 GLASS: CLEAR
 FINISH: PRIME PAINT TIGER DRYLAC ZINC RICH PRIMER, 69/9030 DRYPINE POWDER COAT, TIGER DRYLAC RAL 5010 SERIES
 FINISH COAT: PRIME PAINT TIGER DRYLAC ZINC RICH PRIMER, 69/9030 DRYPINE POWDER COAT, TIGER DRYLAC RAL 5010 SERIES 3R/40016 SMOOTH GLOSSY
 LAMPING: 150 WATT METAL HALIDE - PULSE START 38/4016 SMOOTH GLOSSY
 VOLTAGE: 120V
 DISTRIBUTION: QUAD WIRED AT 240 MEDIUM BASE TYPE III (ASYMMETRIC DISTRIBUTION)

LAMP POST SPECIFICATIONS
 STYLE: WASHINGTON 18P
 HEIGHT: 17'
 BASE: 17" DIAMETER
 MATERIAL: PLEASE SEE QUANTITY
 FINISH: PRIME PAINT TIGER DRYLAC ZINC RICH PRIMER, 69/9030 DRYPINE POWDER COAT, TIGER DRYLAC RAL 5010 SERIES 3R/40016 SMOOTH GLOSSY
 FINISH COAT: PRIME PAINT TIGER DRYLAC ZINC RICH PRIMER, 69/9030 DRYPINE POWDER COAT, TIGER DRYLAC RAL 5010 SERIES 3R/40016 SMOOTH GLOSSY
 ACCESS DOOR: 18" DIA. LOCKED SECURITY MACHETE CORKS CREEL AND AN INACCESSIBLE BASE OPPOSITE GROUND STUD PROVISIONS: 1/2" DIA. X 1/2" DIA. GROUND STUD (GROUND STUD REQUIRED) 3" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE) ANCHOR BOLTS: 3/8" DIA. X 3" HIGH (TO ACCEPT LUMINAIRE) TENS



TYPICAL CROSS SECTION
 2" RADIUS
 3" RADIUS
 2" DEEP 3/16" WIDE

DETAIL "A" CONTRACTION JOINT
 SEAL WITH PG 64S-22 HOT BITUMINOUS MATERIAL
 SAWCUT EXISTING PAVEMENT
 EXISTING PAVEMENT
 1.5" MMA SURFACE COURSE, PG 64S-22, 9.5 MM
 4.5" MMA BASE COURSE, PG 64S-22, 25 MM
 6" PENNDOT NO. 2A COARSE AGGREGATE

CONCRETE CURB AND ROADWAY RESTORATION
 N.T.S.

G1 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

DETAILS

SITE ADDRESS: 100 Bridge Street, Phoenixville, Pa. 19400
TOTAL AREA: 11,417.134 SF (0.262 ACRES) GROSS
 10,810.490 SQ FT (0.248 ACRES) NET TO R/W
 UPT#15-10-18
 DEED BOOK 9372 PAGE 2237

OWNER: BRICK & COPPER HOLDINGS, LLC.
 117 GERLUFF ROAD
 SCHWENKSVILLE, PA. 19473
APPLICANT: JARED ADKINS
 610-933-7827
 jared@bbbluebirddistilling.com

REV: 2-14-23 AS PER BOROUGH ENG LETTER DATED 11-4-22

DATE: 10-1-22
SCALE: NTS
SHEET: 3 OF 4
DRAWN BY: AM
N.B.#:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 OF
100 BRIDGE STREET
 MADE FOR:
BLUEBIRD DISTILLING
 PHOENIXVILLE, CHESTER COUNTY, PA.

PREPARED BY: H & S
 HOPKINS AND SCOTT INC.
 PROFESSIONAL LAND SURVEYORS
 207 FRANKLIN AVENUE
 PHOENIXVILLE, PA. 19460
 Phone: 610-933-1754 Fax: 610-933-0268

JERRY L. MILLER
 LAND SURVEYOR
 No. 20042
 PENNSYLVANIA

PLAN NOTES:

As used in the notes and certifications on this Plan, the following terms shall have the following meanings:

APPLICANT- The person(s) and/or entity(ies) who or which has submitted this Plan to the Borough for approval pursuant to the Borough's Subdivision and Land Development Ordinance.

APPLICATION- The Applicant's application, to the Borough, for approval of this Plan pursuant to the Borough's Subdivision and Land Development Ordinance.

Borough- The Borough of Phoenixville, Chester County, Pennsylvania.

Developer- The person(s) or entity(ies) who or which implement the land development shown on this Plan.

Property Owner- All the legal and equitable owners of the Property and their heirs, successors and assigns.

PROPERTY- The property which is subdivided and/or developed pursuant to this Plan and identified by this Plan as being owned by the Property Owner.

Plan- This Plan as approved by the Borough.

UPI- Chester County Uniform Parcel Identifier UPI#15-10-18 DEED BOOK 9372 PAGE 2237

(1) The Borough of Phoenixville's approval of this Plan, as a final subdivision and land development plan, pursuant to the Borough of Phoenixville Subdivision and Land Development Regulations of 1989, Ordinance No. 1602, as amended, was made by Borough Resolution No. _____ which was adopted on _____ This Plan shows the conditions of its approval, which are hereby adopted. The conditions bind all owners, Developers and users of the Property hereby developed and/or subdivided and their heirs, successors and assigns. The conditions may create on-going obligations, limitations and/or requirements affecting the use of the Property. The resolution is kept by the Borough Secretary at the Borough Hall and may be inspected there by the public. Copies of the Resolution are also available from the Borough for a charge.

(2) All conditions of plan approval shown on this Plan, and offers of dedication, shall run with the land forever and shall be enforceable by the Borough.

(3) The Applicant represents to the Borough that the Applicant has all the property rights necessary to make the Application and, at the time any permits for the implementation of the Plan are issued and/or work commenced, will have all the rights necessary to implement the Plan completely in compliance with all applicable regulations and without violating the property rights of others. If the Applicant does not have or loses any such property rights this approval shall be voidable by the Borough by written Resolution. If any other party takes any legal action against the Borough for any reason involving and/or alleging the Applicant's or property Owner's lack of any such property right, the Applicant and Property Owner shall hold the Borough harmless and indemnify it from any and all liability, loss, claim, cost and/or expense, including but not limited to attorney's fees resulting from such legal action.

(4) All areas shown as and/or required to be (at the time the Borough adopted Resolution No. 2022-20) open space or common area shall be used only as open undeveloped areas and shall not be further subdivided and/or alienated so as to create any rights that could infringe on this open space use limitation.

(5) At the Borough's request, the Property Owner shall execute and record, with the appropriate officials and in the appropriate and legally effective manner (collectively "Recordings") required to be recorded, by applicable regulations, the terms of final plan approval and/or notes on this Plan, and shall provide the Borough with copies, certified by the recording official, of all such Recordings, or, at the Borough's option, the Borough may record such documents and the Property Owner shall pay the Borough's costs.

(6) At the Borough's request, the Property Owner will execute, acknowledge and deliver all documents, deeds and/or instruments necessary or appropriate, in the opinion of the Borough Solicitor, to implement this Plan as approved and to record all instruments, deeds, covenants, easements and/or rights-of-way which are required by the terms of final plan approval and/or notes on this Plan to be conveyed to the Borough.

(7) The Borough may withhold building and/or occupancy permits and/or refuse to accept dedication of improvements and/or release improvement security if the land development and/or subdivision is/are not and is/are not implemented in full compliance with any other governmental unit's regulations which apply to the building, structure, occupancy, work and/or improvement for which Borough action is requested. However, the Borough does not hereby assume any duty to inspect for or approve any work or condition pursuant to any other governmental entities' regulation. It is the Property Owner's obligation to achieve compliance with any and all regulations of other governmental entities by working directly with such entity. To the extent that such approvals of other governmental entities are required, for the improvements, work and/or proposed use, the Property Owner represents that these approvals have been applied for and all are granted and in effect or will be so prior to the issuance of any Borough Building permit to construct new improvements pursuant to this Plan. By requiring compliance with the regulations of other governmental entities and/or by approving the Development / Subdivision Plan or any plan amendments, neither the Borough nor any Borough Official represents that the subject matter of the Borough's approval complies with such other entity's regulations or has been approved by or is entitled to be approved by such other entity or that the subject of the approval has been designed correctly or will function safely.

(8) The streets, street rights-of-way and street drainage rights, public water supply facilities and the easements therefor and public utility sewer systems, as shown on this Plan, are offered hereby for dedication to the Borough perpetually and irrevocably. The street drainage rights include the right to use, repair and replace any stormwater management facility which drains runoff from a dedicated road. This right does not include any duty to repair or maintain any such facility. Also offered hereby for dedication to the Borough, perpetually and irrevocably, is an exclusive easement, right-of-way and rights (all called "Utility Easement Rights") for the purposes ("Utility Purposes") of any utility and all utilities, with free and uninterrupted right of entry upon the Property for access to the Easement Area. Utility includes, but is not limited to, any and all water, sanitary sewer, stormwater management, electric, telephone, cable TV and information transmission lines, facilities, systems, structures and/or operations no matter who the operator(s) and owner(s) are. The Utility Purposes include, but are not limited to, the free right to lay out, place, construct, operate, inspect, test, maintain, repair, replace, relocate, reconstruct, enlarge, change and/or use the area subject to the Utility Easement Rights ("Easement Area") and/or any part thereof (e.g., over, under, upon and through it) for any and all Utility Purposes, including but not limited to any and all line(s), structure(s), facility(ies) and/or system(s) and any and all appurtenance(s) thereto. The Easement Area shall include and is limited to all of the area of the Property, which area is within all water supply and sanitary sewer easements and/or all street rights-of-way. All the offered rights include a negative easement which prohibits, in the offered right-of-way and/or easement area, any activity, use, condition, plant, improvement, structure and/or building which, in the sole judgment of the Borough, is inconsistent in any way with and/or may in any way interfere with, endanger and/or obstruct the safe or efficient use of and/or any purpose of the offered rights. The negative easement shall also provide that no structure shall be permitted on, over and/or under any part of the right-of-way and/or easement area, without the Borough's prior approval, by written Resolution, specifically authorizing such use.

If and when requested by the Borough, the Applicant and [its / his / her / their], heirs, successors and assigns shall transfer title to any and/or all of the offered rights and improvements to the Borough. Such transfer shall be by deed(s) or agreement(s) of dedication which shall be in such form as the Borough may require and title to all such rights and improvements shall be good and marketable and free from any encumbrance. When transferring to [its / his / her / their] assigns the Property Owner shall and hereby does reserve and except for itself (and the Homeowners Association all interests and rights necessary for either to make, fully and completely, all the dedications required hereby. However, these reserved rights to dedicate shall not be exclusive and the [lot owners / Applicant's and property owner's(s) successors and assigns] may also make such dedications. In any event, the Applicant's and property owner's(s) successors and assigns shall be obligated to make such transfer to the Borough, at the Borough's request.

Neither the Borough's approval of this Plan, the Plan's recording nor any note hereon is intended to or does obligate the Borough to maintain and/or accept, in any way, any street, stormwater management, water supply and/or sanitary sewer facility, easement or right-of-way and/or any other improvements shown hereon and/or any Utility. If the Borough, in its discretion, takes dedication of street or street right-of-way, unless the deed of dedication expressly and clearly provides otherwise, the Borough will not take fee title to the area within such street right of way and will not own or be responsible for any street tree, sidewalks (either existing, required or provided hereafter whether or not shown on this plan) and yard areas within such right-of-way. Responsibility for such street trees, sidewalks and yard areas shall remain, for all purposes, with the owner(s) of the fee title. The Borough, at any time prior to accepting dedication of a street, may require a street tree to be moved. All rights dedicated to and accepted by the Borough, unless the Borough shall require otherwise, shall be perpetual, run with the land and be assignable by the Borough.

(9) The Utility systems shall be installed, and inspected and approved as required by the Borough Engineer before paving of curbs, pouring of concrete for curbs, paving of sidewalks and the construction of any other Improvement with which the construction of the Utility system might interfere. No Utility system shall be installed and/or easement for such system granted, within any right-of-way and/or easement for any road, street, sewer, water supply, and/or stormwater management facility, proposed to be dedicated to the Borough, unless the plans for such Utility system and/or easement and the timing of its construction are approved by the Borough Engineer in writing.

(10) If the Borough accepts, from the Developer's successor or assign or any other grantor, a deed or other instrument of dedication for any Improvement, the Developer and its successors and assigns shall hold the Borough harmless and defend the Borough and all Borough Officials, from and against any and all claims, demands, suits, judgments and liabilities whatsoever resulting from the negligent construction, design and/or inspection of the Improvements.

(11) All trees existing in and/or planted in the public street right-of-way shall be owned and maintained in good, healthy and safe condition, at all times, by the fee owner of the part of the Property where the tree is located. The Borough shall have the right, but not the duty, to inspect any such tree and to require its owner, at the owner's expense, to prune, maintain and, if the tree is dead, diseased, damaged or malformed, or a threat to public safety, to remove the tree and replace it with a tree of at least a three (3) inch caliper and of the same species or a species approved by the Borough. All liability for any tree on the Property shall be on the fee owner of the part of the Property where the tree is located. Without limitation, such owner shall have the duty to ensure that the tree does not create any nuisance or safety hazard.

(12) Irrevocable licenses and rights of entry upon any of the property subject to this Plan are hereby granted to the Borough of Phoenixville, its officers and agents, for the purpose of correcting or abating a public nuisance and/or to add to, repair, modify and/or replace any drains, stormwater management facilities, sewers, water lines and/or other utilities which are connected to a public facility or utility and to inspect and enforce the Borough's regulations and/or compliance with this Plan. These rights create no Borough duty to do any such work or inspections.

(13) Any improvement shown on this Plan which does not function safely, as intended and/or in complete compliance with all applicable regulations shall be redesigned and/or reconstructed promptly, by the Developer and/or the Property Owner, at such party's expense, to be safe, functional as intended and to comply with all applicable regulations. All such new designs and specifications shall be subject to the Borough Engineer's prior written approval and inspection, during and after construction, all at the Applicant's cost.

(14) The stormwater management facilities (individually "Stormwater Facility," and collectively "Stormwater Facilities") located on the Property and shown on this Plan are permanent and are not to be removed or altered. Stormwater facilities include, but are not limited to, swales designed or used to convey stormwater. The owner(s) of each parcel where any Stormwater Facility is located and [such owner's / their] heirs, successors and assigns (collectively the "Owner") shall be responsible for the perpetual maintenance of the Stormwater Facilities located on that parcel. The Owner shall maintain the Stormwater Facilities, for which the Property Owner is responsible, in a condition which is structurally sound and functional and in compliance with all regulations and shall not cause any such facility to be altered, silted up, clogged, or fail to function as designed and/or as required by applicable regulations. If the Owner does not do so, upon notification by the Borough, the Property Owner, as promptly as possible, shall correct, repair, reconstruct and/or replace such facility to activate and maintain the facility's design specifications, functions and its compliance with all applicable regulations. If the Owner fails to do so, the Borough may correct the Stormwater Facility, within the time specified by the Borough, the condition of the Stormwater Facility shall be a public nuisance and the Borough shall have the free right to enter upon the Property and to do such repair, maintenance, replacement and/or reconstruction as the Borough determines necessary with respect to such Stormwater Facility. All such correction, repairs, reconstruction and/or replacement and the design costs thereof shall be at the expense of the Owner jointly and severally. The Borough may lien and execute on the Property (as a municipal claim and lien and/or in any other manner provided by law) for the cost of all such work, including any engineering and design cost, and for attorneys' fees for enforcement and collection.

(15) Each assignee of any parcel on this Plan shall be responsible for all the terms and conditions of this Plan as applicable to such parcel. As used in these Plan notes, "Applicant," "Property Owner" and "Developer" include such party's heirs, successors and assigns.

(16) Each lot shown on this plan shall have private implied access easements and rights-of-way over the roads shown hereon which are actually constructed.

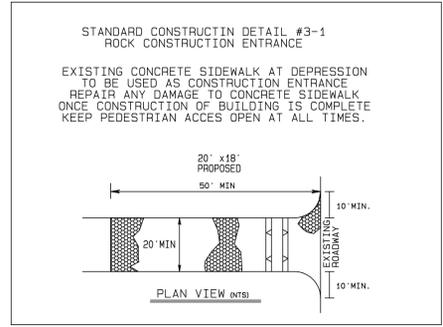
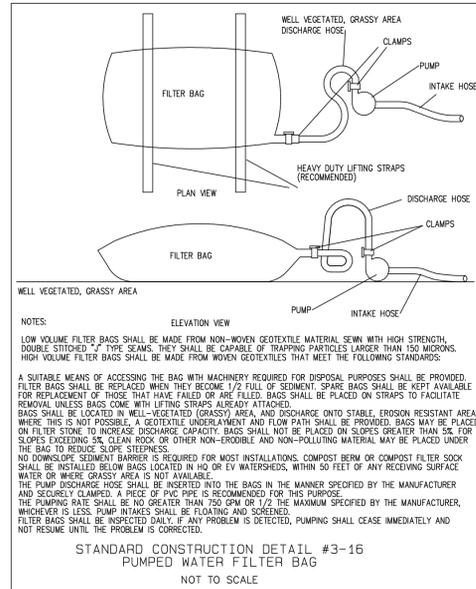
(17) All plants which are provided pursuant to the Plan shall conform to the current American Standard for Nursery Stock of the American Association of Nurserymen, Inc. Each plant shall be mulched when planted with three inches of mulch approved by the Borough. Trees and shrubs, which grow to heights of five feet or taller, shall be placed so that their branches will not grow into any buildings, obstruct driveway and/or street sight triangles or interfere with overhead public utilities.

(18) As part of the land development / subdivision plan review and approval process, the Borough did not determine whether there are any wetlands on the Property. If the U.S. Army Corps of Engineers ("Corps") or Pennsylvania Department of Environmental Protection ("DEP") determines that there are such wetlands on the Tract and the applicable wetland regulations result in a relocation and/or redesign of any improvement or affect compliance with any applicable regulation, this Plan shall be voidable by the Borough without any further action requested. However, the Borough does not hereby assume any duty to Development / Subdivision Plan. In such case, the Borough may require its prior written approval of the amendment which approval may be granted subject to such conditions as Borough Council determines appropriate.

(19) The waivers specifically granted by Resolution 2022-0 , relate only to Subdivision and Land Development Ordinance requirements. Nothing shown hereon shall be construed to vary, waive or reduce any requirements of the Zoning Ordinance or any other Borough Ordinance or regulation.

(20) The Borough and Borough Engineer have reviewed the Development / Subdivision Plan and all information supplied with it only for Borough purposes and only for compliance with Borough regulations, such as those relating to stormwater management and erosion and sedimentation control. The Borough does not warrant, in any way, the improvements or work shown on the Plan. In reviewing the Development / Subdivision Plan and any future plans, plan changes and/or specifications and designs concerning the proposed use, improvements and/or work, the Borough Engineer and all Borough officials have relied and may rely on the information supplied by the Applicant. The Applicant is responsible for the accuracy and completeness of all information (e.g., property ownership, encumbrances, measurements, calculations, plans, locations, surveys and site data) supplied to the Borough at all times. It is the Applicant's and Applicant's Engineer's duty to identify all relevant conditions both on and off the Property. The Applicant must determine and the Applicant's Engineer must certify to the Borough that all Plans do comply and that all improvements and work, when implemented in the field as shown on the Plans, will comply with all applicable regulations, will in all ways reflect good engineering and construction practices and will not result in damage to any person or property. In making these determinations, neither the Applicant nor the Applicant's Engineer has relied or shall rely upon any approval, permit, determination of or information or recommendations from or specifications established by the Borough, the Borough Engineer or any other Borough Official. No Borough Official is responsible for designing, choosing specifications for or proper construction and/or suitability of any improvement or work or for determining title issues concerning the Tract and/or any encumbrance or for field checking anything shown on the Plan as part of the plan review and/or inspection process. The Borough has assumed and may assume that the Applicant warrants to the Borough, and the Applicant does so warrant, that any plan, application and/or request for Borough approval, submitted to the Borough, complies with all applicable regulations and shows all relevant information completely and accurately and that the Applicant's Engineer has so certified. The issuance of any permit or approval by any Borough official does not relieve the Applicant of the responsibility to determine independently and insure that the improvements and/or work are designed and constructed properly, comply with all applicable regulations and will be fit and safe for their intended purposes. If the improvements and/or work are not so designed and constructed, the Borough may require redesign and reconstruction to achieve such compliance.

(21) Prior to the issuance of any building permits to implement the Plan, the Applicant and, if the Borough requires, the Property Owner, must enter into a Development Agreement and an Improvement Security Agreement, with the Borough, with terms and conditions satisfactory to the Borough and must provide the requisite improvement security as identified by the Borough Engineer. The improvement security shall secure, for the Borough's benefit, the proper and timely completion of the Developer's obligations under the Development Agreement. The improvement security shall be a bond. The Development Agreement may provide that the Borough may withhold and/or revoke permits if the Developer is in default of its obligations thereunder. No work shall be done to implement the Plan and no building permits shall be issued for any such purpose until the Development Agreement is executed, the Plans are finally approved in all respects and the requisite improvement security is posted to the Borough's satisfaction.



DETAIL/ NOTES PLAN

SITE ADDRESS: 100 Bridge Street Phoenixville, Pa. 19406 TOTAL AREA: 11,417.134 SF (0.262 ACRES) GROSS 10,810.490 SQ FT (0.248 ACRES) NET TO R/W UPI#15-10-18 DEED BOOK 9372 PAGE 2237	OWNER: BRICK & COPPER HOLDINGS, LLC. 117 GERLOFF ROAD SCHWENKSVILLE, PA. 19473 APPLICANT: JARED ADKINS 610-933-7827 jareda@bluebirddistilling.com	
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REV: 2-14-23 AS PER BOROUGH ENG LETTER DATED 11-4-22

DATE: 10-1-22	PRELIMINARY/FINAL LAND DEVELOPMENT PLAN OF 100 BRIDGE STREET MADE FOR: BLUEBIRD DISTILLING STATE IN PHOENIXVILLE BOROUGH, CHESTER COUNTY, PA.	PREPARED BY:
SCALE: NTS		
SHEET 4 OF 4		
DRAWN BY: AM		
N.B.#:		

HOPKINS AND SCOTT INC.
PROFESSIONAL LAND SURVEYORS
207 FRANKLIN AVENUE
PHOENIXVILLE, PA. 19460
Phone: 610-933-1754 Fax: 610-933-0268

JERRY L. MILLER
LAND PLANNER
No. 20284
COMMONWEALTH OF PENNSYLVANIA