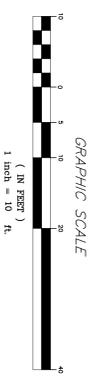


- UTILITY NOTES:**
1. THE EXISTING WATER SERVICES AND SEWER LATERALS THAT ARE BEING REPLACED/ABANDONED (AS NOTED IN THE PLAN ABOVE) SHALL BE CAPPED DIRECTLY AT THE MAINS.
 2. THE EXISTING 4" SANITARY SEWER EXITING THE BUILDING ON CHURCH STREET THAT IS BEING REUSED MUST BE TELEVIEWED PRIOR TO BEING REINSTATED. THE BOROUGH SHALL EITHER APPROVE THE CONDITION OF THE EXISTING SANITARY SEWER LATERAL OR THE SEWER LATERAL SHALL BE REPLACED.

PROPOSED UTILITY PLAN
 T=10'-0"



- LEGEND**
- E — UNDERGROUND ELECTRICAL SERVICE
 - G — UNDERGROUND NATURAL GAS SERVICE
 - S — UNDERGROUND SANITARY SEWER SERVICE
 - W — UNDERGROUND DOMESTIC WATER SERVICE
 - ◊ FH EXISTING FIRE HYDRANT
 - ◊ W EXISTING WATER SHUT OFF VALVE

OWNER/APPLICANT
 MAIN STREET LOFTS
 16 N YORK RD
 HATBORO, PA, 19040
 PHONE # (267) 707-3347

SITE DATA
 TRACT AREA (NET): 0.15 ACRES (6,794 S.F.)
 TAX PARCEL NO.: 19-9-336
 EXISTING ZONING: (O) TOWN CENTER
 PROPOSED USE: AND (22) APARTMENTS SPACES
 METHOD OF WATER SUPPLY: PUBLIC
 METHOD OF SEWERAGE: PUBLIC

- LIST OF DRAWINGS**
- 1 of 14 SP1.1 PROPOSED UTILITY PLAN
 - 2 of 14 SP1.2 PROPOSED SITE DETAILS
 - 3 of 14 A1.0 PROPOSED BASEMENT PLAN
 - 4 of 14 A1.1 PROPOSED FIRST FLOOR PLAN
 - 5 of 14 A1.2 PROPOSED SECOND FLOOR PLAN
 - 6 of 14 A1.3 PROPOSED THIRD FLOOR PLAN
 - 7 of 14 A1.4 PROPOSED TYPICAL APARTMENT PLANS
 - 8 of 14 A1.5 PROPOSED FRONT ELEVATION
 - 9 of 14 A1.6 PROPOSED SIDE ELEVATION
 - 10 of 14 A2.0 PROPOSED REAR ELEVATION
 - 11 of 14 A2.1 PROPOSED SIDE ELEVATION
 - 12 of 14 A2.2 PROPOSED REAR ELEVATION
 - 13 of 14 A2.3 PROPOSED BUILDING SECTION
 - 14 of 14 A3.0 PROPOSED BUILDING SECTION

NOTES

1. THIS SITE PLAN IS BASED ON A PLAN PREPARED BY MID-ATLANTIC L&P SURVEYORS FROM STONE, PA. DATED 04/29/2021. SITE DATA WAS OBTAINED FROM THE PHOENIXVILLE ZONING DEPARTMENT PERFORMED BY 30HC ARCHITECTS LLC IN DECEMBER 2020.
2. UTILITY INFORMATION FROM SURFACE EVIDENCE OBSERVED IN THE FIELD. NO SUBSURFACE LOCATIONS ARE TO BE INFERRED. ALL UTILITY DEPTHS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL INTERNAL WATER AND SEWER LINES ARE CONCREDED BRUTE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE AND IN THE BASEMENT FOR THE APARTMENTS.
4. TRASH CONTAINERS WILL BE LOCATED WITHIN EACH RETAIL SPACE AND IN THE BASEMENT FOR THE APARTMENTS.
5. ALL NEW UTILITIES (TELEPHONE, CABLE, ETC.) ARE TO BE PLACED UNDERGROUND.
6. ALL PROPOSED SIGNAGE SHALL CONFORM WITH SECTION 27-466 OF THE PHOENIXVILLE ZONING ORDINANCE AND RECEIVE APPROVAL FROM THE PHOENIXVILLE HISTORIC ARCHITECTURAL REVIEW BOARD.
7. THE DEVELOPER AND/OR CONTRACTOR SHALL PROVIDE A SCHEDULE OF WORK AND NOTIFY THE TOWNSHIP ENGINEER NO LESS THAN 48 HOURS PRIOR TO COMMENCING ANY WORK ON ANY SITE IMPROVEMENTS.
8. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES OBTAIN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS AND REQUIREMENTS.

UTILITY COMPANIES

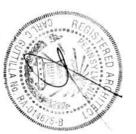
- BEARING**
 PECO ENERGY COMPANY
 2301 MARKET ST.
 PHOENIXVILLE, PA 19003
 1-800-841-4141
 www.peco.com
- NATURAL GAS**
 PECO ENERGY COMPANY
 PHILADELPHIA, PA 19103
 1-844-841-4151
 www.peco.com
- WATER**
 PHOENIXVILLE BOROUGH WATER DEPARTMENT
 5 GROMBY ROAD
 PHOENIXVILLE, PENNSYLVANIA, 19460
 610-352-1050
- SEWER**
 PHOENIXVILLE BOROUGH WATER DEPARTMENT
 5 GROMBY ROAD
 PHOENIXVILLE, PENNSYLVANIA, 19460
 610-352-1050

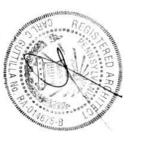
REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

SHEET TITLE:
**PRELIMINARY/FINAL
 PROPOSED UTILITY PLAN**

PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
 MAIN STREET LOFTS III
 34 S. MAIN STREET
 PHOENIXVILLE, CHESTER COUNTY, PA. 19460**

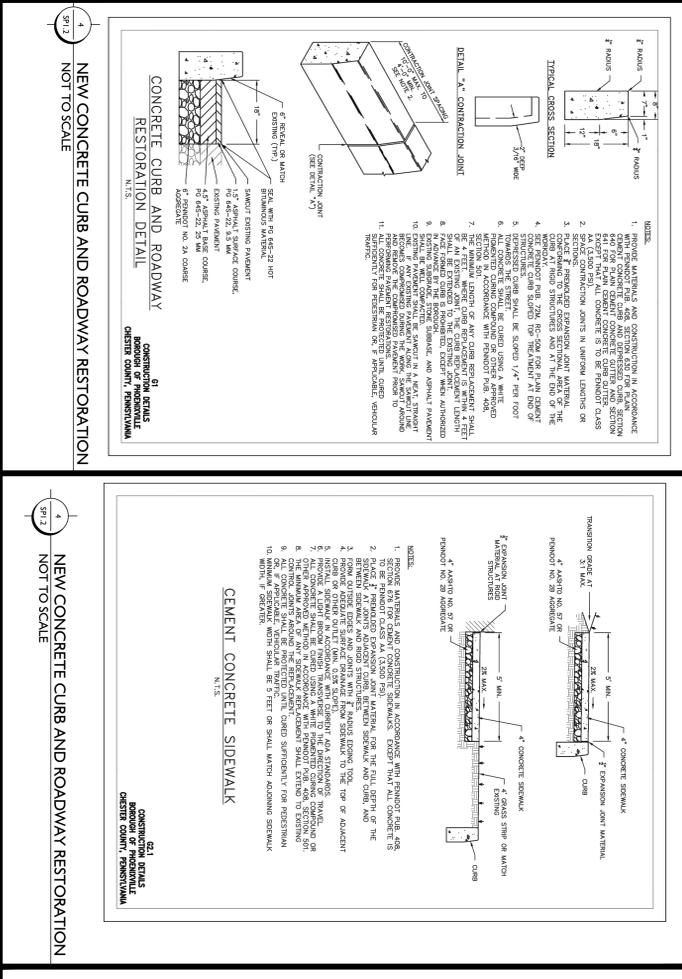
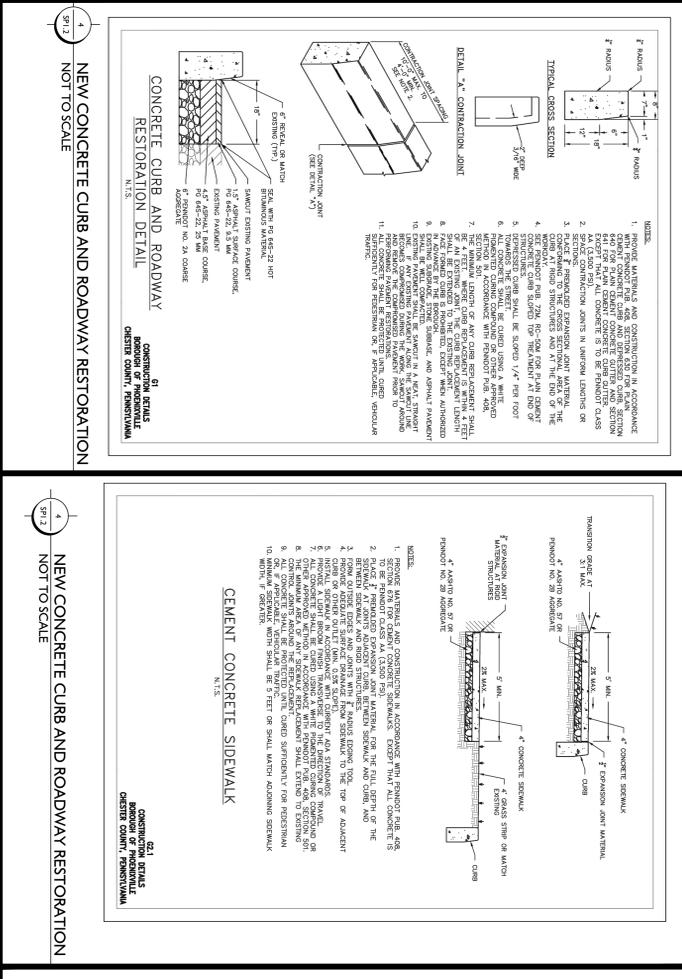
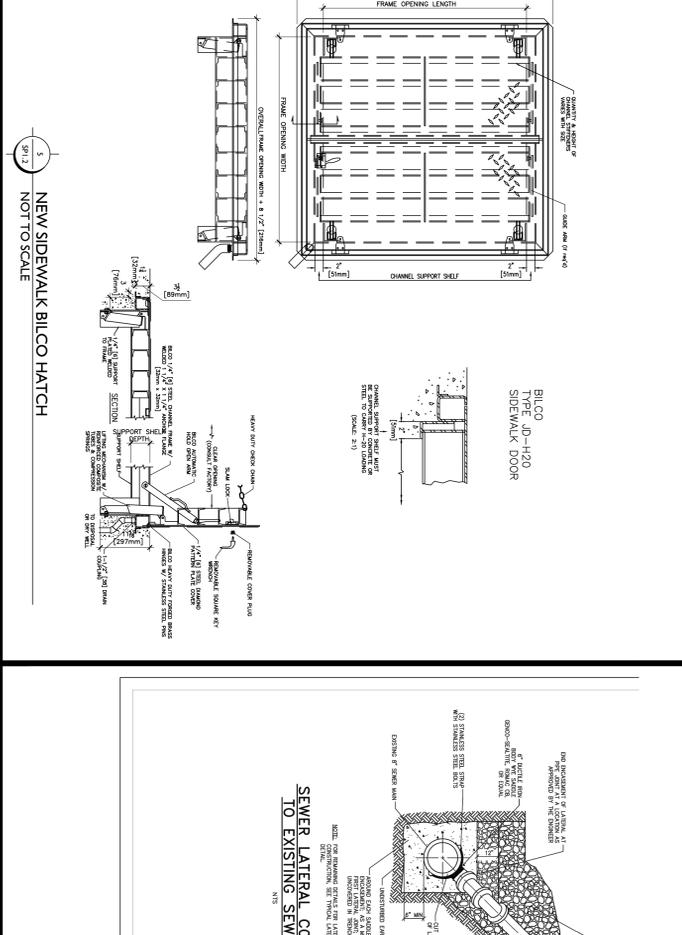
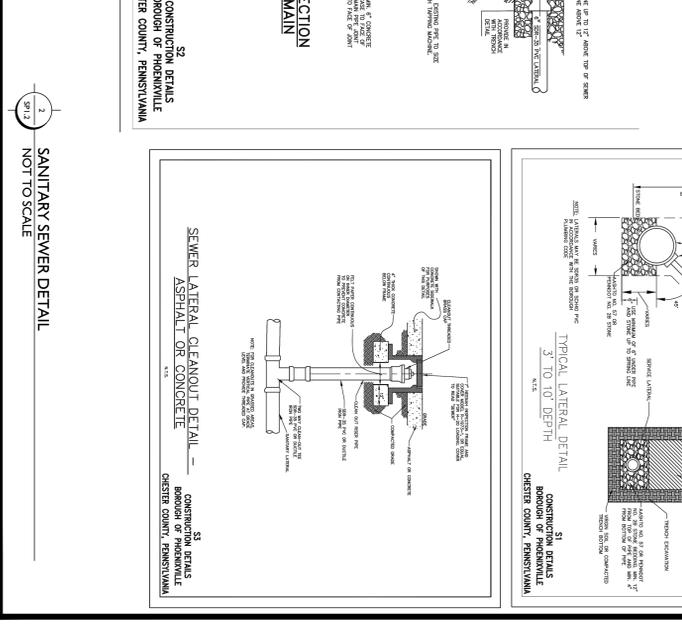
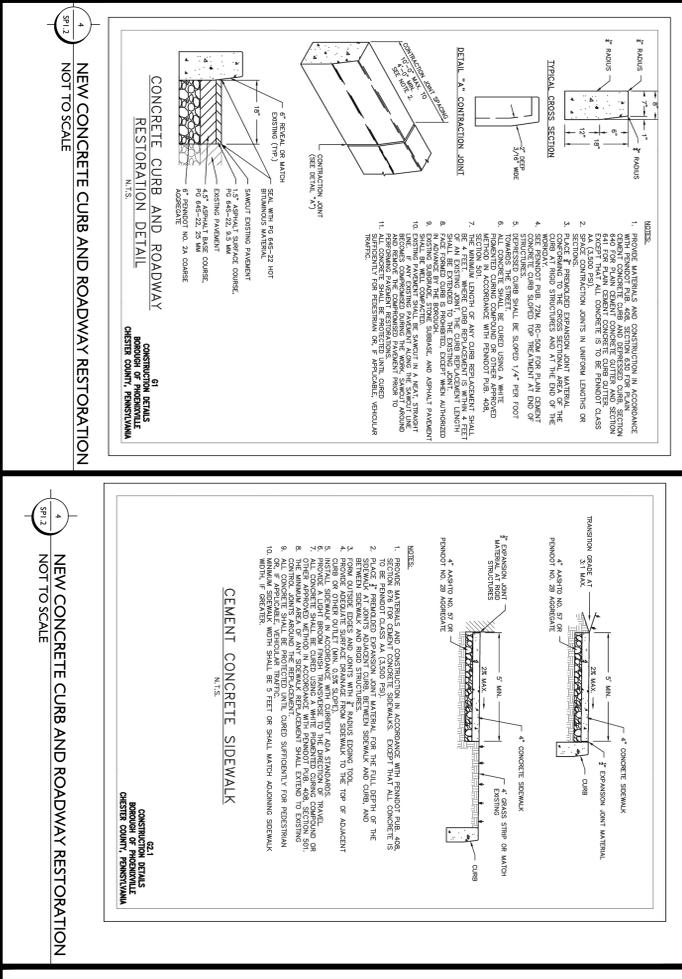
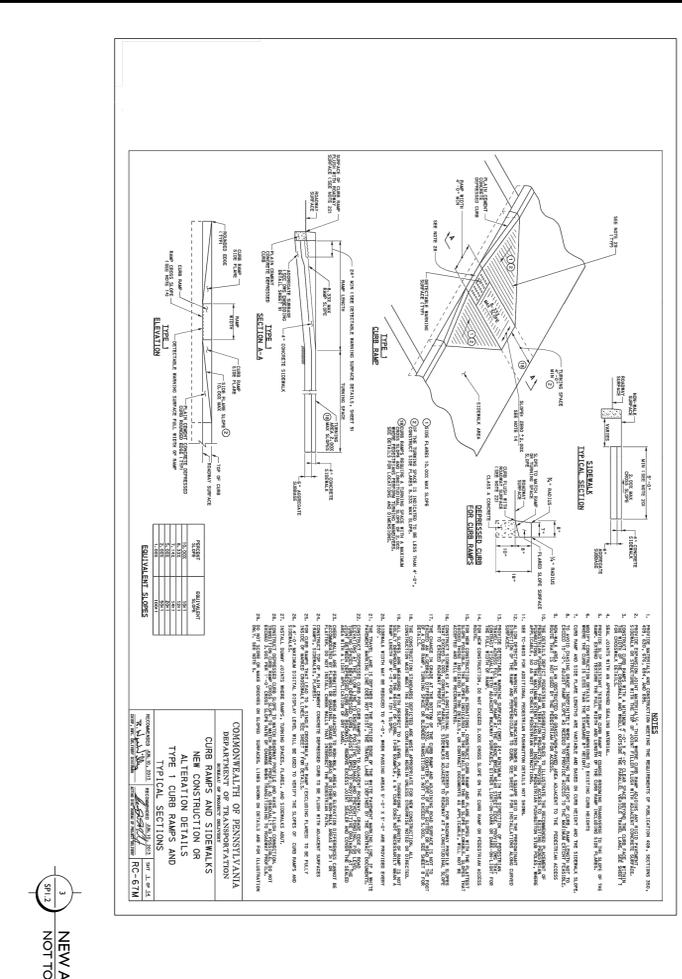
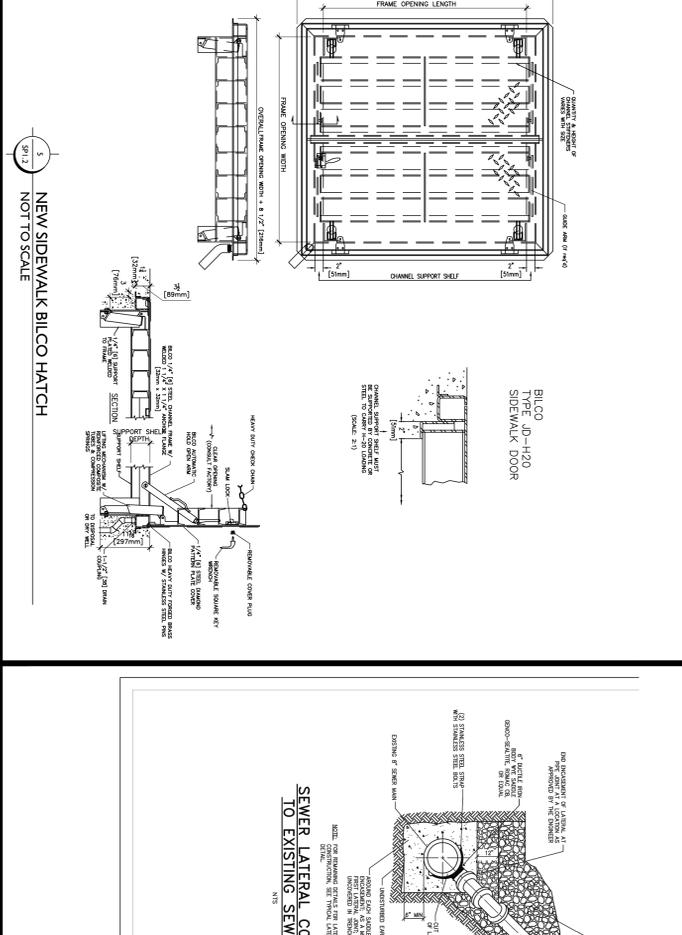
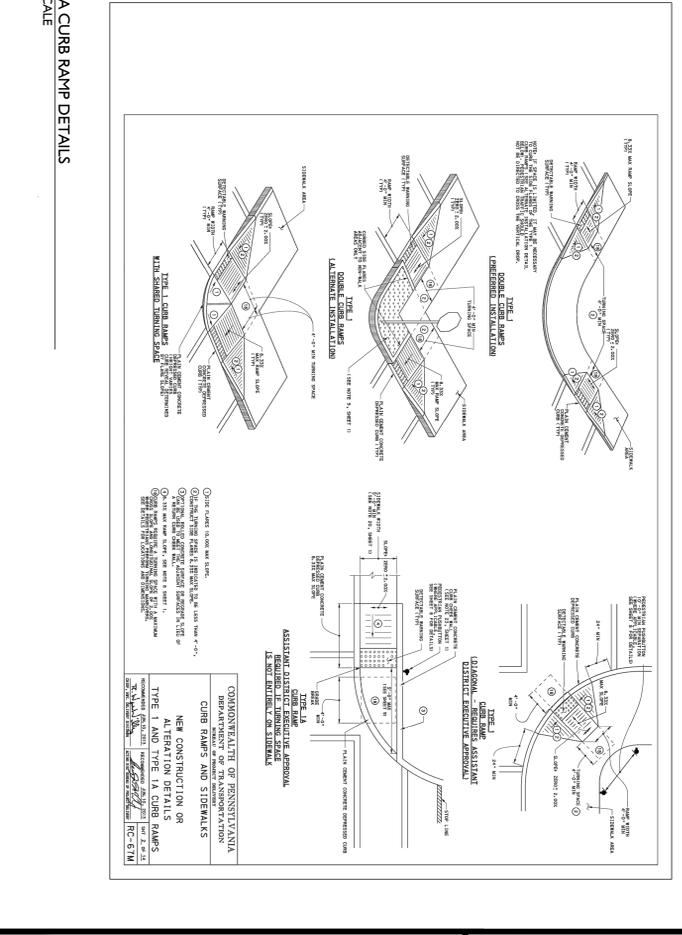
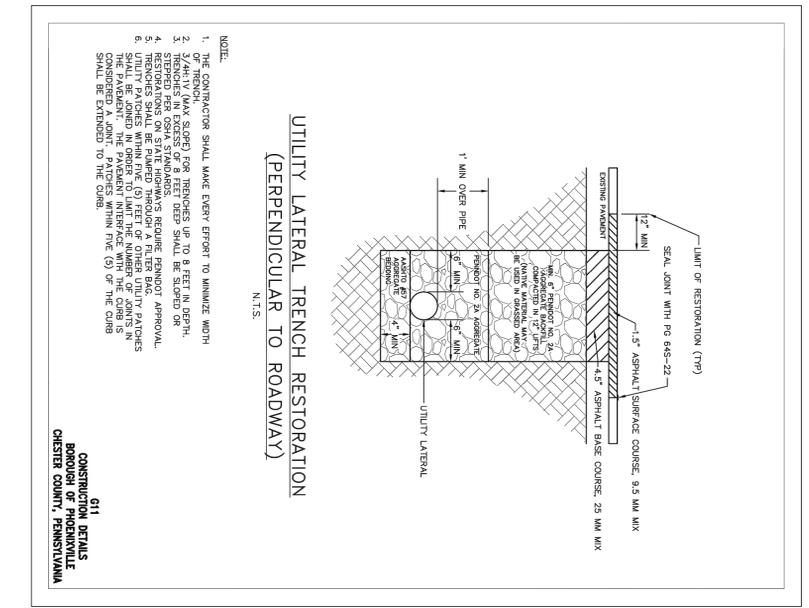
189 W. LANCASTER AVENUE, PAOLI, PA 19301
 (610) 543-7881 info@3ghc.net

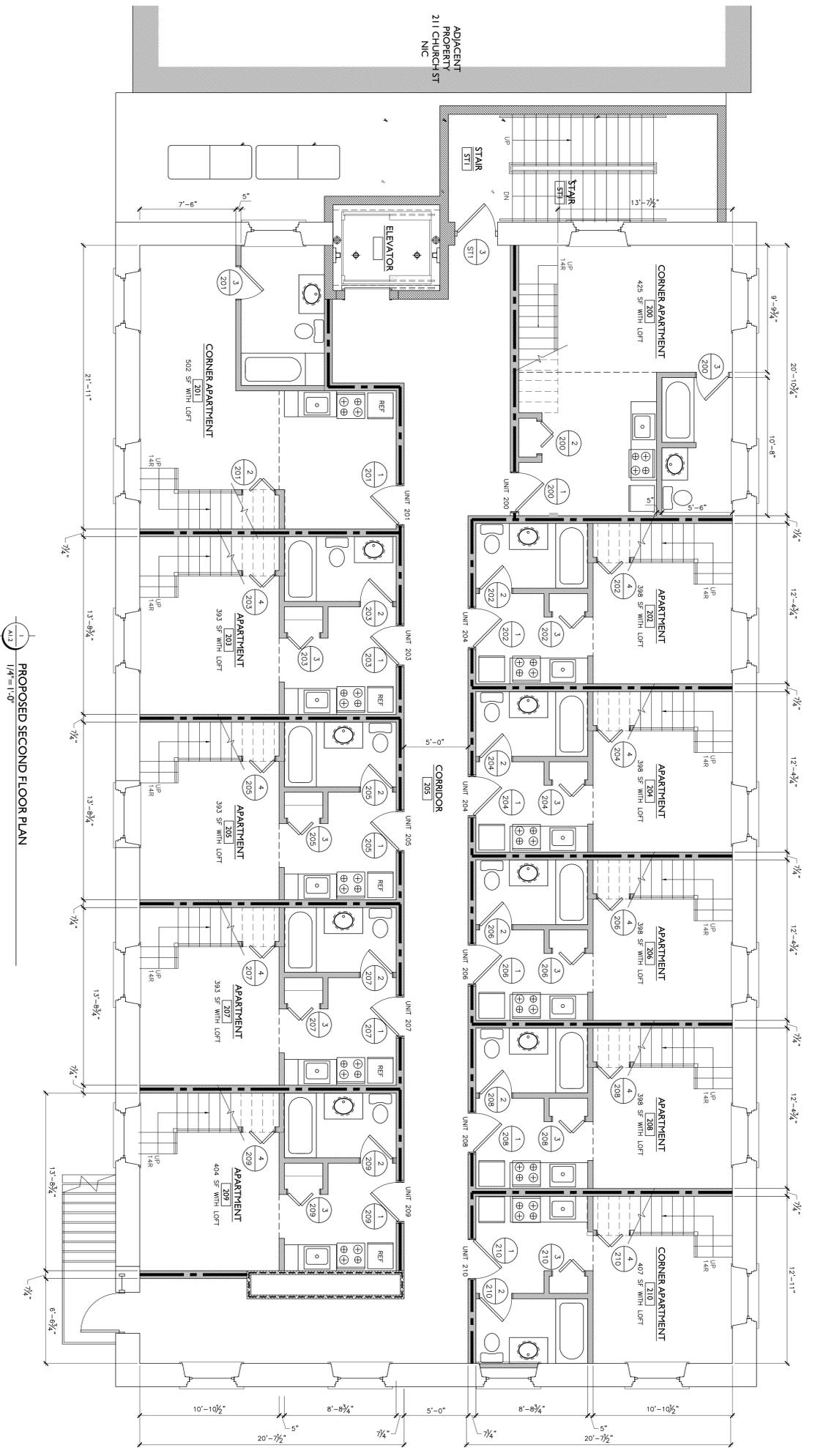




NO.	REVISIONS	DESCRIPTION	DATE
1	REVISED PER TWP.	COMMENTS	8/23/23

DATE:	08/08/2023
SCALE:	AS NOTED
DRAWN BY:	
CHECKED BY:	
PROJECT #:	





PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. DO NOT SCALE THESE PRINTS - USE MAIN DIMENSIONS AS NOTED. CALL ARCHITECT REGARDING ANY DISCREPANCIES.
- B. ALL INTERIOR GMB PARTITIONS MEASURED FROM FIN FACE OF GMB.
- C. ALL PERIMETER WALLS MEASURED FROM INTERIOR FACE OF EXISTING WALL.
- D. ALL HALF-HEIGHT PARTITIONS MEASURED FROM FACE OF GMB.
- E. VERIFY LOCATION OF ALL DRAINS ON PLUMBING PLAN.
- F. SEE RCP FOR ALL CEILING INFO.
- G. PROVIDE SLIP TRACK FOR PARTITIONS EXTENDING TO DECK ABOVE.
- M. VERIFY ALL DIMENSIONS WITH EXISTING FIELD CONDITIONS.

SYMBOLS AND ABBREVIATIONS

- 1-1 DENOTES SECTION/ELEVATION REFERENCE MARK
- 2-2 DENOTES FLOOR/GRADE ELEVATION
- 3-3 SEE DOOR SCHEDULE - SHEET A7.1
- 4-4 ALIGN W/ ADJACENT SURFACES
- 5-5 REVISION
- 6-6 WALL TYPE
- 7-7 KEY NOTES
- 2x4 NEW WALL MOUNTED 2x4 AFT. E.C. FINISH
- 2x6 NEW ULLUMINATED EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x8 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x10 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x12 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x14 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x16 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x18 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x20 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x22 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x24 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x26 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x28 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x30 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x32 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x34 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x36 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x38 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x40 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x42 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x44 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x46 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x48 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x50 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x52 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x54 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x56 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x58 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x60 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x62 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x64 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x66 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x68 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x70 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x72 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x74 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x76 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x78 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x80 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x82 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x84 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x86 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x88 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x90 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x92 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x94 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x96 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x98 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- 2x100 NEW EMERGENCY EXIT SIGN WITH INTERNAL NEW EMERGENCY BATTERY PACK WITH (2) HEADS

PARTITION LEGEND

- 1 EXISTING EXTERIOR STONE WALL WITH EXISTING FINISH
- 2 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 3 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 4 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 5 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 6 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 7 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 8 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 9 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE

KEY NOTES

- 1 EXISTING EXTERIOR STONE WALL WITH EXISTING FINISH
- 2 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 3 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 4 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 5 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 6 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 7 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 8 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE
- 9 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20GA W/L STUDS @ 16" ABOVE



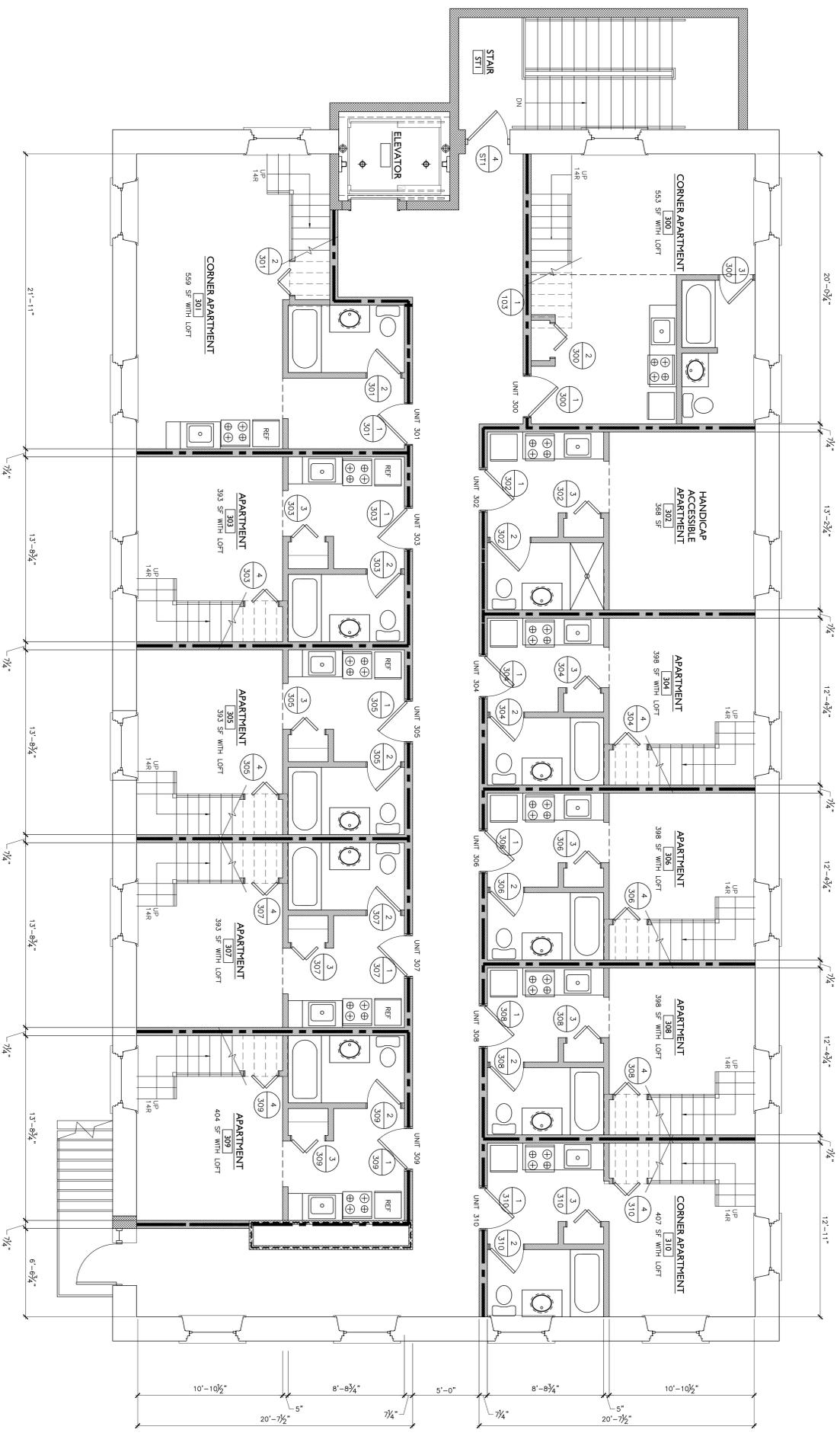
EGHC
ARCHITECTS, LLC
189 W. LANCASTER AVENUE, PAOLI, PA 19301
(610) 543-7881 info@3ghc.net

SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
MAIN STREET LOFTS III
34 S. MAIN STREET
POENIXVILLE, CHESTER COUNTY, PA. 19460**

NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

DATE: 06/08/2023
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
PROJECT #:



PROPOSED THIRD FLOOR PLAN
1/4"=1'-0"

GENERAL NOTES

- A. DO NOT SCALE THESE PRINTS - USE MAIN DIMENSIONS AS NOTED. CALL ARCHITECT REGARDING ANY DISCREPANCIES.
- B. ALL INTERIOR GMB PARTITIONS MEASURED FROM FIN FACE OF GMB.
- C. ALL PERIMETER WALLS MEASURED FROM INTERIOR FACE OF EXISTING WALL.
- D. ALL HALF-HEIGHT PARTITIONS MEASURED FROM FACE OF GMB.
- E. VERIFY LOCATION OF ALL DRAINS ON PLUMBING PLAN.
- F. SEE RFP FOR ALL CEILING INFO.
- G. PROVIDE SLIP TRACK FOR PARTITIONS EXTENDING TO DECK ABOVE.
- M. VERIFY ALL DIMENSIONS WITH EXISTING FIELD CONDITIONS.

SYMBOLS AND ABBREVIATIONS

- DENOTES SECTION/ELEVATION REFERENCE MARK
- DENOTES FLOOR/GRADE ELEVATION
- SEE DOOR SCHEDULE - SHEET A7.1
- ALIGN W/ ADJACENT SURFACES
- REVISION
- WALL TYPE
- KEY NOTES
- NEW WALL MOUNTED 2x4 A.F.T. E.C. FINISH
- NEW WINDOW WITH INTERNAL FINISH WITH (2) HEADS
- NEW EMERGENCY BATTERY PACK WITH (2) HEADS
- NEW EGRESS ROUTE HEAD
- GENERAL CONTRACTOR
- ANCHOR BOLTS
- TYP. SIMILAR
- ON CENTER
- RAIN WATER CONDUCTOR
- BUILDING STANDARD
- FACE OF
- CML VERTICAL CONTROL JOINT

PARTITION LEGEND

- EXISTING EXTERIOR STONE WALL WITH EXISTING FINISH @ 1/2" O/C AND EXISTING MOUNTINGS. TRIM ETC FROM FORMER TENANT AND PATCH/REPAIR OR REPLACE EXISTING GYP FINISHED TO A LEVEL 4 FINISH. (READY TO PAINT)
- EXISTING INTERIOR WALL TO REMAIN WALL. INSTALL NEW 5/8" 20CA MTL STUDS @ 16" ABOVE. FINISH WITH 1/2" GYP BOARD UP TO EXISTING CONCRETE DECK.
- EXISTING ONE HOUR RATED WALL. 6" MTL STUDS & 1/2" TYPE X GYP BD UP TO THE DECK ABOVE.
- NEW ONE HOUR RATED INTERIOR FRAME WALL OF METAL STUDS, TRCA @ 16" O.C. W/ 1/2" MTL STUDS, DENSITY PART INSULATION AND TWO LAYERS OF GYP BOARD FINISHED TO A LEVEL 4 FINISH. (READY TO PAINT) RUN TIGHT TO DECK ABOVE. UL DESIGN - UICDA
- NEW INTERIOR FRAME WALL. 5/8" @ 16" & 1/2" GYP BD 20 CA

KEY NOTES

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

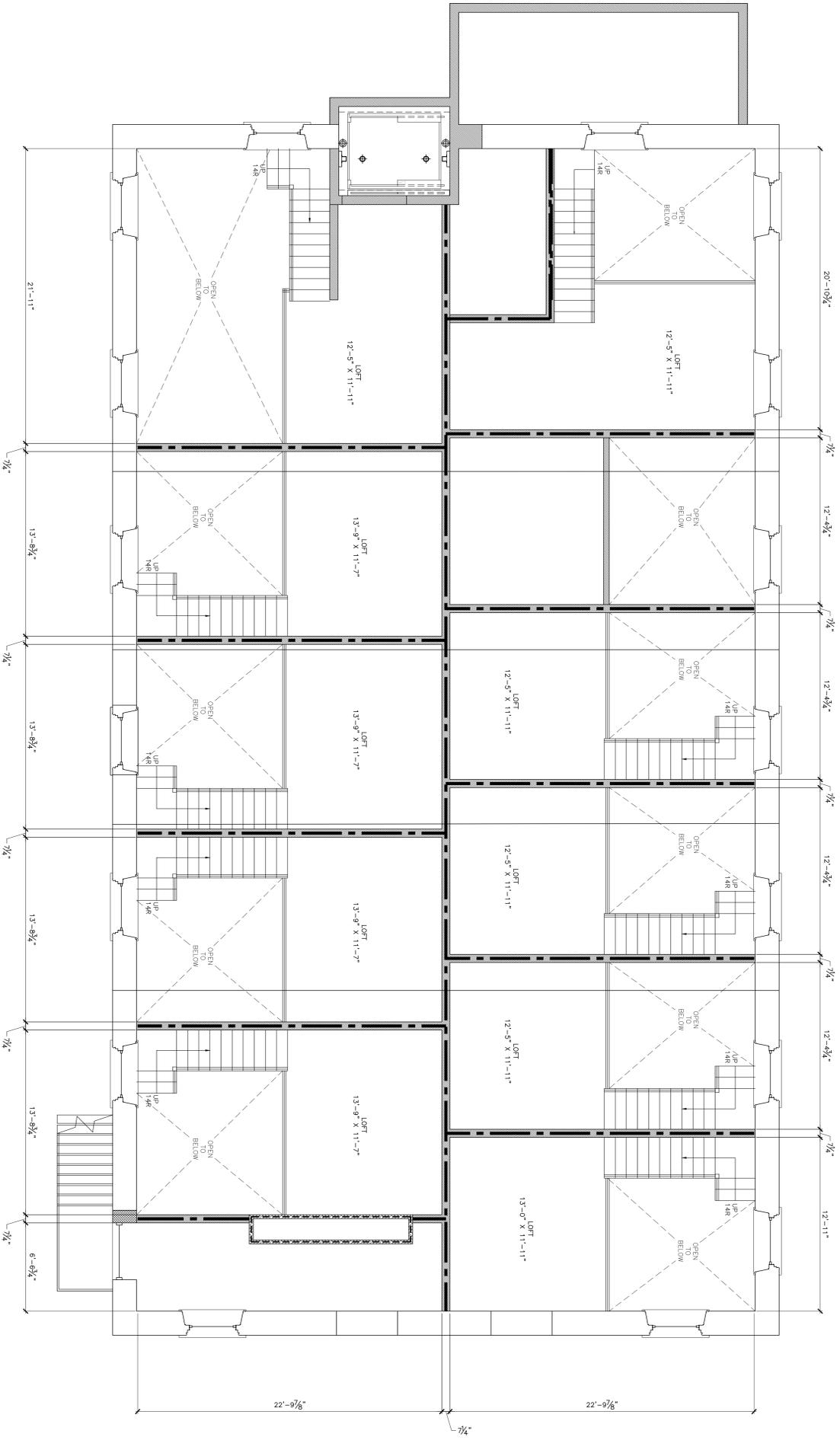
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PROJECT: PROPOSED MIXED-USE DEVELOPMENT
MAIN STREET LOFTS III
34 S. MAIN STREET
POENIXVILLE, CHESTER COUNTY, PA. 19460

NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

189 W. LANCASTER AVENUE, PAOLI, PA 19301
(610) 543-7881 info@3ghc.net





PROPOSED LOFT FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES	SYMBOLS AND ABBREVIATIONS	PARTITION LEGEND	KEY NOTES
<p>A. DO NOT SCALE THESE PRINTS - USE PLAN DIMENSIONS AS NOTED. CALL ARCHITECT REGARDING ANY DISCREPANCIES.</p> <p>B. ALL INTERIOR GMB PARTITIONS MEASURED FROM FIN FACE OF GMB.</p> <p>C. ALL PERIMETER WALLS MEASURED FROM INTERIOR FACE OF EXISTING WALL.</p> <p>D. ALL HALF-HEIGHT PARTITIONS MEASURED FROM FIN FACE OF GMB.</p> <p>E. VERIFY LOCATION OF ALL DRAINS ON FLOORING PLAN.</p> <p>F. SEE ROP FOR ALL CEILING INFO.</p> <p>G. PROVIDE SLIP TRACK FOR PARTITIONS EXTENDING TO DECK ABOVE.</p> <p>M. VERIFY ALL DIMENSIONS WITH EXISTING FIELD CONDITIONS.</p>	<p>1 DENOTES SECTION/ELEVATION REFERENCE MARK</p> <p>2 DENOTES FLOOR/GRADE ELEVATION</p> <p>3 SEE DOOR SCHEDULE - SHEET A2.1</p> <p>4 ALIGN W/ ADJACENT SURFACES</p> <p>5 REGION</p> <p>6 WALL TYPE</p> <p>7 KEY NOTES</p> <p>2A NEW WALL MOUNTED 2A A.F.T. TO HANDLE</p> <p>2B NEW LUMINATED EXIT SIGN WITH INTERNAL EMERGENCY BATTERY PACK WITH (2) HEADS</p> <p>2C NEW DANGER, REMOVE HEAD</p> <p>2D GENERAL CONTRACTOR</p> <p>2E ANCHOR BOLTS</p> <p>2F TYPICAL</p> <p>2G SIMILAR</p> <p>2H ON CENTER</p> <p>2I RAIN WATER CONDUCTOR</p> <p>2J BUILDING STANDARD</p> <p>2K FACE OF</p> <p>2L GMB VERTICAL CONTROL JOINT</p>	<p>1 EXISTING EXTERIOR STONE WALL WITH EXISTING FINISHING @ 1/2" O/C AND EXISTING MOUNTINGS, TRIM ETC FROM FORMER TENANT AND PATCH/REPAIR OR REPLACE EXISTING GYP FINISHED TO A LEVEL 4 FINISH. (READY TO PAINT)</p> <p>2 EXISTING INTERIOR WALL TO REMAIN WALL, INSTALL NEW 5/8" 20CA MTL STUDS @ 16" O.C. WITH 1"10 BATT INSULATION & 5/8" GYP BD UP TO EXISTING CONCRETE DECK ABOVE.</p> <p>3 EXISTING ONE HOUR RATED WALL, 6" MTL STUDS & 5/8" 3RFE X GYP BD UP TO THE DECK ABOVE.</p> <p>4 NEW ONE HOUR RATED INTERIOR FRAME WALL</p> <p>5 2" METAL STUDS 18" O.C. WITH 1"10 BATT INSULATION AND TWO (2) 5/8" 20CA MTL STUDS @ 16" O.C. WITH 1"10 BATT INSULATION & 5/8" GYP BD UP TO DECK ABOVE. U/L DESIGN - U/L404</p> <p>6 NEW INTERIOR FRAME WALL</p> <p>7 5/8" @ 16" & 5/8" GYP BD 20 CA</p>	<p>1</p> <p>2</p> <p>3</p> <p>4</p> <p>5</p> <p>6</p> <p>7</p> <p>8</p> <p>9</p>

REVISIONS	NO.	DESCRIPTION	DATE
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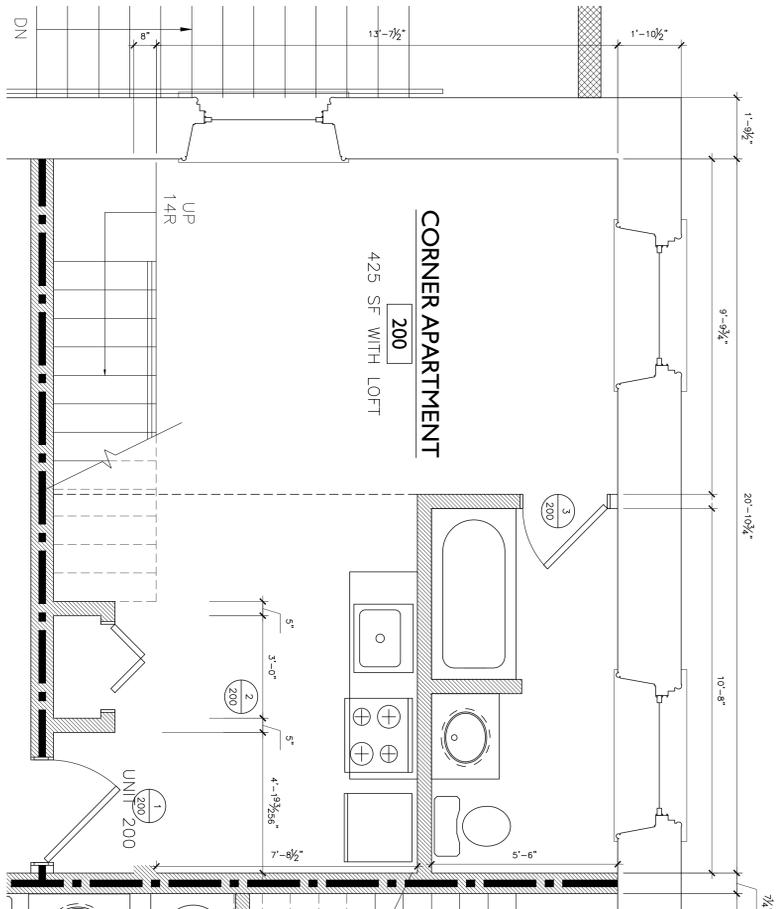
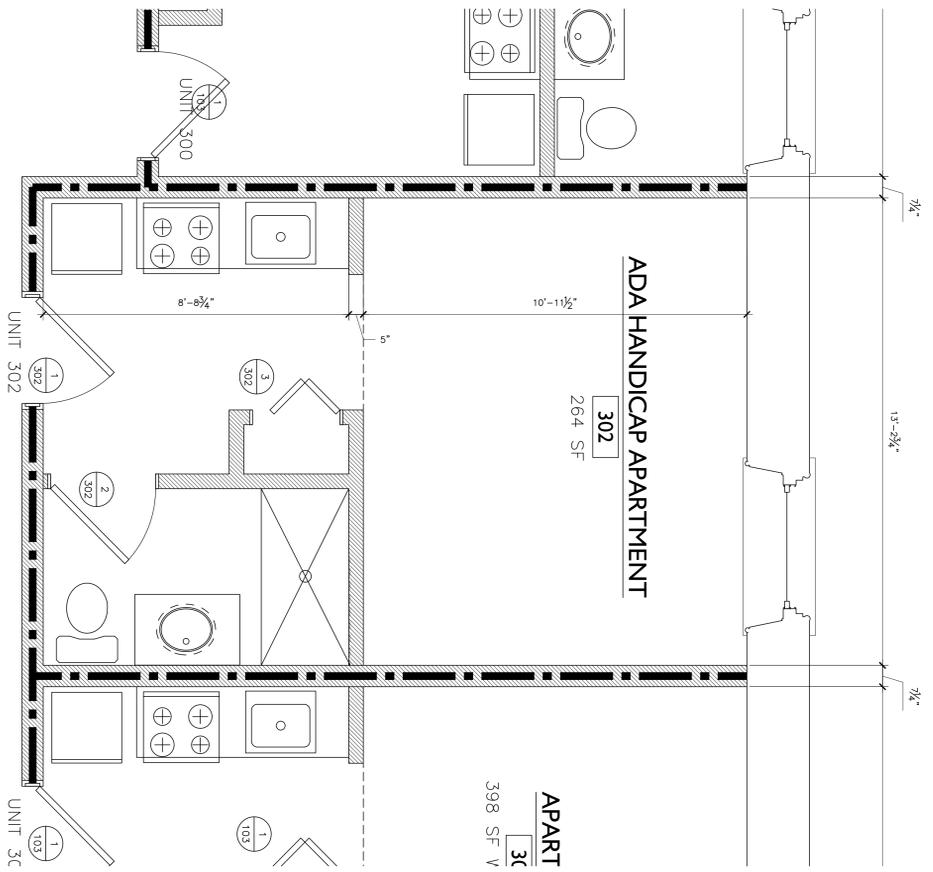
SHEET TITLE:
PROPOSED THIRD FLOOR PLAN

PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
 MAIN STREET LOFTS III
 34 S. MAIN STREET
 POENIXVILLE, CHESTER COUNTY, PA. 19460**

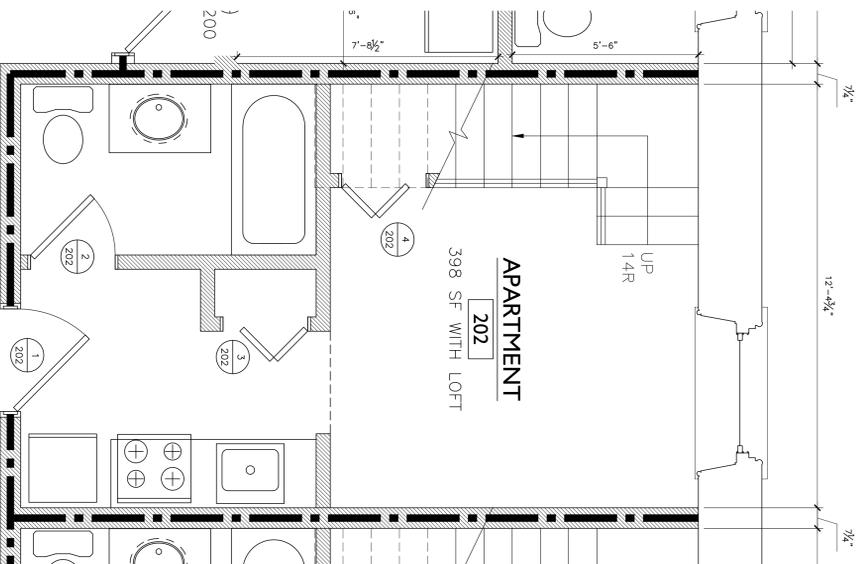


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 (610) 543-7881
 info@3ghc.net

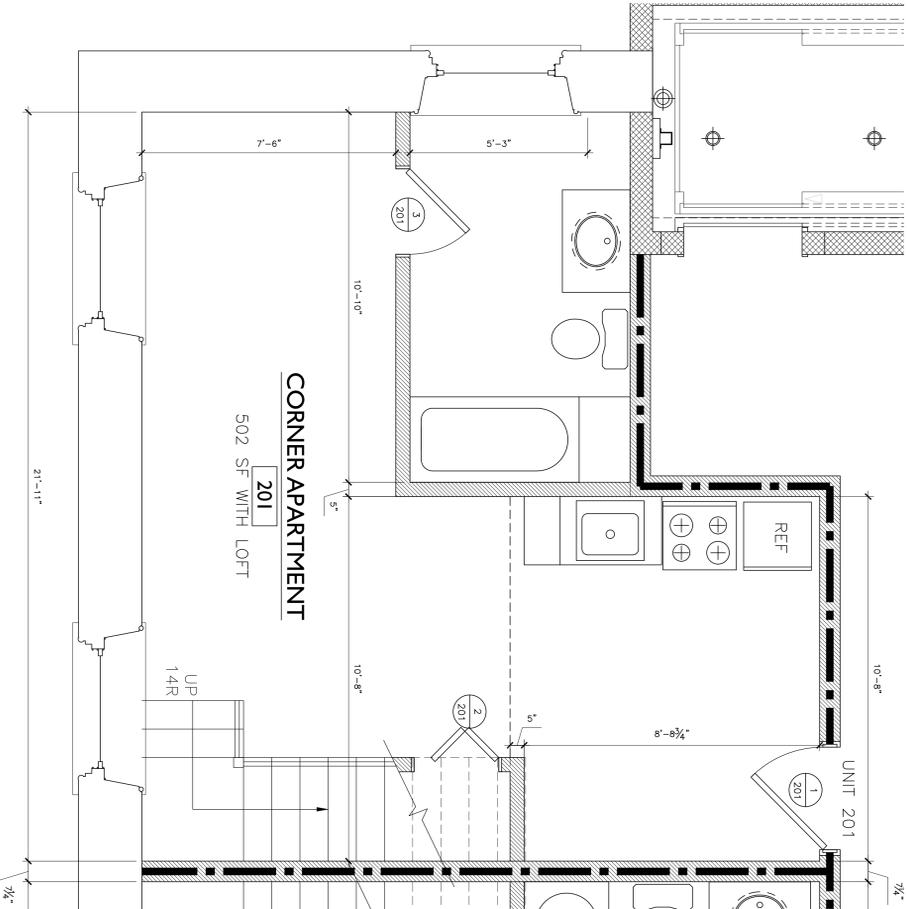




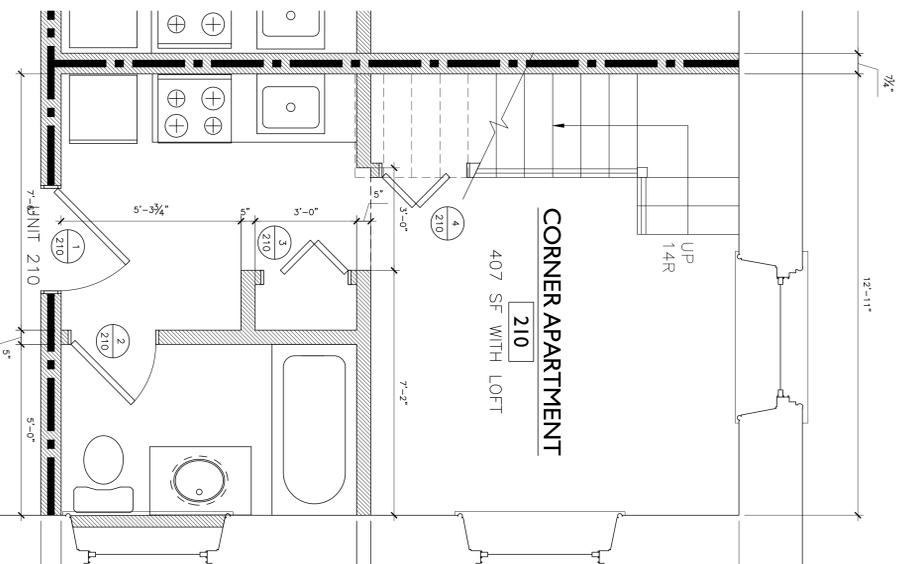
PROPOSED CORNER APARTMENTS
1/2"=1'-0"



PROPOSED TYPICAL APARTMENTS
1/2"=1'-0"



PROPOSED CORNER APARTMENT
1/2"=1'-0"



PROPOSED CORNER APARTMENT
1/2"=1'-0"

PROPOSED ADA HANDICAP APARTMENT
1/2"=1'-0"

SHEET TITLE:
PROPOSED THIRD FLOOR PLAN

PROJECT:
PROPOSED MIXED-USE DEVELOPMENT
MAIN STREET LOFTS III
34 S. MAIN STREET
POENIXVILLE, CHESTER COUNTY, PA. 19460

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23



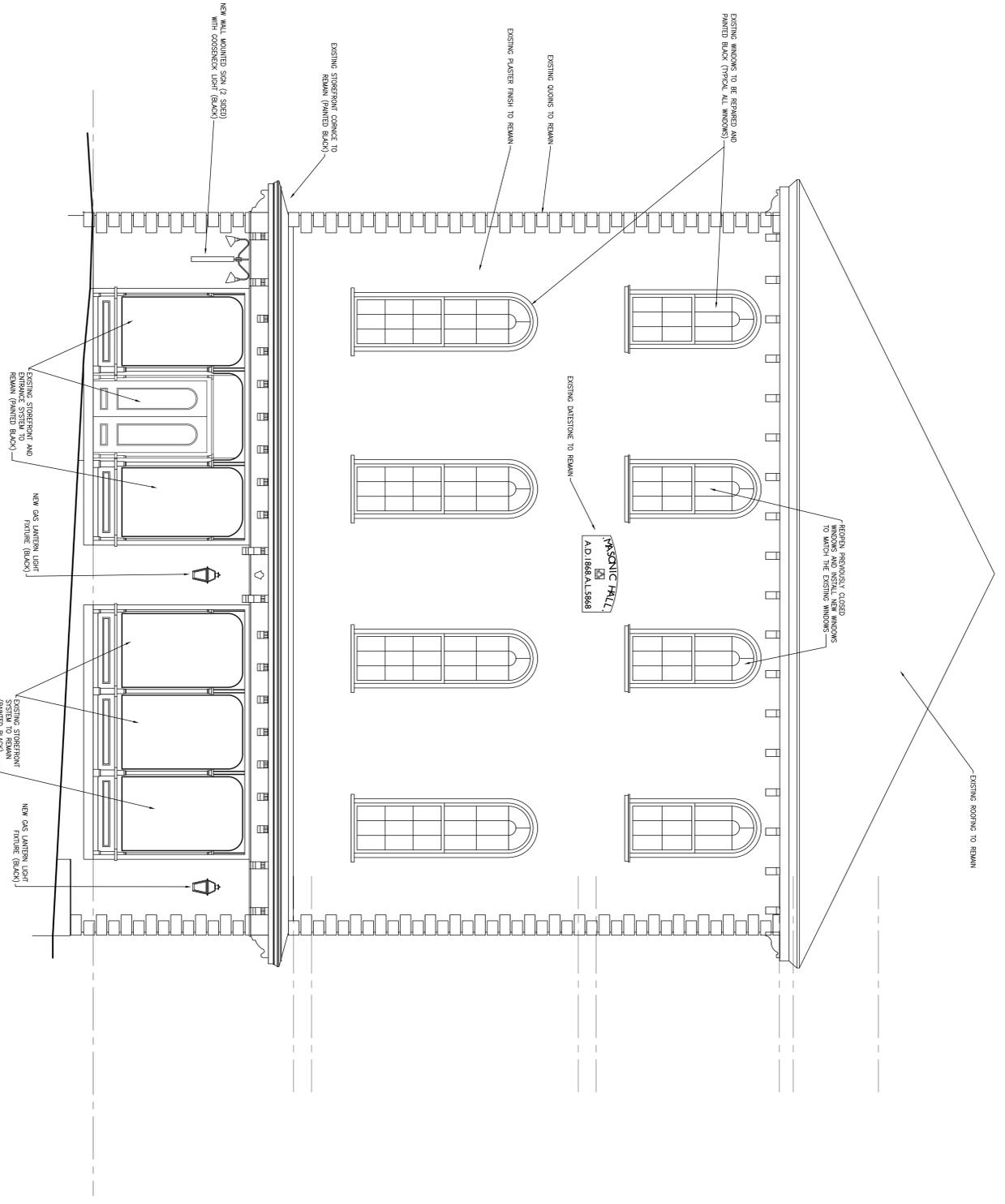
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A1.6

DATE: 06/08/2023
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
PROJECT #:

SHEET NO. 9 OF 14



1
A2.0
1/4" = 1'-0"
PROPOSED EAST ELEVATION (MAIN STREET)

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

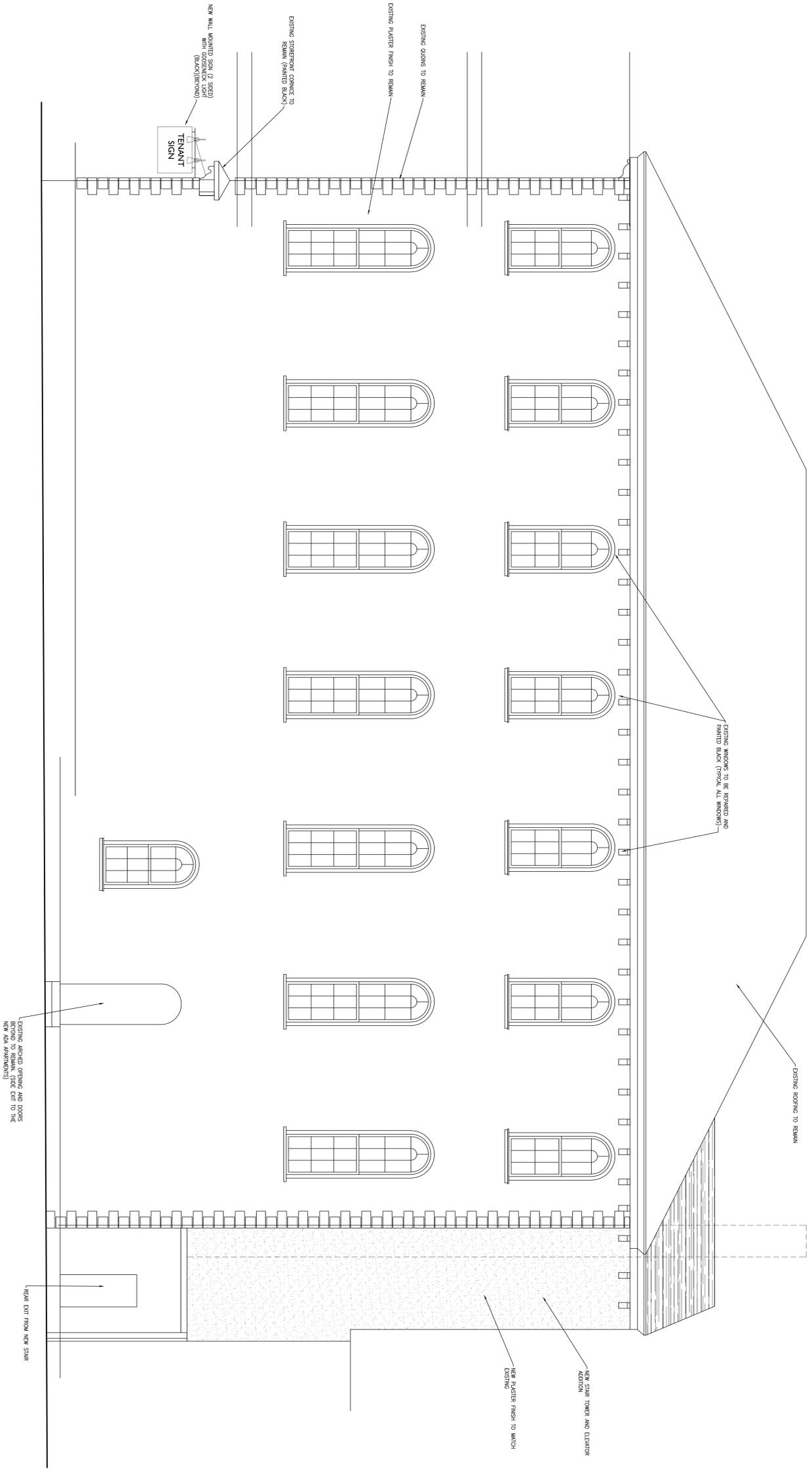
SHEET TITLE:
PROPOSED ELEVATION
 PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
 MAIN STREET LOFTS III
 34 S. MAIN STREET
 POENIXVILLE, CHESTER COUNTY, PA. 19460**

EGHC
 ARCHITECTS _LLC
 189 W. LANCASTER AVENUE, PAOLI, PA 19301
 (610) 543-7881 info@3ghc.net



DATE: 06/08/2023
 SCALE: AS NOTED
 DRAWN BY:
 CHECKED BY:
 PROJECT #:

A2.0
 SHEET NO. 10 OF 14



PROPOSED NORTH ELEVATION (3FT ALLEY)
 1/4" = 1'-0"

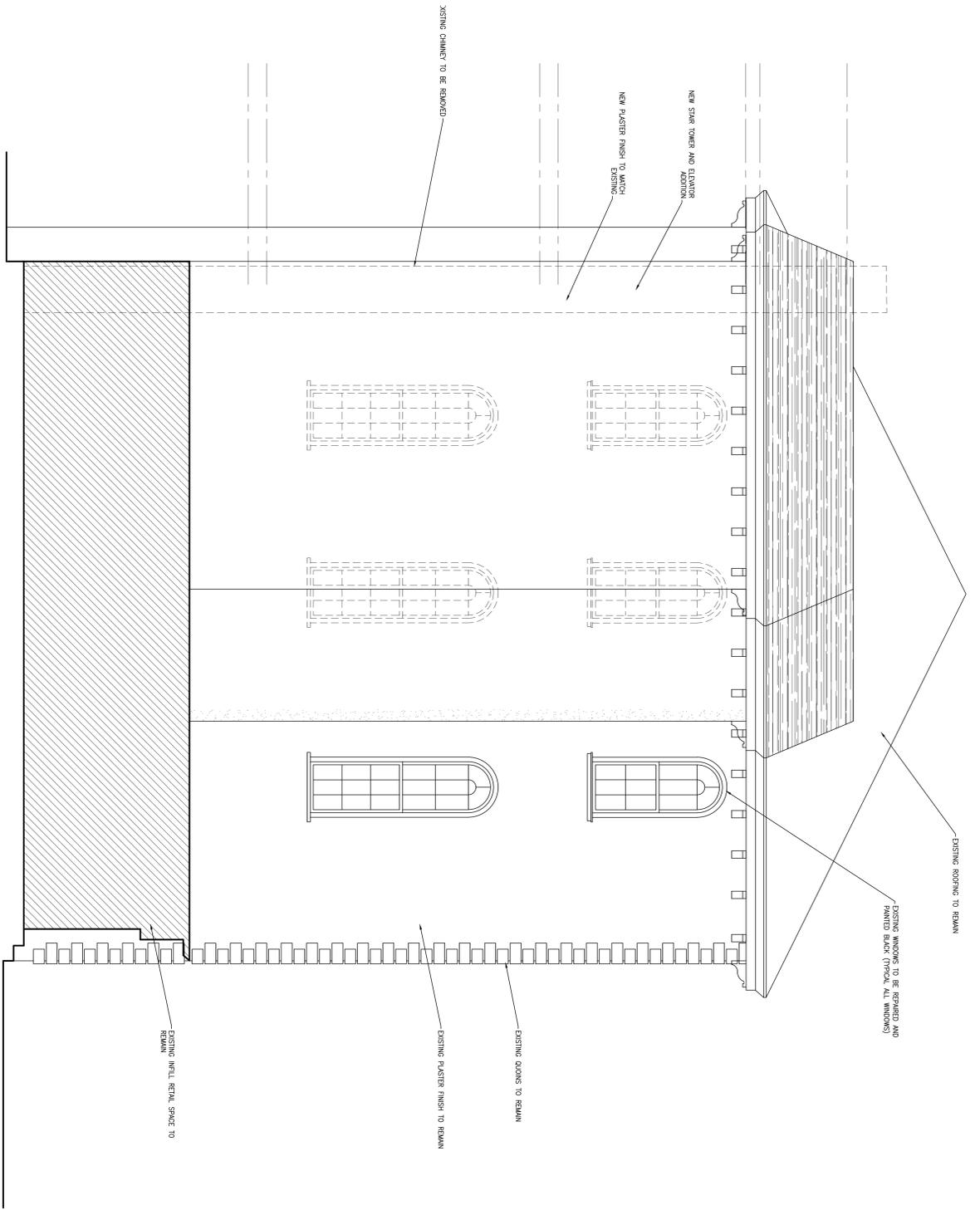
NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

DATE: 06/08/2023
 SCALE: AS NOTED
 DRAWN BY:
 CHECKED BY:
 PROJECT #:

SHEET TITLE:
PROPOSED ELEVATION
 PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
 MAIN STREET LOFTS III
 34 S. MAIN STREET
 POENIXVILLE, CHESTER COUNTY, PA. 19460**

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1
 0.125
 1/4" = 1'-0"
 PROPOSED WEST ELEVATION

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

SHEET TITLE:
PROPOSED ELEVATION

PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
 MAIN STREET LOFTS III
 34 S. MAIN STREET
 POENIXVILLE, CHESTER COUNTY, PA. 19460**



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DATE:
 06/08/2023

SCALE:
 AS NOTED

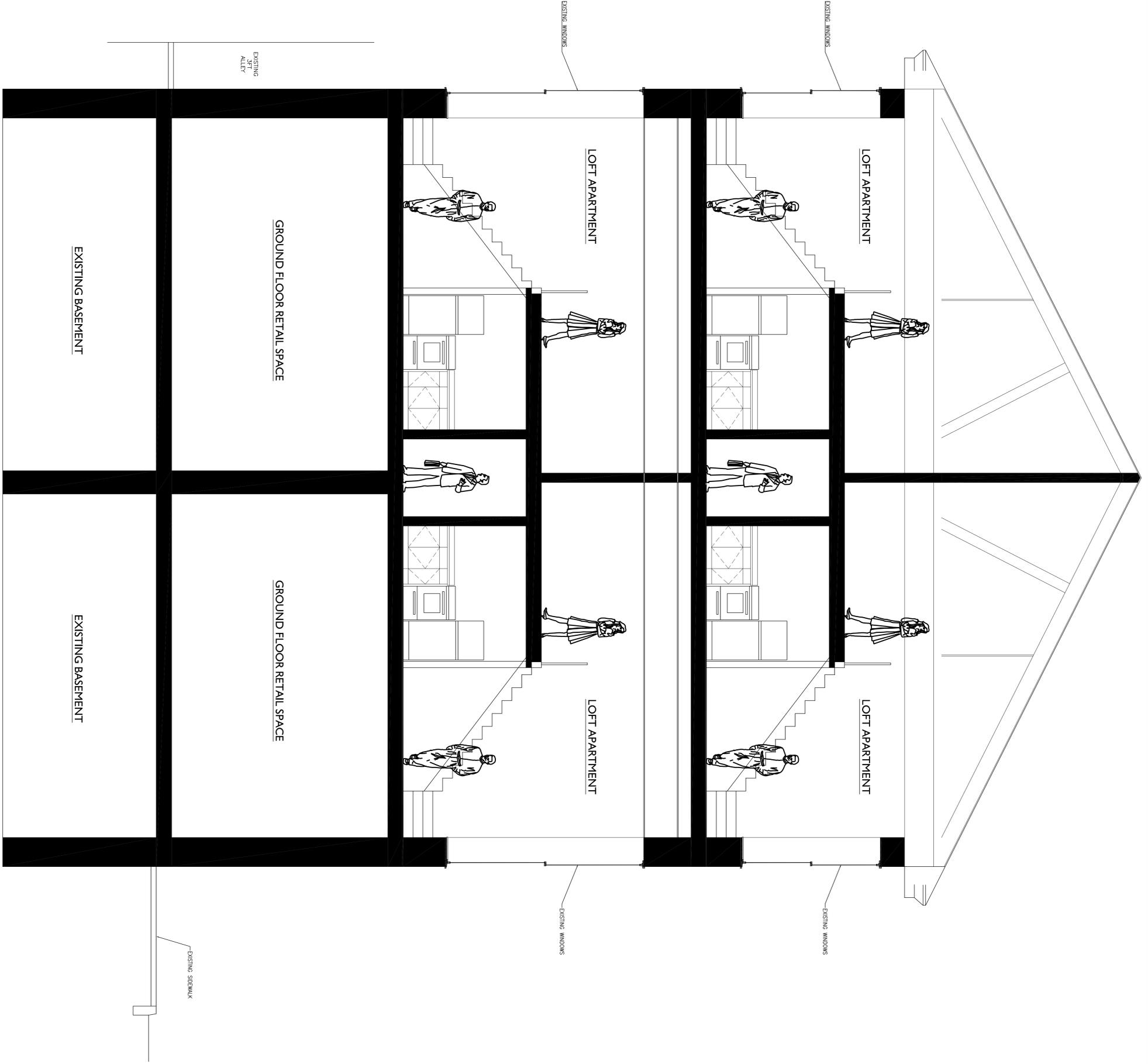
DRAWN BY:

CHECKED BY:

PROJECT #:

A2.3

SHEET NO.:
 13 OF 14



1 REVISED PER TWP. COMMENTS 8/23/23

A3.0

DATE: 06/06/2023
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
PROJECT #:

REVISIONS NO.	DESCRIPTION	DATE
1	REVISED PER TWP. COMMENTS	8/23/23

SHEET TITLE:
PROPOSED SECTIONS
PROJECT:
**PROPOSED MIXED-USE DEVELOPMENT
MAIN STREET LOFTS III
34 S. MAIN STREET
POENIXVILLE, CHESTER COUNTY, PA. 19460**



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