

PHOENIXVILLE BOROUGH STANDARD NOTES

As used in the notes and certifications on this Plan, the following terms shall have the following meaning:

APPLICANT - The person(s) and/or entity(ies) who or which has submitted this Plan to the Borough for approval pursuant to the Borough's Subdivision and Land Development Ordinance. The Applicant for this project is: SYT Oakwood Apartments, LLC.

APPLICATION - the Applicant's application, to the Borough, for approval of this Plan pursuant to the Borough's subdivision and land development regulations.

BOROUGH - the Borough of Phoenixville, Chester County, Pennsylvania.

DEVELOPER - the person(s) or entity(ies) who or which implement the land development shown on this Plan. The Developer for this project is: SYT Oakwood Apartments, LLC.

PROPERTY OWNER - all legal and equitable owners of the Property and their heirs, successors and assigns. The Property Owner for this project is: SYT Oakwood Apartments, LLC.

PROPERTY - the property which is subdivided and/or developed pursuant to this Plan and identified by this Plan as being owned by the Property Owner. The property address for this project is: 1050 West Bridge Street, Phoenixville, PA 19460.

PLAN - this Plan as approved by the Borough.

UPI - Chester County Uniform Parcel Identifier (number). The UPI for this project are: 15-12-196, 15-12-197, 15-12-197.2 & 15-12-197.4.

- (1) The Borough of Phoenixville's approval of this Plan, as a Preliminary/Final subdivision and land development plan, pursuant to the Borough of Phoenixville Subdivision and Land Development Ordinance of 2016, Ordinance No. 2267, as amended, was made by Borough Resolution No. 202X-XX, which was adopted on January 1, 202X. This Plan shows the conditions of its approval per Resolution No. 202X-XX. The conditions bind all Owners, Developers and Users of the Property hereby developed and/or subdivided and their heirs, successors and assigns. The conditions may create on-going obligations, limitations and/or requirements affecting the use of the Property. The Resolution is kept by the Borough Secretary at the Borough Hall and may be inspected there by the public. Copies of the Resolution are also available from the Borough for a charge. (The note shall include the Resolution Number and date of its adoption.)
- (2) All conditions of plan approval shown on this Plan, and offers of dedication, shall run with the land forever and shall be enforceable by the Borough.
- (3) The Applicant represents to the Borough that the Applicant has all the property rights necessary to make the Application and at the time any permits for the implementation of the Plan are issued and/or work commenced, will have all the rights necessary to implement the Plan completely in compliance with all applicable regulations and without violating the property rights of others. If the Applicant does not have or loses any such property rights this approval shall be voidable by the Borough by written Resolution. If any other party takes any legal action against the Borough for any reason involving and/or alleging the Applicant's or Property Owner's lack of any such property right, the Applicant and Property Owner shall hold the Borough harmless and indemnify it from any and all liability, loss, claim, cost and/or expense, including but not limited to attorney's fees resulting from such legal action.
- (4) A highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law," before driveway access to a State highway is permitted. Access to a State highway shall be only as authorized by a highway occupancy permit. Neither the Pennsylvania Department of Transportation ("PennDOT") nor the Borough shall be liable for any damage or claim whatsoever for any injury to person or property arising out of the issuance or denial of a highway occupancy permit or for failure to regulate any driveway. Furthermore, the Borough shall not be liable for any damage and/or claim whatsoever arising out of the issuance or denial of a highway occupancy permit by PennDOT.
- (5) All areas shown as and/or required to be (at the time the Borough adopted Resolution No. 202X-XX) open space or common area shall be used only as open undeveloped areas and shall not be further subdivided and/or alienated so as to create any rights that could infringe on this open space use limitation.
- (6) At the Borough's request, the Property Owner shall execute and record, with the appropriate offices and officials and in the appropriate and legally effective manner for the purpose, all documents, plans, deeds and declarations (collectively "Recordings") required to be recorded, by applicable regulations, the terms of Final plan approval and/or notes on this Plan, and shall provide the Borough with copies, certified by the recording official, of all such Recordings, or, at the Borough's option, the Borough may record such documents and the Property Owner shall pay the Borough's costs. *(This is the information that is to be of record for the Plan itself.) (Things to be recorded prior to start of work.)*
- (7) At the Borough's request, the Property Owner will execute, acknowledge and deliver all documents, deeds and/or instruments necessary or appropriate, in the opinion of the Borough Solicitor, to implement this Plan as approved and to record all instruments, deeds, covenants, easements and/or rights-of-way which are required by the terms of Final plan approval and/or notes on this Plan to be conveyed to the Borough. *(This includes deeds of dedication to be offered upon completion.)*
- (8) The Borough may withhold building and/or occupancy permits and/or refuse to accept dedication of improvements and/or release improvement security if the land development and/or subdivision is/are not and is/are not implemented in full compliance with any other governmental unit's regulations which apply to the building, structure, occupancy, work and/or improvement for which Borough action is requested. However, the Borough does not hereby assume any duty to inspect for or approve any work or condition pursuant to any other governmental entity's regulation. It is the Property Owner's obligation to achieve compliance with any and all regulations of other governmental entities by working directly with such entity. To the extent that such approvals of other governmental entities are required, for the improvements, work and/or proposed use, the Property Owner represents that these approvals have been applied for and all are granted and in effect or will be so prior to the issuance of any Borough building permit to construct new improvements pursuant to this Plan. By requiring compliance with the regulations of other governmental entities and/or by approving the Development and Subdivision Plan or any plan amendments, neither the Borough nor any Borough official represents that the subject matter of the Borough's approval complies with such other entity's regulations or has been approved by or is entitled to be approved by such other entity or that the subject of the approval has been designed correctly or will function safely.
- (9) The streets, street rights-of-way and street drainage rights, public water supply facilities and the easements therefore and the public sanitary sewer system and the easements therefore, as shown on this Plan, are offered hereby for dedication to the Borough perpetually and irrevocably. The street drainage rights include the right to use, repair and replace any stormwater management facility which drains runoff from a dedicated road (this right does not include any duty to repair or maintain any such facility). Also offered hereby for dedication to the Borough, perpetually and irrevocably, is an exclusive easement, right-of-way and rights (all called "Utility Easement Rights") for the purposes ("Utility Purposes") of any utility and all utilities, with free and uninterrupted right of entry upon the Property for access to and use of the Easement Area. "Utility" includes, but is not limited to, any and all water, sanitary sewer, stormwater management, electric, telephone, cable TV and information transmission lines, facilities, systems, structures and/or operations no matter who the operator(s) and owner(s) are. The Utility Purposes include, but are not limited to, the free right to lay out, place, construct, operate, inspect, test, maintain, repair, replace, relocate, reconstruct, enlarge, change and/or use any and all line(s), structure(s), facility(ies) and/or system(s) and any and all appurtenance(s) thereto for any and all Utility Purposes. The Easement Area shall include and is limited to all of the area of the Property, which area is within all water supply and sanitary sewer easements and/or all street rights-of-way. The Utility Easement Rights may be used over, under, upon and through any and all part(s) of the Easement Area. All the offered rights include a negative easement which prohibits, in the offered right-of-way and/or easement area, any activity, use, condition, plant, improvement, structure and/or building which, in the sole judgment of the Borough, is inconsistent in any way with and/or may in any way interfere with, endanger and/or obstruct the safe or efficient use of and/or any purpose of the offered rights. The negative easement shall also provide that no structure shall be permitted on, over and/or under any part of the right-of-way and/or easement area, without the Borough's prior approval, by written Resolution, specifically authorizing such use.

- (10) If and when requested by the Borough, the Applicant and Its / His /Her /Their, successors and assigns shall transfer title to any and/or all of the offered rights and improvements to the Borough. Such transfer shall be by deed(s) or agreement(s) of dedication which shall be in such form as the Borough may require and title to all such rights and improvements shall be good and marketable and free from any encumbrance. When transferring to Its / His /Her /Their assigns the Property Owner shall and hereby does reserve and except for itself all interests and rights necessary for either to make, fully and completely, all the dedications required hereby. However, these reserved rights to dedicate shall not be exclusive and the (Lot Owners, Applicant's and Property Owner's(s) successors and assigns) may also make such dedications. In any event, the Applicant's and Property Owner's(s) successors and assigns shall be obligated to make such transfer to the Borough, at the Borough's request.
- (11) Neither the Borough's approval of this Plan, the Plan's recording nor any note hereon is intended to or does obligate the Borough to maintain and/or accept, in any way, any street, stormwater management, water supply and/or sanitary sewer facility, easement or right-of-way and/or any other improvement shown hereon and/or any Utility. If the Borough, in its discretion, takes dedication of a street or street right-of-way, unless the deed of dedication expressly and clearly provides otherwise, the Borough will not take fee title to the area within such street right-of-way and will not own or be responsible for any street tree, sidewalks (either existing, required or provided hereafter whether or not shown on this Plan) and yard areas within such right-of-way. Responsibility for such street trees, sidewalks and yard areas shall remain, for all purposes, with the owner(s) of the fee title. The Borough, at any time prior to accepting dedication of a street, may require a street tree to be moved. All rights dedicated to and accepted by the Borough, unless the Borough shall require otherwise, shall be perpetual, run with the land and be assignable by the Borough.
- (12) The Utility systems shall be installed, and inspected and approved as required by the Borough Engineer, before paving of the cartway, pouring of concrete for and/or paving of sidewalks and the construction of any other improvement with which the construction of the Utility system might interfere. No Utility system shall be installed and/or easement for such system granted, within any right-of-way and/or easement for any road, street, sewer, water supply and/or stormwater management facility, proposed to be dedicated to the Borough, unless and until the plans for such Utility system and/or easement and the timing of its construction are approved by the Borough Engineer in writing.
- (13) If the Borough accepts, from the Developer, the Developer's successor or assign or any other grantor, a deed or other instrument of dedication for any improvement, the Developer and its successors and assigns shall hold the Borough harmless and defend the Borough and all Borough officials, from and against any and all claims, demands, suits, judgment and liabilities whatsoever resulting from the negligent construction, design and/or inspection of the Improvements.
- (14) All trees existing in and/or planted in the public street right-of-way shall be owned and maintained in good, healthy and safe condition, at all times, by the fee owner of the part of the Property where the tree is located. The Borough shall have the right, but not the duty, to inspect any such tree and to require its Owner, at the Owner's expense, to prune; maintain and, if the tree is dead, diseased, damaged, malformed or a threat to public safety, to remove the tree and replace it with a tree of at least a three (3") inch caliper and of the same species or a species approved by the Borough. All liability for any tree on the Property shall be on the fee owner of the part of the Property where the tree is located. Without limitation, such owner shall have the duty to ensure that the tree does not create any nuisance or safety hazard.
- (15) Irrevocable licenses and rights of entry upon any of the property subject to this Plan are hereby granted to the Borough of Phoenixville, its officers and agents, for the purpose of correcting or abating a public nuisance and/or to add to, repair, modify and/or replace any drains, stormwater management facilities, sewers, water lines and/or other utilities which are connected to a public facility or utility and to inspect and enforce the Borough's regulations and/or compliance with this Plan. These rights create no Borough duty to do any such work or inspections.
- (16) Any improvement shown on this Plan which does not function safely, as intended and/or in complete compliance with all applicable regulations shall be redesigned and reconstructed promptly, by the Developer and/or the Property Owner, at such party's expense, to be safe, function as intended and to comply with all applicable regulations. All such new designs and specifications shall be subject to the Borough Engineer's prior written approval and inspection, during and after construction, all at the Applicant's cost.
- (17) The stormwater management facilities (individually "Stormwater Facility," and collectively "Stormwater Facilities"), located on the Property and shown on this Plan are permanent and are not to be removed or altered. Stormwater facilities include, but are not limited to, swales designed or used to convey stormwater. The Owner(s) of each parcel where any Stormwater Facility is located and such Owner's /Their heirs, successors and assigns (collectively the "Owner") shall be responsible for the perpetual maintenance of the Stormwater Facilities located on that parcel. The Owner shall maintain the Stormwater Facilities, for which the Property Owner is responsible, in a condition which is structurally sound and functional and in compliance with all regulations and shall not cause or allow any such facility to be altered, removed, silted up, overgrown and/or fail to function as designed and/or as required by applicable regulations. If the Owner does not do so, upon notification by the Borough, the Property Owner, as promptly as possible, shall correct, repair, reconstruct and/or replace such facility to achieve and maintain the facility's design specifications, functions and its compliance with all applicable regulations. If the Owner fails to so restore and/or correct the Stormwater Facility, within the time specified by the Borough, the condition of the Stormwater Facility shall be a public nuisance and the Borough shall have the free right to enter upon the Property and to do such repairs, maintenance, replacement and/or reconstruction as the Borough determines necessary with respect to such Stormwater Facility. All such correction, repairs, reconstruction and/or replacement and the design costs thereof shall be at the expense of the Owner jointly and severally. The Borough may lien and execute on the Property (as a municipal claim and lien and/or in any other manner provided by law) for the cost of all such work, including any engineering and design cost, and for attorneys' fees for enforcement and collection.
- (18) Each assignee of any parcel on this Plan shall be responsible for all the terms and conditions of this Plan as applicable to such parcel. As used in these Plan notes, "Applicant," "Property Owner" and "Developer" include such party's heirs, successors and assigns.
- (19) Each lot shown on this Plan shall have private implied access easements and rights-of-way over only the roads shown hereon which are actually constructed.
- (20) All plants which are provided pursuant to the Plan shall conform to the current American Standard for Nursery Stock of the American Association of Nurserymen, Inc. Each plant shall be mulched when planted with three inches of mulch approved by the Borough. Trees and shrubs, which grow to heights of five feet or taller, shall be placed so that their branches will not grow into any buildings, obstruct driveway and/or street sight triangles or interfere with overhead public utilities.
- (21) As part of the land development and subdivision plan review and approval process, the Borough did not determine whether there are any wetlands on the Property. If the U.S. Army Corps of Engineers ("Corps") or Pennsylvania Department of Environmental Protection ("DEP") determines that there are such wetlands on the Tract and the applicable wetland regulations result in a relocation and/or redesign of any improvement or affect compliance with any applicable regulation, this Plan shall be voidable by the Borough, by written Resolution, and the Borough may require the Property Owner to amend the Development and Subdivision Plan. In such case, the Borough may require its prior written approval of the amendment which approval may be granted subject to such conditions as Borough Council determines appropriate.
- (22) Note removed.
- (23) The Borough and Borough Engineer have reviewed the Development and Subdivision Plan and all information supplied with it only for Borough purposes and only for compliance with Borough regulations, such as those relating to stormwater management and erosion and sedimentation control. The Borough does not warrant, in any way, the improvements or work shown on the Plan. In reviewing the Development and Subdivision Plan and any future plans, plan changes and/or specifications and designs concerning the proposed use, improvements and/or work, the Borough Engineer and all Borough officials have relied and may rely on the information supplied by the Applicant. The Applicant is responsible for the accuracy and completeness of all information (e.g., property ownership, encumbrances, measurements, calculations, plans, locations, surveys and site data) supplied to the Borough at all times. It is the Applicant's and Applicant's Engineer's duty to identify all relevant conditions both on and off the Property. The Applicant must determine and the Applicant's Engineer must certify to the Borough that all Plans do comply and that all improvements and work, when implemented in the field as shown on the Plans, will comply with all applicable regulations, will in all ways reflect good engineering and construction practices and will not result in damage to any persons or property. In making these determinations, neither the Applicant nor the Applicant's Engineer has relied or shall rely upon any approval, permit, determination of or information or recommendations from or specifications established by the Borough, the Borough Engineer or any other Borough official. No Borough official is responsible for designing, choosing specifications for or proper construction and/or suitability of any improvement or work or for determining title issues concerning the Tract and/or any encumbrance or for field checking anything shown on the Plan as part of the plan review and/or inspection process. The Borough has assumed and may assume that the Applicant warrants to the Borough, and the Applicant does so

warrant, that any plan, application and/or request for Borough approval, submitted to the Borough, complies with all applicable regulations and shows all relevant information completely and accurately and that the Applicant's Engineer has so certified. The issuance of any permit or approval by any Borough official does not relieve the Applicant of the responsibility to determine independently and insure that the improvements and/or work are designed and constructed properly, comply with all applicable regulations and will be fit and safe for their intended purposes. If the improvements and/or work are not so designed and constructed, the Borough may require redesign and reconstruction to achieve such compliance.

(24) Prior to the issuance of any building permits to implement the plan, the Applicant and if the Borough requires, the Property Owner must enter into a development agreement and an improvement security agreement with the Borough, with terms and conditions satisfactory to the Borough, and must provide the requisite improvement security as identified by the Borough Engineer. The improvement security shall secure, for the Borough's benefit, the proper and timely completion of the Developer's obligations under the development agreement. The improvement security shall not be a bond. The development agreement may provide that the Borough may withhold and/or revoke permits if the Developer is in default of its obligations thereunder. No work shall be done to implement the plan and no building permits shall be issued for any such purpose until the development agreement is executed, the plans are finally approved in all respects and the requisite improvement security is posted to the Borough's satisfaction.

Rev. May 14, 2025 : Borough Engineer's review letter dated 3/25/25.
Rev. February 26, 2025 : per CCD review letter dated 02/13/25.
Rev. February 4, 2025 : per Borough Engineer's review letter dated 12/24/24 & Borough Planner's review letter dated 01/02/25.
Rev. November 25, 2024 : per Borough Engineer's review letter of October 4, 2024, Borough Planner's review letter of October 1, 2024, Borough Landscape Architect's review letter of October 1, 2024 & CCD review letter dated November 6, 2024.
Rev. September 16, 2024 : per CCD pre-application meeting.
Rev. July 8, 2024 : per Borough Engineer's review letter of June 26, 2023, CCPC review letter of June 28, 2023, Borough Planner's review letter of June 30, 2023 & Borough Fire Chief's review letter of July 20, 2023.

ACKNOWLEDGMENT AND AGREEMENT FOR ELECTRONIC MEDIA AND PLAN INFORMATION

These documents including plans, specifications, reports and electronic media files were prepared specifically for this project for the individual(s) named on the documents as dated. The documents are not represented to be suitable for reuse on extensions of this project, or for any other project, nor are they to be used by anyone other than the original client named on the plans. Any such reuse or modification is strictly forbidden, and therefore, any use or modification shall be an agreement deemed to indemnify and save harmless Bercek & Associates, for all claims, damages, losses and expenses arising from the use herefrom. The information contained in the documents is to be verified in the field prior to construction and any user of the information is also obligated to report any discrepancies to Bercek & Associates.

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112 N. Lewis Road - Royersford, PA 19468 - Phone : 610-948-8947 - Email : mbercek@bercekkassociates.com

Standard Notes Plan for
OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023 - Plan No. C-22-003
Sheet 02 of 20

LEGEND

- PROPERTY BOUNDARY
- PROPERTY CORNER
- BUILDING SETBACK LINES
- - - EXISTING BOUNDARY LINE TO BE EXTINGUISHED
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING CURB
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING MANHOLE
- EXISTING SANITARY MAIN
- EXISTING SANITARY LATERAL
- EXISTING STORM PIPING
- EXISTING STORM INLET
- EXISTING DOWN SPOUT
- EXISTING GAS MAIN
- EXISTING UG. ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINES
- EXISTING COMM. BOX
- EXISTING TREES
- MUNICIPAL BOUNDARY

WEST BRIDGE STREET (S.R. 1019)

DEGER AVENUE

YORK STREET

AVENUE

STREET

TYLER AVENUE

CHERRY

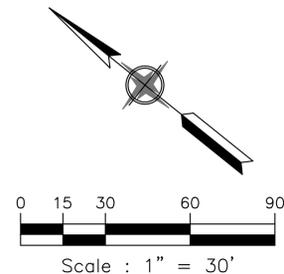
PARKVIEW DRIVE (PRIVATE)

**Borough of Phoenixville
Schuylkill Township
Borough / Township Line**

ZONING REGULATIONS RI - RESIDENTIAL INFILL DISTRICT

(MULTI-FAMILY)	(REQUIRED)	(EXISTING-CONSOLIDATED)
MIN. LOT AREA	4,000 S.F.	167,906 S.F.
MIN. LOT AREA PER UNIT	1,000 S.F.	138,000 S.F.
MIN. LOT WIDTH	40'	441.9'
MIN. LOT DEPTH	120'	406.1'
BUILD TO LINE	EXISTING	EXISTING
MIN. SIDE YARDS	20'	20'
MIN. REAR YARD	20'	14.8'
MAX. IMP. COVERAGE	80%	58.4%
MAX. BLDG. HEIGHT	35'	<35'
ACCESSORY SETBACK	8' REAR & 5' SIDE	-

* EXISTING NON-CONFORMING



PROPOSED SANITARY SEWER EASEMENT
 A - B S51° 21' 44" W - 18.43'
 B - C N06° 50' 00" E - 25.77'
 C - A S38° 49' 16" E - 18.07'
 CONTAINS: 166 S.F.±

- SITE IMPROVEMENTS & UTILITIES NOTES:**
- Handrails shall be installed on all steps with more than 3 risers.
 - All internal water and sewer lines are considered to be private and subject to compliance with the Borough Plumbing Code.
 - Prior to the demolition of the three existing dwellings, the existing sanitary sewer laterals and water laterals in West Bridge Street are to be cut-off and capped at the Right-of-way Line and not at the mains.
 - The locations of all underground water, sanitary sewer and gas laterals, electric and communications lines are shown on these plans to the best of our knowledge. The contractor shall field verify all utility locations prior to the start of any site work.
 - For the existing sanitary sewer manhole within the drip line of the ex. 34" Oak tree that is to be abandoned in place, remove the rim and riser section. Drill and/or puncture the bottom of the manhole base section to allow it to de-water. Earth disturbance within the drip line of the tree shall be minimize to complete this work.
 - For the existing vitrified clay sanitary sewer lateral to be abandoned in place, the lateral shall be completely filled with concrete flowable fill.

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Lot Consolidation, Existing Features & Demolition Plan for
OAKWOOD APARTMENTS
 Borough of Phoenixville - Chester County, PA
 April 21, 2023 Plan No. C-22-003
 Sheet 03 of 20

May 14, 2025

LEGEND

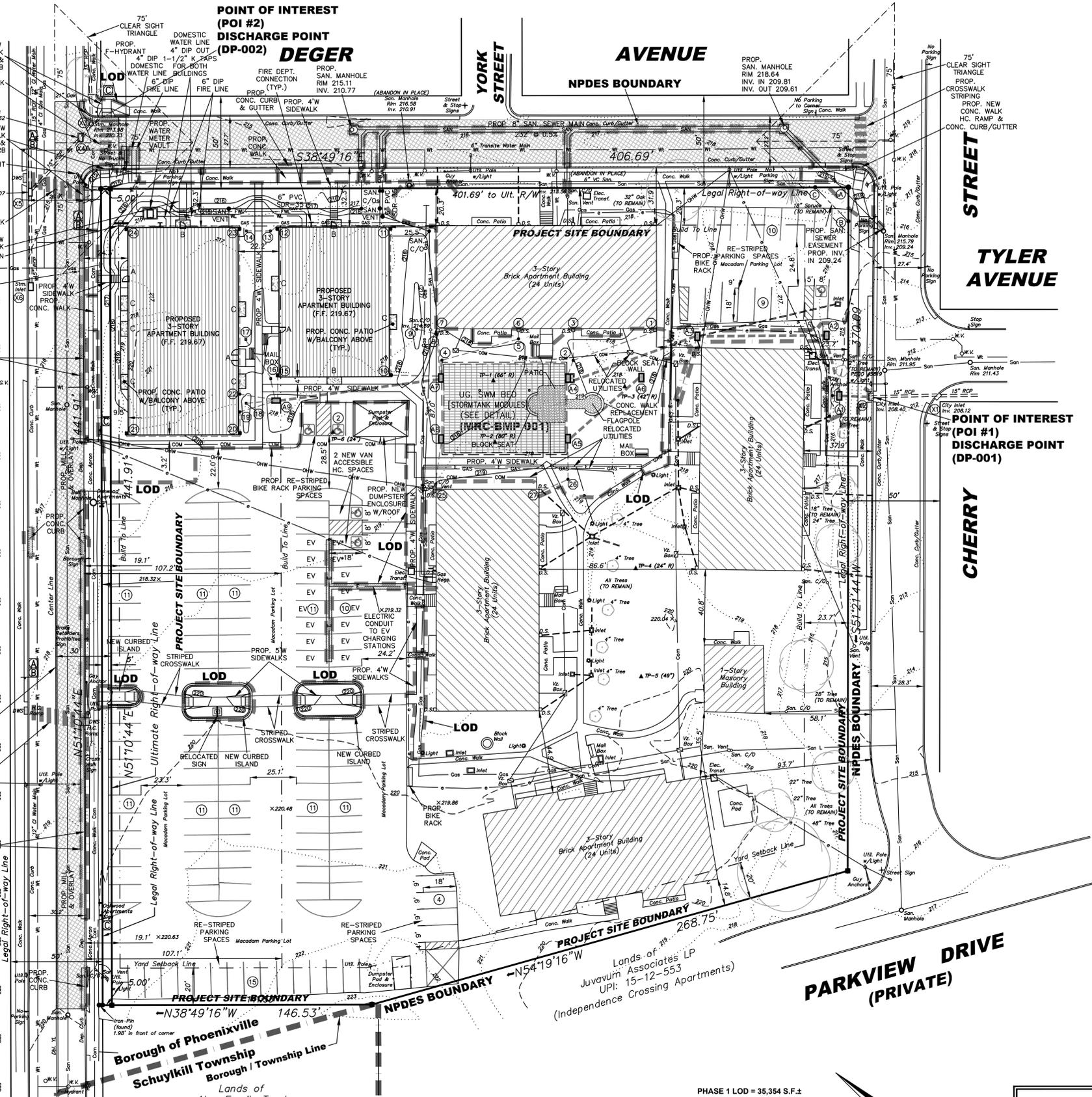
- PROPERTY BOUNDARY
PROPERTY CORNER
BUILDING SETBACK LINES
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EXISTING MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING SPOT ELEVATION
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EXISTING WATER LINES
EXISTING COMM. BOX
EXISTING TREES
MUNICIPAL BOUNDARY
PROPOSED CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED SANITARY MAIN
PROPOSED SANITARY LATERAL
PROPOSED SANITARY CLEAN-OUT
PROPOSED SANITARY MANHOLE
PROPOSED STORM PIPE
PROPOSED INLET (TYPE M)
PROPOSED 12" YARD DRAIN
PROPOSED DOWN SPOUT
PROPOSED STORM CLEAN-OUT
PROPOSED WATER LATERAL
PROPOSED FIRE WATER LATERAL
ELECTRIC VEHICLE PARKING SPACE
ELECTRIC VEHICLE PARKING SPACE (FOR PUBLIC USE)
PROPOSED CONCRETE MONUMENT
LIMIT OF DISTURBANCE (LOD)
NPDES BOUNDARY
PROPOSED PAVEMENT RESTORATION
PROPOSED MILLING & OVERLAY

SITE IMPROVEMENTS & UTILITIES NOTES:

- 1. Handrails shall be install on all steps with more than 3 risers.
2. All internal water and sewer lines are considered to be private and subject to compliance with the Borough Plumbing Code.
3. Prior to the demolition of the three existing dwellings, the existing sanitary sewer laterals and water laterals in West Bridge Street are to be cut-off and capped at the Right-of-way Line and not at the mains.
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POINT OF INTEREST (POI #2) DISCHARGE POINT (DP-002) DEGER



SITE CONSTRUCTION SEQUENCE

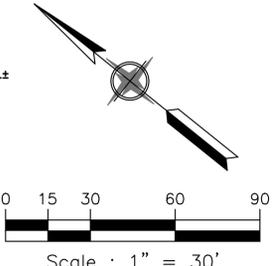
Approximate Starting Date for Construction: Summer 2025
Approximate Completion Date for Construction/Final Stabilization: Spring 2026
A copy of the approved erosion and sediment control plan must be available at the project site at all times. Additionally, the operator shall assure that the approved erosion and sediment control plan is properly and completely implemented. The operator shall assure that an erosion and sediment control plan has been prepared, approved, and implemented and maintained for all off-site soil, rock spoil or borrow areas. At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One-Call System Incorporated at 1-800-242-1776 for buried utilities locations. Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved erosion and sediment control plan, the operator must receive approval of the revisions from the design engineer and the Municipality. Before disposing of soil or receiving borrow for the site, the operator must assure that each spoil or borrow area has an erosion and sediment control plan which is being implemented and maintained according to Chapter 102 regulations. If unfavorable conditions are encountered during the installation of a stormwater best management practice, the design engineer shall be contacted to analyze the alternative solutions and possibly re-design the stormwater best management practice(s), as necessary. During construction of the proposed site improvements, the site contractor is required to utilize dust control measures per Appendix H of the PADEP's Erosion and Sedimentation Pollution Control Program Manual. Dust control measures shall consist of the use of one or more of the following: sprinkling/irrigation, vegetative cover, mulch, wind erosion control, placement of stone and/or straw or chemical soil treatments. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE. Construction activities will be sequenced to minimize the time of exposure of any disturbed areas and to direct runoff from the construction areas into the temporary control facilities as follows:

- Phase 1
1. Install compost filter sock at the locations shown on the Phase 1 plan. Compost filter socks are intended to control sediment runoff from construction activities.
2. Install tree protection fencing (6 ft. high) at the locations shown on the Phase 1 plan. Tree protection fencing shall be installed to protect existing trees and the location of the proposed Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) prior to any earth disturbance.
3. Install inlet protection (Type M) at the locations shown on the Phase 1 plan.
4. Remove existing parking lot paving in the proposed Rock Construction Entrance location. Install a Rock Construction Entrance with a Wash Rack at the location shown on the Phase 1 plan. Construction vehicles shall only use the Rock Construction Entrance location for construction site access. Vehicles shall not drive over the proposed location of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) during construction. Install a concrete wash water area at the location shown on the plans.
5. Clear, grub and strip any topsoil within the Phase 1 limit of disturbance area. Install compost filter sock on the downslope sides of the proposed Phase 1 stockpile area. Random placement of fill on an undisturbed area of the site is not allowed.
6. Begin demolition of the existing dwellings. Remove existing driveways for the dwellings, as necessary. Remove existing parking lot paving, as necessary. Excavate and/or fill, as necessary, to provide rough grading for the proposed apartment building areas.
7. Excavate and/or fill, as necessary, to provide rough grading for the existing dwellings, as necessary. Temporarily stabilize any disturbed areas.
8. Within the existing courtyard area, remove the existing concrete sidewalk and the flagpole area within the Underground Rain Tank Modules with a Stone Bed area (MRC BMP 001), as necessary. Temporarily stabilize any disturbed areas.
Phase 2
9. After rough grading procedures have been completed for the apartment building areas, remove the Phase 1 stockpile location. Install compost filter sock at the locations shown on the Phase 2 plan. Install orange protection/safety fencing (6 ft. high) at the locations shown on the Phase 2 plan. Install inlet protection (Type M & Type C) at the locations shown on the Phase 2 plan. Install a concrete wash water area at the location shown on the Phase 2 plan.
10. Clear, grub and strip any topsoil within the remaining limit of disturbance area.
11. Begin construction of the proposed apartment buildings.
12. Excavate and/or fill, as necessary, to provide rough grading for the remainder of the Phase 2 limit of disturbance area.
13. Excavate and/or fill, as necessary, to install and backfill the proposed sanitary sewer main within the Deger Avenue cartway area. Excavate and/or fill, as necessary, to install and backfill the proposed water laterals, the fire lines, the water meter pit, the gas lines, the sanitary sewer laterals and the underground electric/telephone/communication service lines within the Deger Avenue right of way area. Provide pavement restoration, sidewalk replacement and concrete curb/gutter replacement for Deger Avenue after the utilities for the proposed apartment buildings have been completed.
14. Excavate and/or fill, as necessary, to install and backfill storm sewer pipe run A4 to A3 to A2 to A1 to X1. All storm sewer connections shall be watertight. Install inlet protection (Type M filter bags) for storm inlets A3, A2 & A1. Temporarily block the top of outlet control structure A4 by placing geotextile fabric (PennDOT Class 2) under the grate. Provide sidewalk replacement after pipe run A2 to A4 to A3 to A2 to A1 to X1 has been completed.
15. Complete the construction of the proposed apartment buildings. Install a proposed dumpster pad enclosure with a roof and a gate at the existing dumpster pad location on the south side of the proposed apartment buildings.
16. Excavate and/or fill, as necessary, to install and backfill storm sewer pipe runs A6 to A7 and A6 to A5. Excavate and/or fill, as necessary to install and backfill the roof drain pipes and the yard drains. All storm sewer connections shall be watertight. Install inlet protection (Type M filter bags) for the top of storm inlets A9, A8, A7, A6, A5 & A4. Temporarily block the top of yard drains by placing geotextile fabric (PennDOT Class 2) under the grate.
17. Excavate and/or fill, as necessary, to install the proposed curb islands and sidewalk within the W. Bridge Street parking lot area. Provide pavement restoration for the W. Bridge Street parking lot area. Remove the existing mid-block crosswalk at approximate Station 200+39 along W. Bridge Street. At the existing mid-block crosswalk location, remove existing handicap ramps, and existing depressed curb on the northwest side of W. Bridge Street. At the existing mid-block crosswalk location, install concrete curb and pavement restoration on the northwest side of W. Bridge Street.
18. Excavate and/or fill, as necessary, to install the proposed underground conduit for the electric vehicle parking spaces within the W. Bridge Street parking lot area. Provide pavement restoration for the W. Bridge Street parking lot area.
19. Excavate and/or fill, as necessary, to remove the existing curb along the southwest side of W. Bridge Street. Install the proposed concrete curb along the southeast side of W. Bridge Street. Provide pavement restoration for W. Bridge Street after the concrete curb has been completed.
20. Install the proposed concrete sidewalk around the perimeter of the apartment buildings. Remove the existing handicap ramps at the W. Bridge Street/Deger Avenue intersection and at the Deger Avenue/Cherry Street intersection. Install the proposed handicap ramps at the W. Bridge Street/Deger Avenue intersection and at the Deger Avenue/Cherry Street intersection. Provide pavement restoration for W. Bridge Street and Deger Avenue after the proposed handicap ramps have been completed.
21. After the proposed sidewalk around the perimeter of the apartment buildings has been completed, provide finished grading around the perimeter of the apartment buildings. Provide permanent stabilization for the proposed lawn areas around the perimeter of the apartment buildings. Remove the orange protection/safety fencing from the area of the proposed Underground Storm Tank Modules with a Stone Bed (MRC BMP 001).
22. Excavate and/or fill, as necessary, to relocate existing utility lines (water, gas, electric, communications, etc.) in the area of the proposed Underground Storm Tank Modules with a Stone Bed (MRC BMP 001). Bercek and Associates shall conduct the oversight/inspection. Contractor shall document the construction with photographs of the subsurface excavation, the placement of the 4" underdrain and the installation of the Underground Rain Tank Modules with a Stone Bed.
23. Critical Stage: Engineering construction oversight/inspection is required for the installation of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001). Bercek and Associates shall conduct the oversight/inspection. Contractor shall document the construction with photographs of the subsurface excavation, the placement of the 4" underdrain and the installation of the Underground Rain Tank Modules with a Stone Bed. Rain Tank Modules are also known as Stormtank Modules.
24. Begin the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) installation. Remove the tree protection fencing from the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) area. If necessary, utilize a pumped water filter bag to dewater the Underground Storm Tank Modules with a Stone Bed (MRC BMP 001) during construction. The Underground Storm Tank Modules with a Stone Bed (MRC BMP 001) shall consist of the 4" PVC underdrain pipe with AASHTO #57 clean stone, the stone bed (AASHTO #3 clean stone), the geotextile fabric, the Rain Tank Modules, storm inlets A8, A7 & A5, outlet control structure A4 and the observation ports. During construction of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001), sediment shall be prevented from entering the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) area. If inspection indicates sediment has entered the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) during construction, appropriate measures (i.e. replacement of the stone bed, etc.) shall be taken to remove the excess sediment.
25. After the roof drain pipes have been connected into the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001), complete the installation of the Stone Bed, overlap the geotextile fabric on top of the stone bed. Install observation ports for the proposed Underground Rain Tank Modules. Complete the backfill of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001).
26. The Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) is a Stormwater Control Measure (SCM). Submit a copy of the SCM Construction Certification Form with 30 days of completion of each Stormwater Control Measure (SCM).
27. Install proposed concrete sidewalk, a paver patio, a block seal base and a flagpole over the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001).
28. Remove the Rock Construction Entrance. Provide stone subbase in the previous Rock Construction Entrance location. Provide parking lot paving in the previous Rock Construction Entrance location. Provide proposed pavement markings in the West Bridge Street parking lot area. Provide a mill and pavement overlay for Deger Avenue (full cartway width). Install pavement markings for W. Bridge Street and Deger Avenue.
29. Install outdoor lighting for the proposed apartment buildings. Install a streetlight at the W. Bridge Street/Deger Avenue intersection. Install street trees. Install proposed landscape plantings. Install proposed bike racks at the locations shown on the plans.
30. Remove the Phase 2 stockpile location and distribute any remaining topsoil/subsoil on-site. Establish finished grades for all proposed lawn areas. Install temporary erosion control matting at the locations shown on the plans. Permanently stabilize the proposed lawn areas and any remaining disturbed areas. After the site has been stabilized and has 70% lawn cover, remove the erosion and sediment pollution controls (compost filter socks, tree protection fencing, pumped water filter bag, inlet protections, concrete wash water area and geotextile fabric from the yard drains). Permanently stabilize any areas disturbed by the removal of the erosion and sediment pollution controls. Install a SNOUT oil/water debris separator for inlets A9, A8, A7, A6 & A5. Install a 12" Catch Basin (NDS) for yard drains 18, 17, 16, 14, 13 & 9.
31. Inspect the site area for proper stabilization. Any areas that have failed to germinate shall be reseeded. Any seeded areas that have washed out shall be filled and reseeded. An anchoring method shall then be used to hold the seed and mulch in place, especially in swales, areas of concentrated flow, and on slopes.
32. The Notice of Termination (NOT) shall be submitted to the Chester County Conservation District (CCCD) once the site work is completed.

- PROPOSED BUILDING DOORS KEY:
A - LANDING ON FIRST FLOOR.
B - LANDING ON FIRST FLOOR, BALCONIES ON SECOND AND THIRD FLOORS.
C - PATIO ON FIRST FLOOR, BALCONIES ON SECOND AND THIRD FLOORS.

Soil Limitations:
Ur3B: Urban land - Penn complex, 0 to 8% slopes
Soil limitations are not provided for Urban land as per Table E.1 of the Pennsylvania Erosion and Sediment Pollution Control Manual, dated March 2012.
Soil Resolutions:
Soil resolutions are not provided for Urban land since there are no soil limitations.

PHASE 1 LOD = 35,354 S.F.±
PHASE 2 LOD = 45,033 S.F.±
CUMULATIVE LOD = 45,033 S.F.±



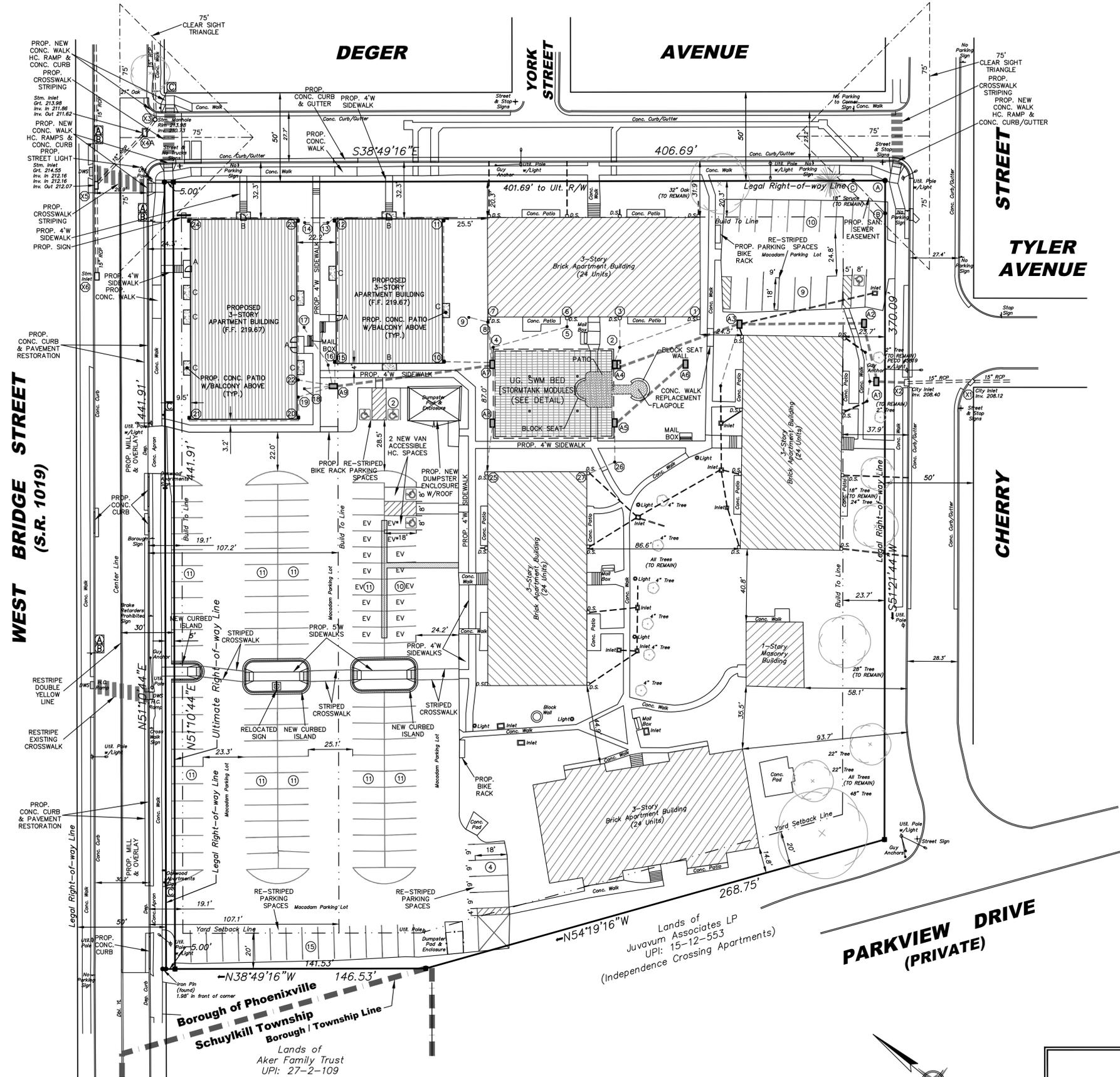
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Rev. February 28, 2025 : per CCCD review letter dated 02/13/25.
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BERCEK & ASSOCIATES
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Utilities & PCSM Plan for OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023 - Plan No. C-22-003
Sheet 04 of 20
May 14, 2025

LEGEND

●	PROPERTY CORNER
---	BUILDING SETBACK LINES
- - - - -	EXISTING BOUNDARY LINE TO BE EXTINGUISHED
.....	EXISTING MINOR CONTOUR
- - - - -	EXISTING MAJOR CONTOUR
x220.04	EXISTING SPOT ELEVATION
---	EXISTING CURB
---	EXISTING FENCE
○	EXISTING UTILITY POLE
○	EXISTING LIGHT
○	EXISTING MANHOLE
---	EXISTING SANITARY MAIN
---	EXISTING SANITARY LATERAL
---	EXISTING STORM PIPING
○	EXISTING STORM INLET
○	EXISTING DOWN SPOUT
---	EXISTING GAS MAIN
---	EXISTING UG. ELECTRIC
---	EXISTING OVERHEAD WIRES
---	EXISTING WATER LINES
---	EXISTING COMM. BOX
○	EXISTING TREES
---	MUNICIPAL BOUNDARY
---	PROPOSED CONTOUR
+218.15	PROPOSED SPOT ELEVATION
---	PROPOSED SANITARY MAIN
---	PROPOSED SANITARY LATERAL
○	PROPOSED SANITARY CLEAN-OUT
○	PROPOSED SANITARY MANHOLE
---	PROPOSED STORM PIPE
---	PROPOSED INLET (TYPE M)
---	PROPOSED 12" YARD DRAIN
---	PROPOSED DOWN SPOUT
---	PROPOSED STORM CLEAN-OUT
---	PROPOSED WATER LATERAL
---	PROPOSED FIRE WATER LATERAL
EV	ELECTRIC VEHICLE PARKING SPACE
EV*	ELECTRIC VEHICLE PARKING SPACE (FOR PUBLIC USE)
---	PROPOSED CONCRETE MONUMENT
---	PROPOSED PAVEMENT RESTORATION

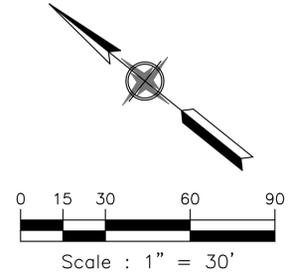
WEST BRIDGE STREET (S.R. 1019)



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PLAN SYMBOL		SERIES	SIZE	DESCRIPTION	STATION	STATE ROUTE	SEGMENT	OFFSET	ACTION	MAINTENANCE RESPONSIBILITY*
A	W11-2	30" x 30"	PEDESTRIAN SIGN	199+66.44	1019	0070	3035	NEW	M	
				202+09.71	1019	0070	3278	NEW	M	
				200+52.23	1019	0070	3321	NEW	M	
B	W16-7P	24" x 12"	DIAGONAL DOWNWARD POINTING ARROW PLAQUE	199+66.44	1019	0070	3035	NEW	M	
				202+09.71	1019	0070	3278	NEW	M	
				200+52.23	1019	0070	332X	NEW	M	
				198+37.90	1019	0070	2861	NEW	P	
C	R1-1	30" x 30"	STOP SIGN	201+00.47	1019	0070	3169	NEW	P	
				202+72.93	1019	0070	3341	RELOCATE	M	

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 A - LANDING ON FIRST FLOOR.
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Site Improvements Plan for OAKWOOD APARTMENTS
 Borough of Phoenixville - Chester County, PA
 April 21, 2023 - Plan No. C-22-003
 Sheet 05 of 20

May 14, 2025

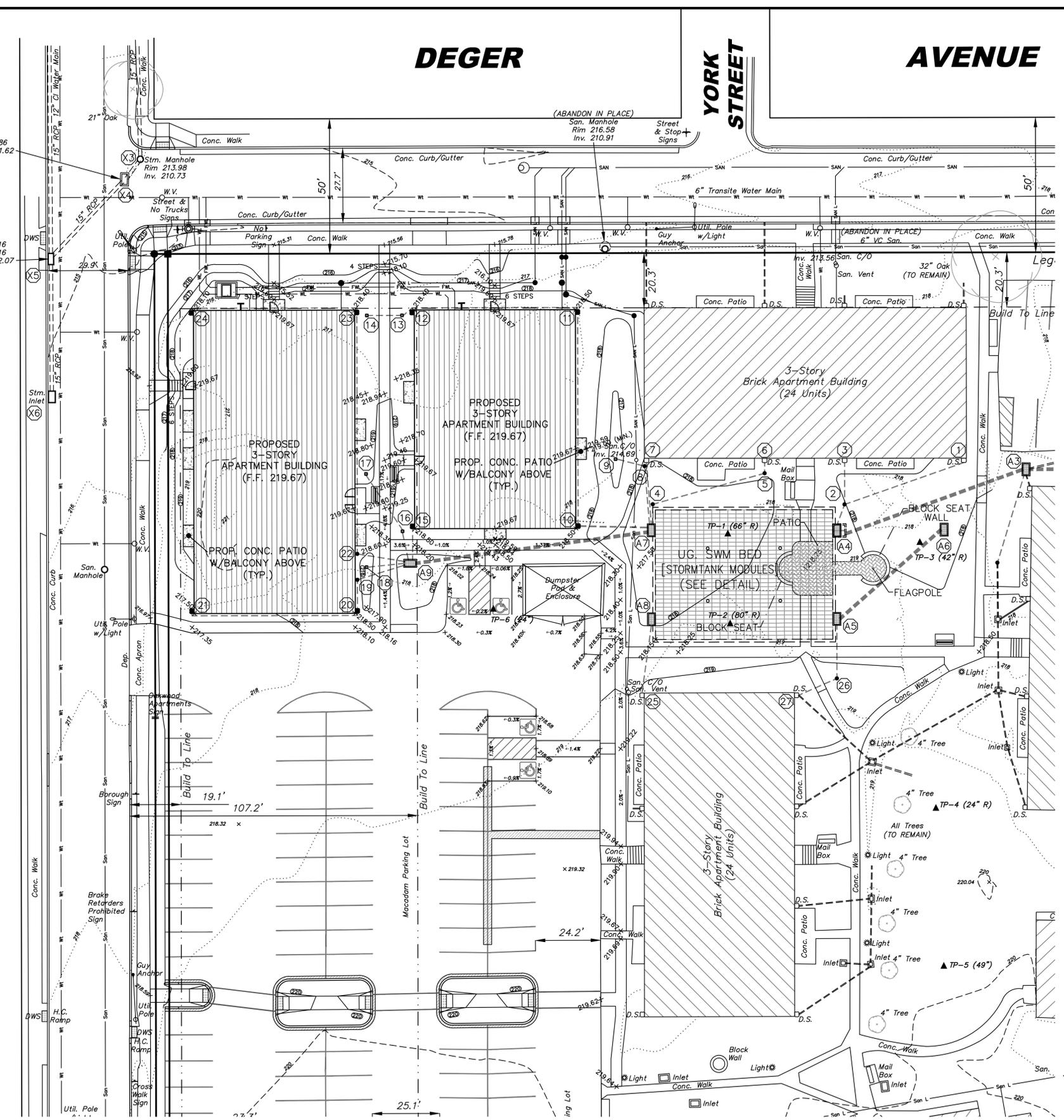
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DEGER

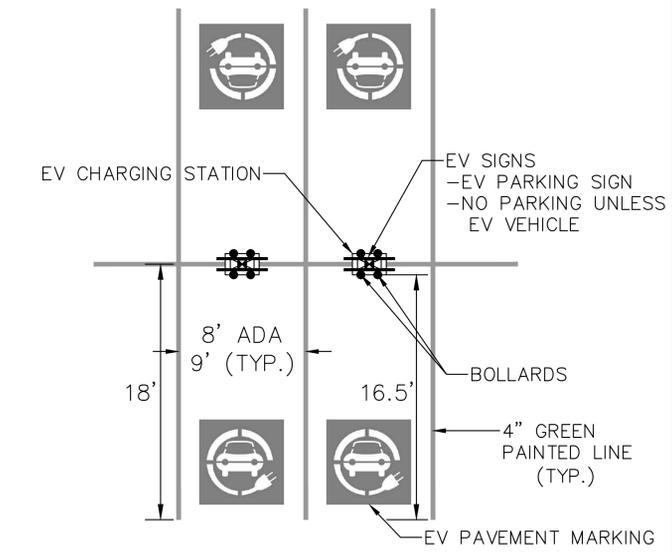
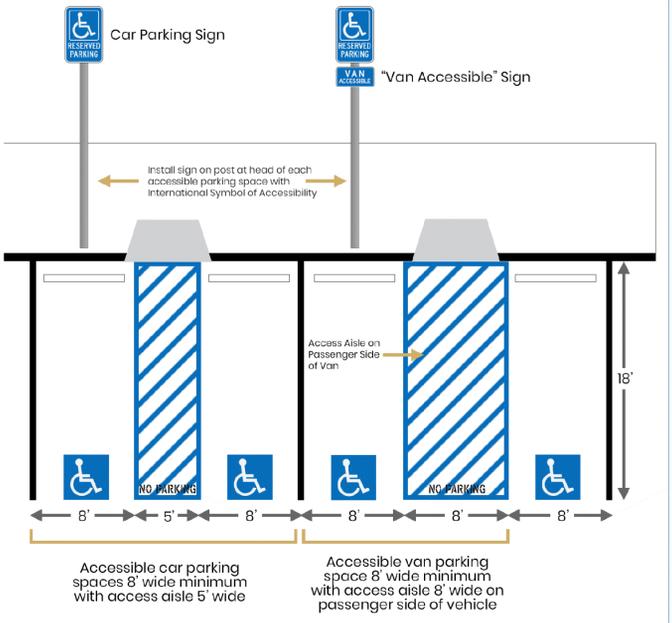
YORK STREET

AVENUE

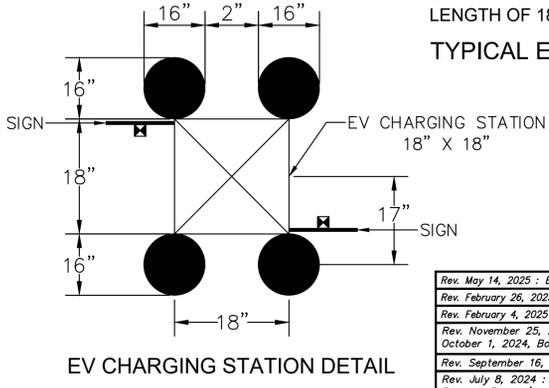


LEGEND

- PROPERTY BOUNDARY
- PROPERTY CORNER
- BUILDING SETBACK LINES
- - - EXISTING BOUNDARY LINE TO BE EXTINGUISHED
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- x x x EXISTING SPOT ELEVATION
- x x x EXISTING CURB
- ∅ EXISTING FENCE
- * EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING MANHOLE
- SAN EXISTING SANITARY MAIN
- SAN L EXISTING SANITARY LATERAL
- EXISTING STORM PIPING
- EXISTING STORM INLET
- EXISTING DOWN SPOUT
- Gas Gas EXISTING GAS MAIN
- EXISTING UG. ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINES
- EXISTING COMM. BOX
- EXISTING TREES
- MUNICIPAL BOUNDARY
- PROPOSED CONTOUR
- SAN PROPOSED SANITARY MAIN
- SAN L PROPOSED SANITARY LATERAL
- PROPOSED SANITARY CLEAN-OUT
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM PIPE
- PROPOSED INLET (TYPE M)
- PROPOSED 12" YARD DRAIN
- PROPOSED DOWN SPOUT
- PROPOSED STORM CLEAN-OUT
- PROPOSED WATER LATERAL
- PROPOSED FIRE WATER LATERAL
- EV ELECTRIC VEHICLE PARKING SPACE
- EV* ELECTRIC VEHICLE PARKING SPACE (FOR PUBLIC USE)
- PROPOSED CONCRETE MONUMENT



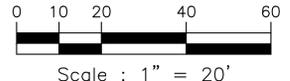
NOTE:
 BOROUGH OF PHOENIXVILLE STANDARD PARKING STALLS HAVE A LENGTH OF 18' AND WIDTH OF 9'. ADA PARKING STALLS HAVE A LENGTH OF 18' AND WIDTH OF 8'.
TYPICAL EV CHARGING STATION & PARKING DETAIL

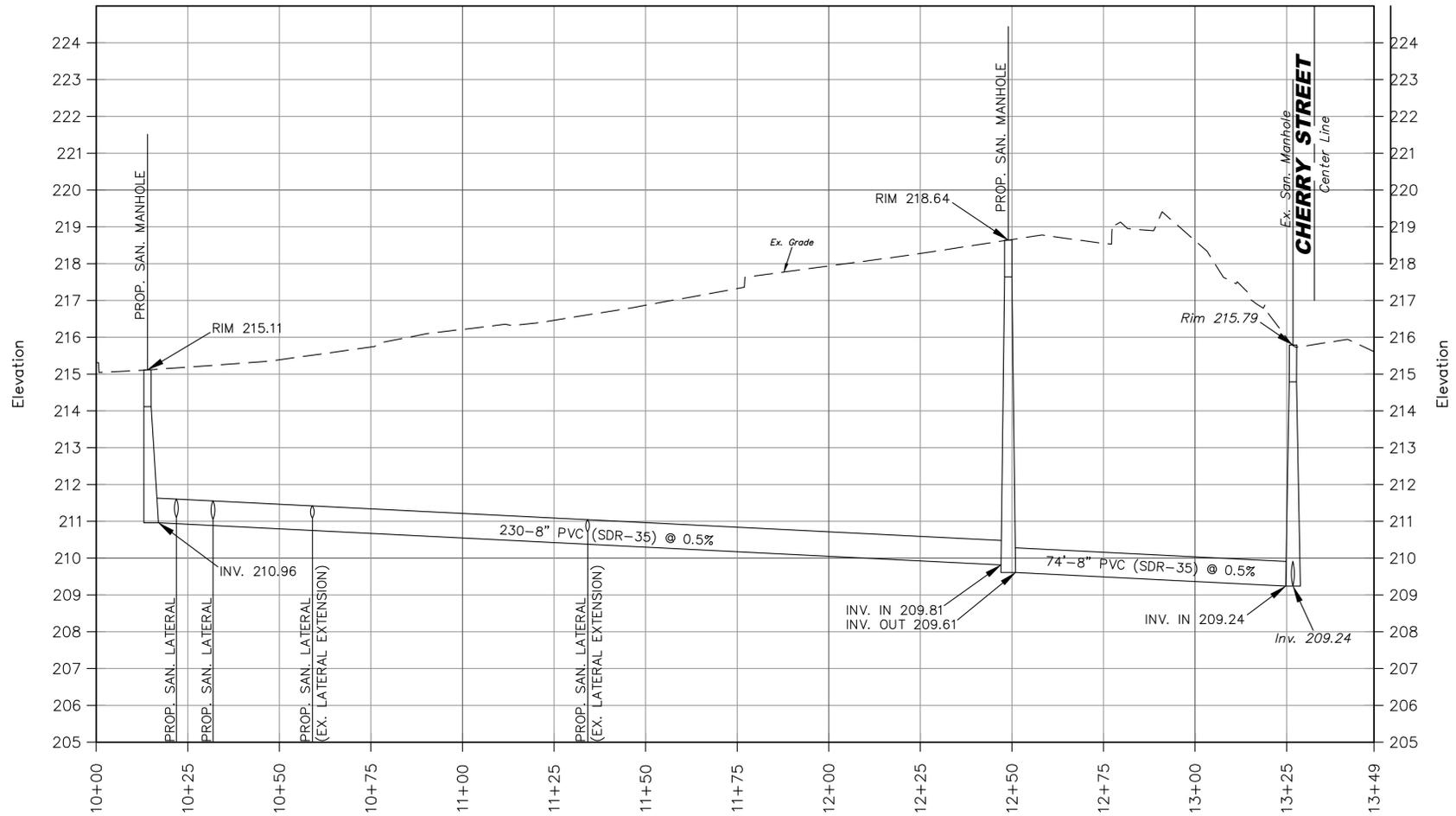


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Site Grading & Spot Elevation Detail Plan for
OAKWOOD APARTMENTS
 Borough of Phoenixville - Chester County, PA
 April 21, 2023 Plan No. C-22-003
 Sheet 06 of 20





Horizontal Scale : 1" = 20' - Vertical Scale : 1" = 2'
Profile - (DEGER AVENUE SANITARY SEWER)

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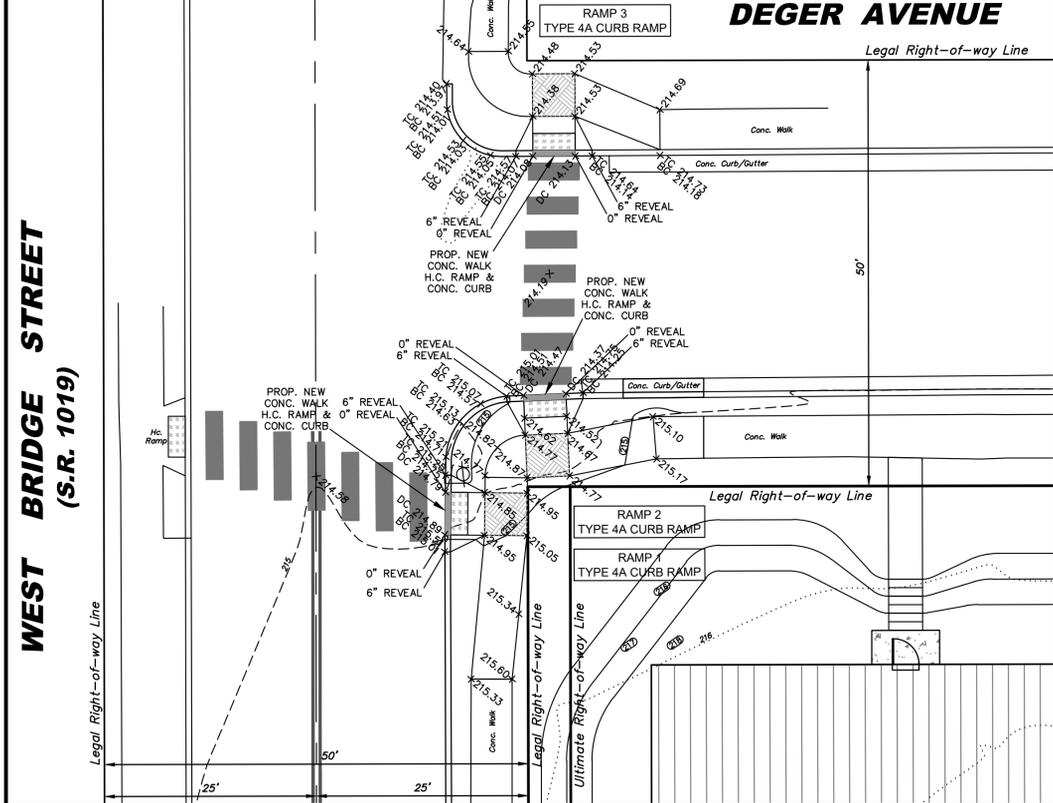


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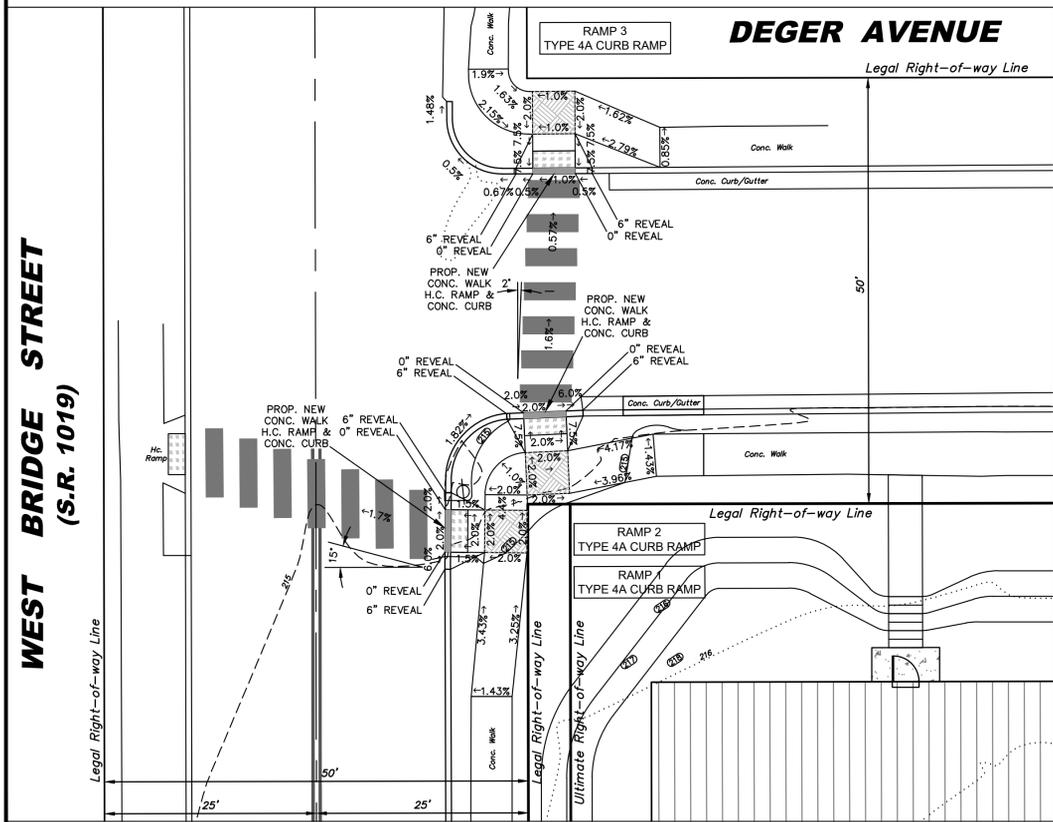
**Deger Avenue Sanitary Sewer Profile for
 OAKWOOD APARTMENTS**

Borough of Phoenixville - Chester County, PA
 April 21, 2023 - Plan No. C-22-003

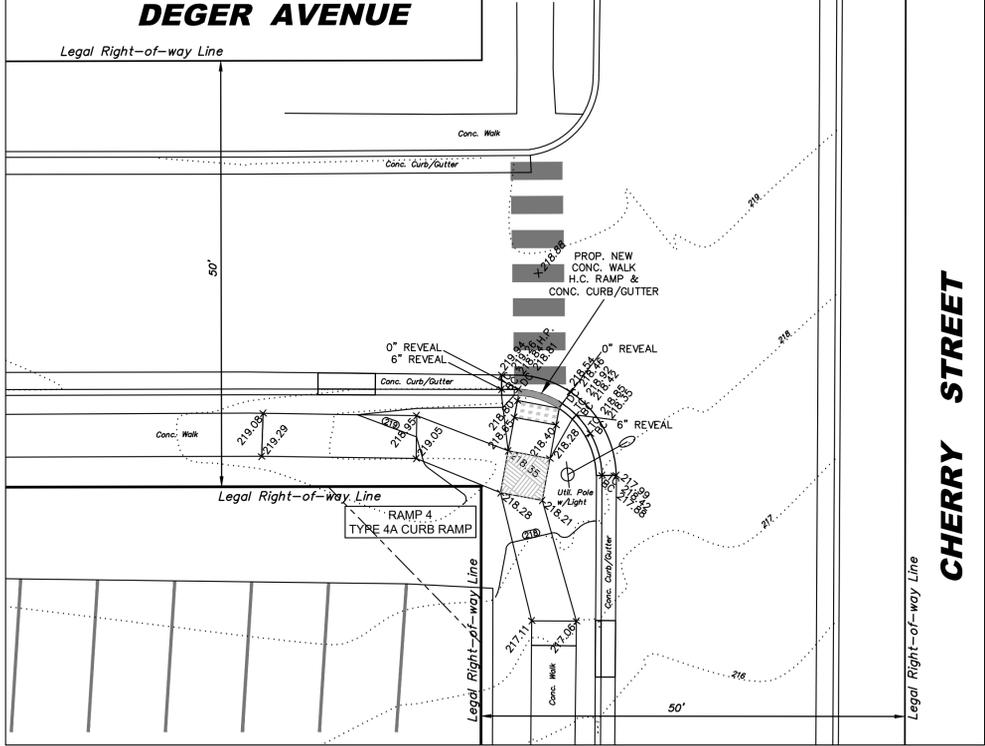
**WEST BRIDGE STREET
(S.R. 1019)**



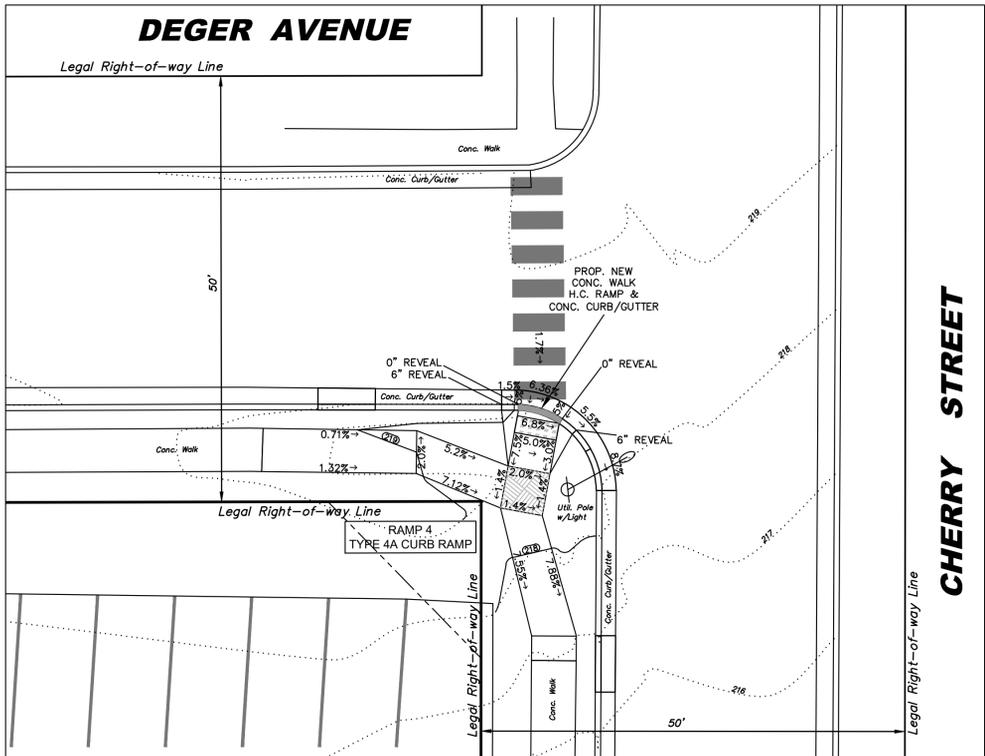
**RECONSTRUCTED HANDICAP RAMPS
BRIDGE STREET & DEGER AVENUE
(SPOT ELEVATIONS)**



**RECONSTRUCTED HANDICAP RAMPS
BRIDGE STREET & DEGER AVENUE
(SLOPES)**



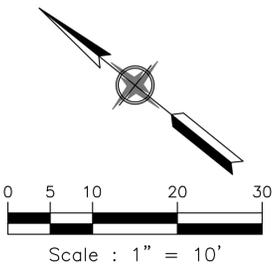
**RECONSTRUCTED HANDICAP RAMP
DEGER AVENUE & CHERRY STREET
(SPOT ELEVATIONS)**



**RECONSTRUCTED HANDICAP RAMP
DEGER AVENUE & CHERRY STREET
(SLOPES)**

LEGEND

- TURNING SPACE
- DETECTABLE WARNING SURFACE
- DEPRESSED CURB



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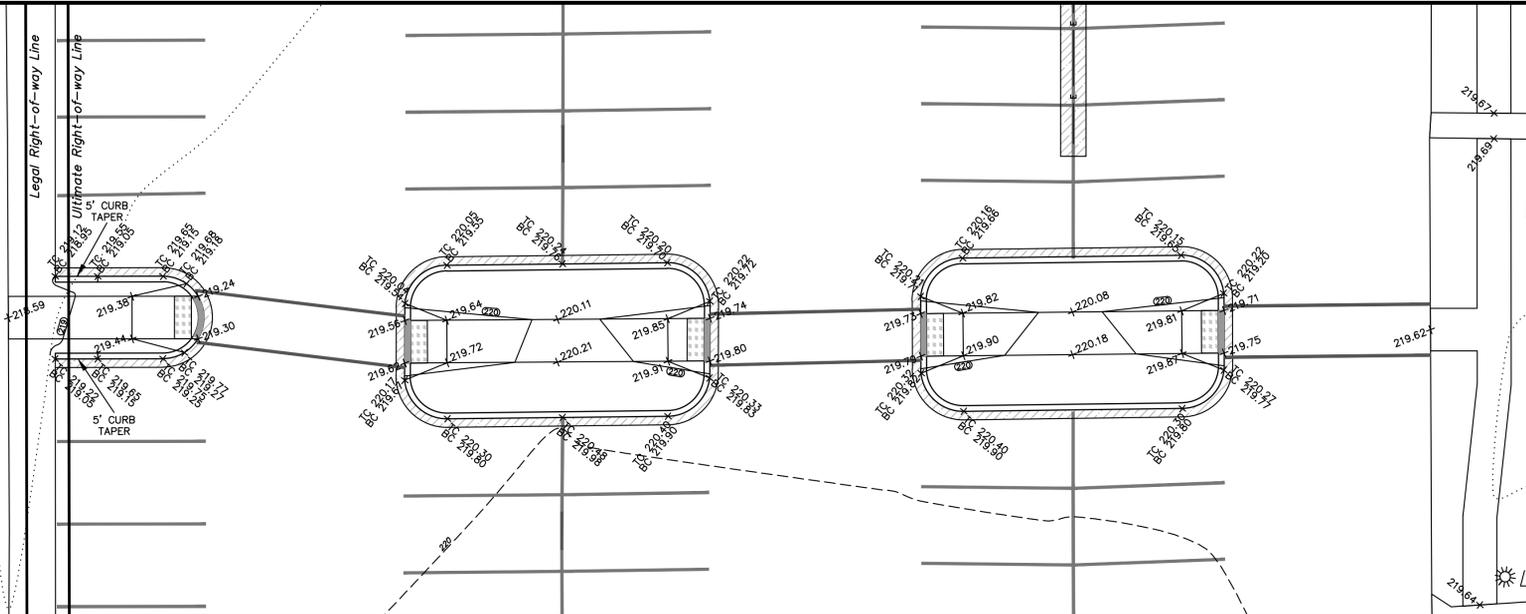
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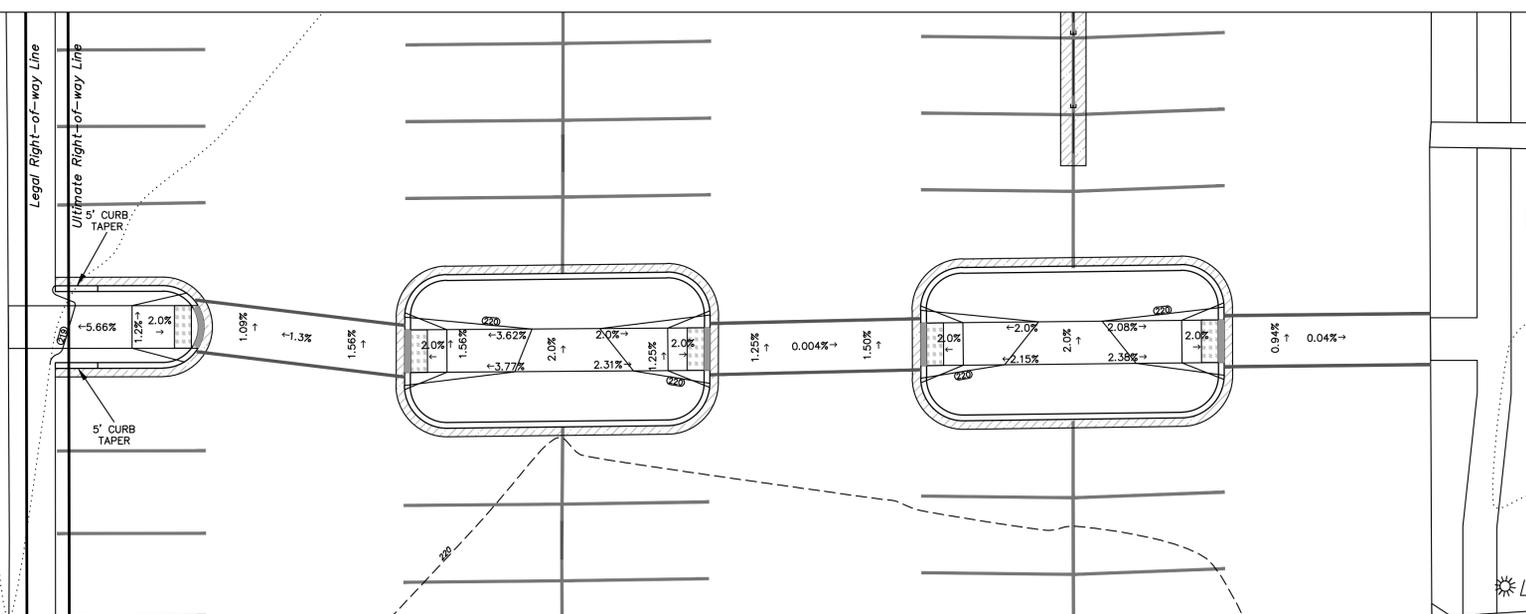
**Reconstructed Handicap Ramps Plan for
OAKWOOD APARTMENTS**
 Borough of Phoenixville - Chester County, PA
 April 21, 2023 Plan No. C-22-003
 Sheet 08 of 20

**WEST BRIDGE STREET
(S.R. 1019)**

**WEST BRIDGE STREET
(S.R. 1019)**



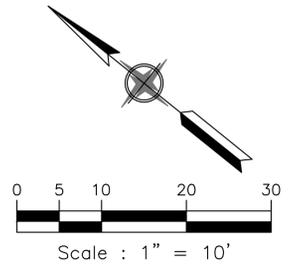
**PARKING LOT CROSS-WALKS
(SPOT ELEVATIONS)**



**PARKING LOT CROSS-WALKS
(SLOPES)**

LEGEND

-  DETECTABLE WARNING SURFACE
-  DEPRESSED CURB



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**Parking Lot Cross-Walks Plan for
KAWOOD APARTMENTS**

Borough of Phoenixville - Chester County, PA
 April 21, 2023 - Plan No. C-22-003
 Sheet 09 of 20

SITE CONSTRUCTION SEQUENCE
Underground Rain Tank Modules with a Stone Bed (MRC BMP 001)

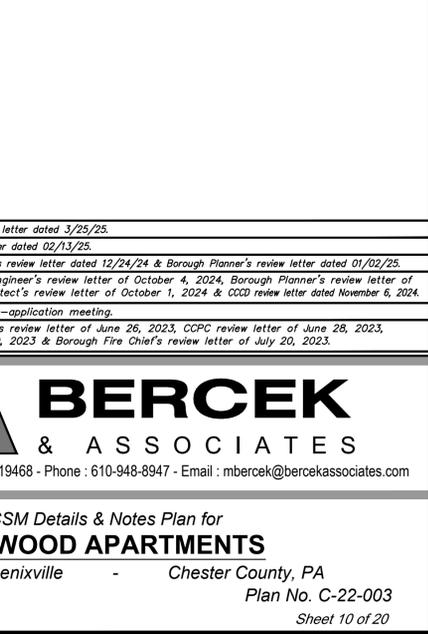
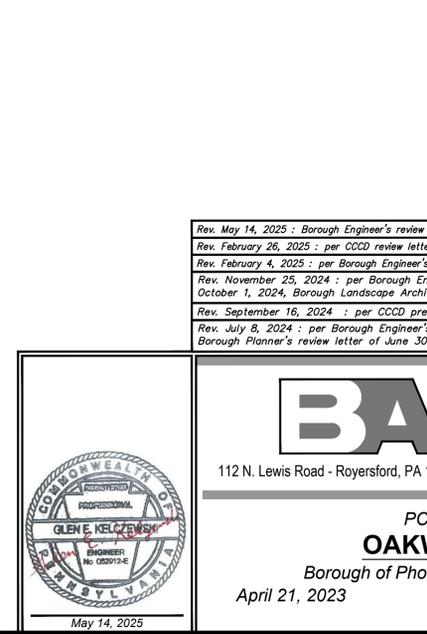
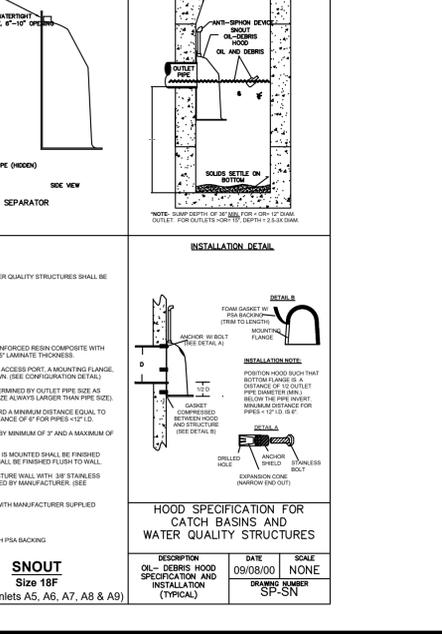
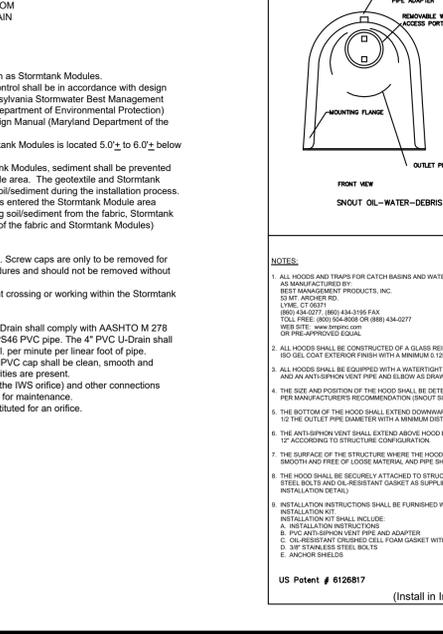
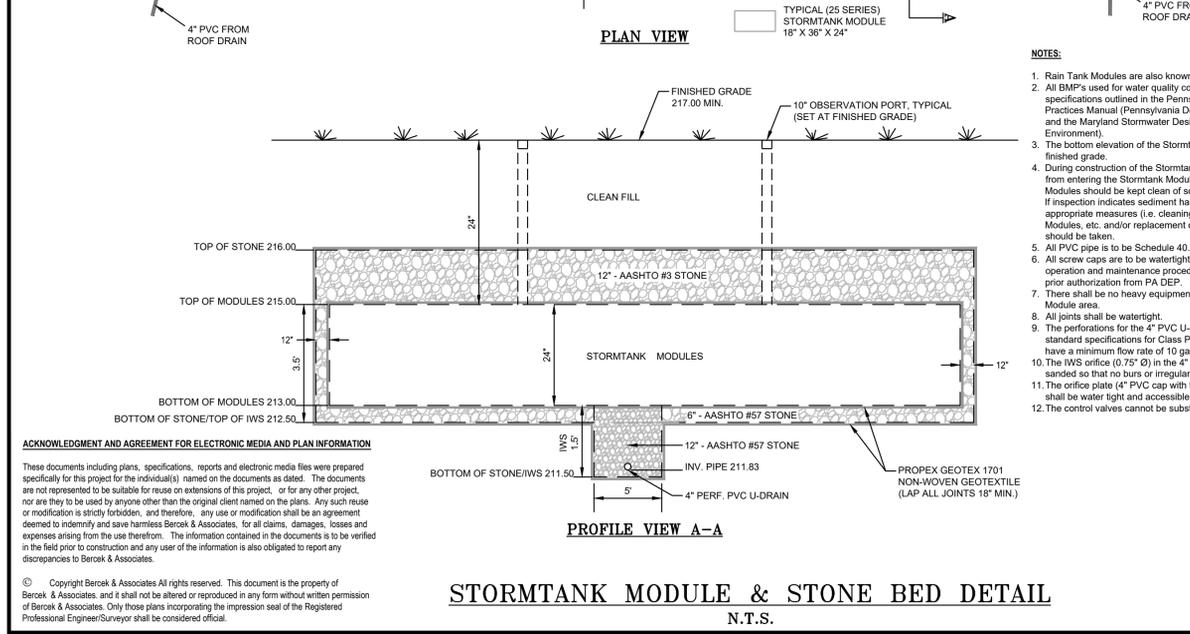
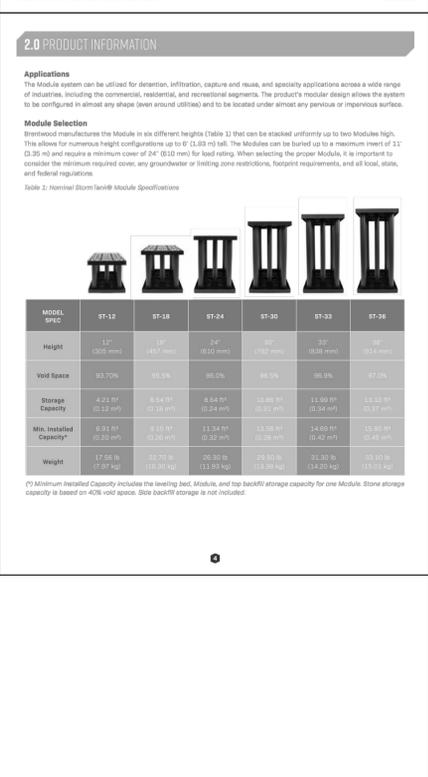
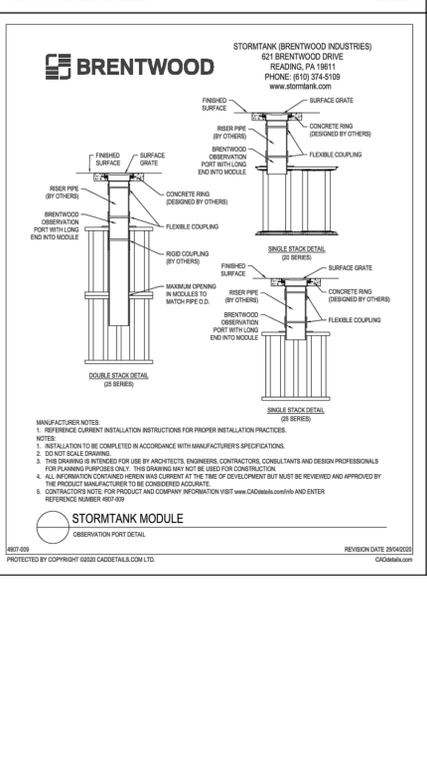
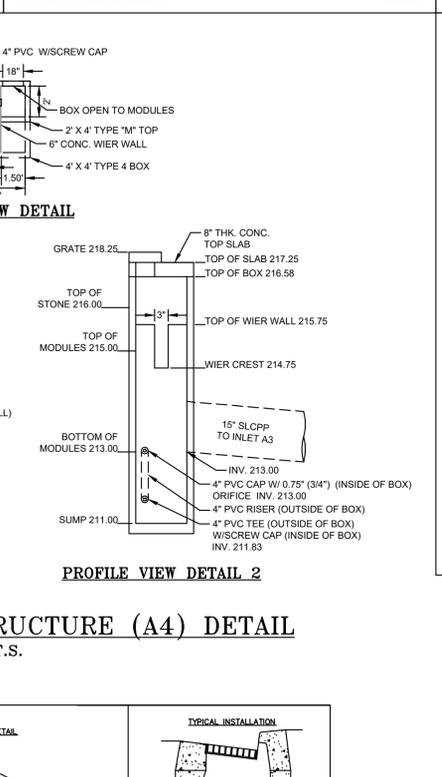
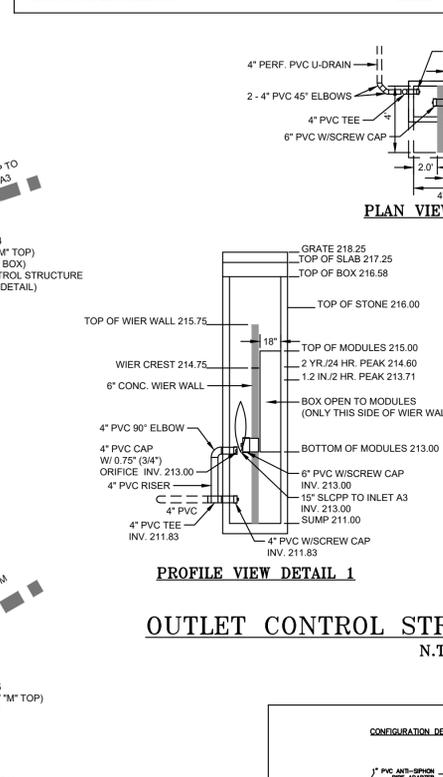
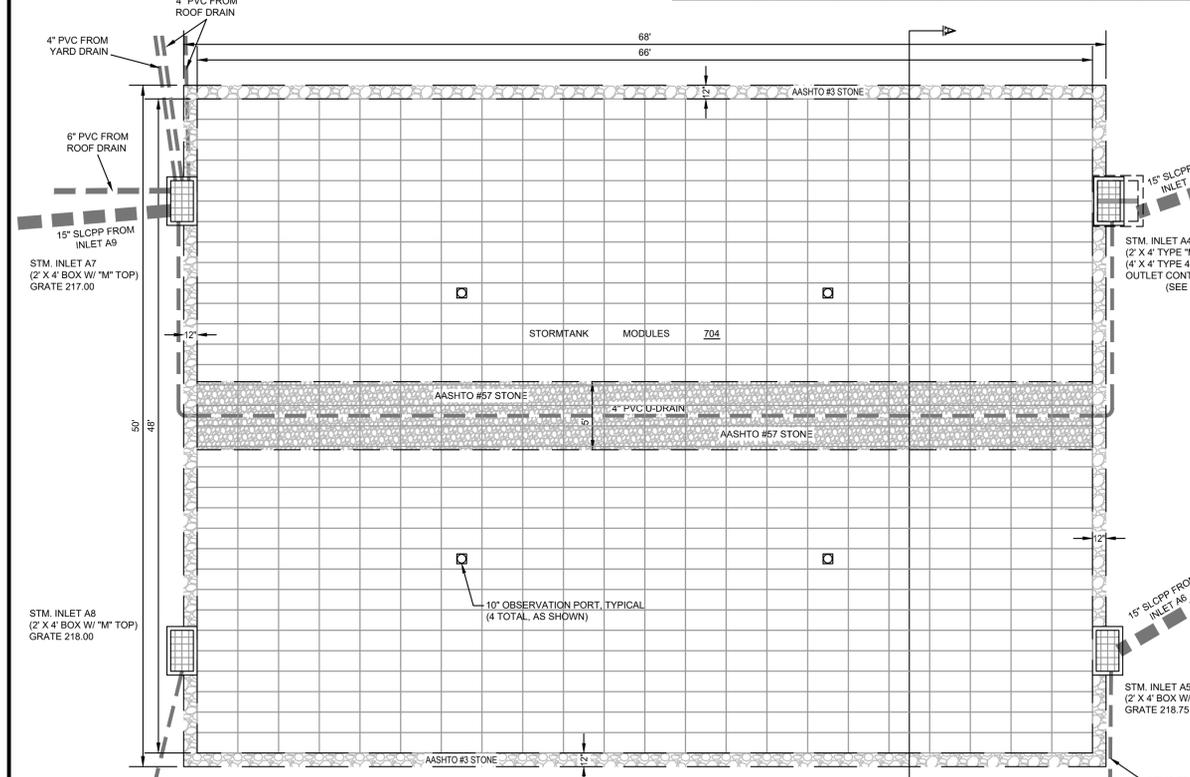
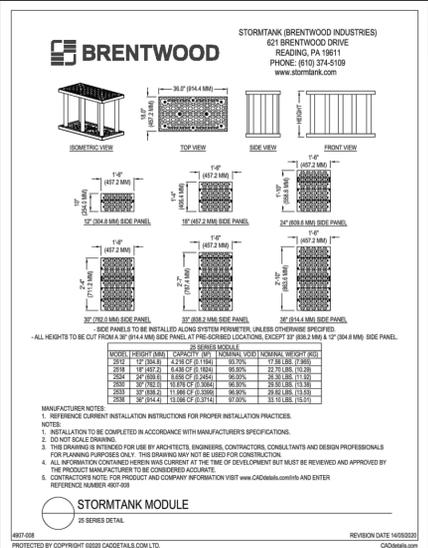
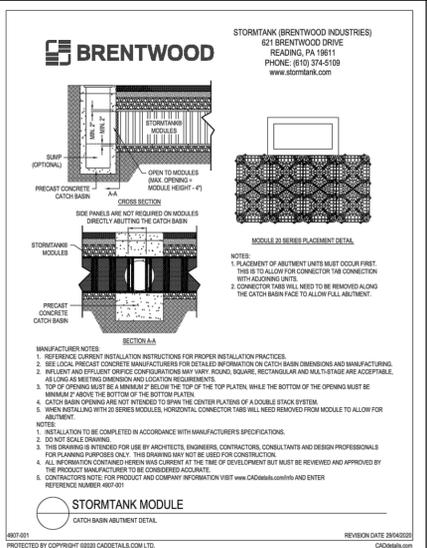
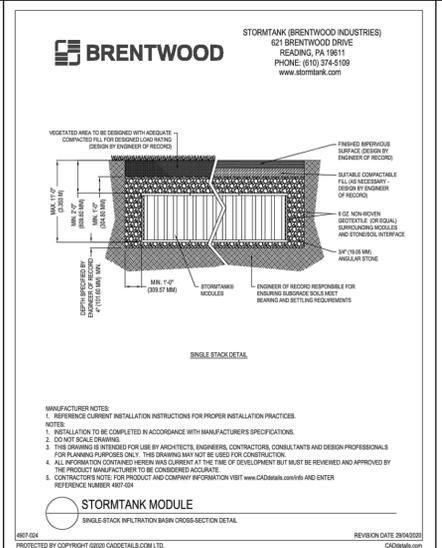
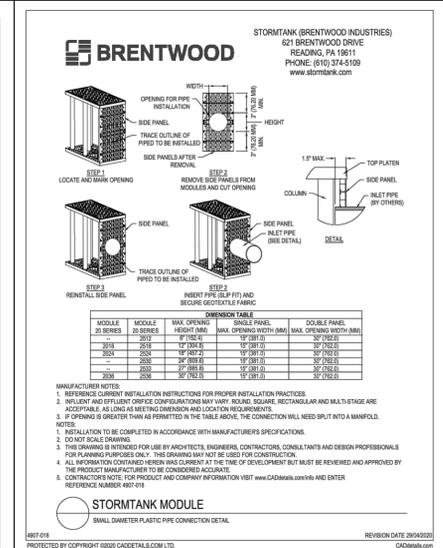
- Tree protection fencing shall be installed to protect the location of the proposed Underground Rain Tank Modules with a Stone Bed (MRC BMP 001), prior to any earth disturbance.
- Within the existing courtyard area, remove the existing concrete sidewalk and the flagpole area within the Underground Rain Tank Modules with a Stone Bed area (MRC BMP 001), as necessary. Excavate and/or fill, as necessary, to install and backfill storm sewer pipe run A4 to A3 to A2 to A1 to X1. All storm sewer connections shall be watertight. Install inlet protection (Type M filter bags) for storm inlets A3, A2 & A1. Temporarily block the top of outlet control structure A4 by placing geotextile fabric (Pro-Peot Class 2) under the grate.
- Remove the orange protection/safety fencing from the area of the proposed Underground Storm Tank Modules with a Stone Bed (MRC BMP 001).
- Excavate and/or fill, as necessary, to relocate existing utility lines (water, gas, electric, communications, etc.) in the area of the proposed Underground Storm Tank Modules with a Stone Bed (MRC BMP 001).
- Critical Stage: Engineering construction oversight/inspection is required for the installation of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001). Bercek and Associates shall conduct the oversight/inspection. Contractor shall document the construction with photographs of the subgrade excavation, the placement of the 4" underdrain and the installation of the Underground Rain Tank Modules with a Stone Bed. Rain Tank Modules are also known as Stormtank Modules.**
- Begin the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) installation. Remove the tree protection fencing from the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) area. If necessary, utilize a pumped water filter bag to dewater the Underground Storm Tank Modules with a Stone Bed (MRC BMP 001) during construction. The Underground Storm Tank Modules with a Stone Bed (MRC BMP 001) shall consist of the 4" PVC underdrain pipe with AASHTO #57 clean stone (the stone bed (AASHTO #3 clean stone), the geotextile fabric, the Rain Tank Modules, storm inlets A8, A7 & A5, outlet control structure A4 and the observation ports). During construction of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001), sediment shall be prevented from entering the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) area. If inspection indicates sediment has entered the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) during construction, appropriate measures (i.e. replacement of the stone bed, etc.) shall be taken to remove the excess sediment.
- After the roof drain pipes have been connected into the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001), complete the installation of the Stone Bed, overlap the geotextile fabric on top of the stone bed. Install observation ports for the proposed Underground Rain Tank Modules. Complete the backfill of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001). The Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) is a Stormwater Control Measure (SCM). Submit a copy of the SCM Construction Certification Form within 30 days of completion of each Stormwater Control Measure (SCM).
Install proposed concrete sidewalk, a paver patio, a block seal wall and a flagpole over the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001).

STORM SEWER INLET CHART FOR UG SWM BED

INLET A9 (WIS/OUT)	INLET A8 (WIS/OUT)	INLET A7 (WIS/OUT)	INLET A6 (WIS/OUT)	INLET A5 (WIS/OUT)	INLET A4 (OCS)
GRATE	GRATE	GRATE	GRATE	GRATE	GRATE
217.50	214.12	218.00	218.25	218.25	213.00
INV. OUT	INV. OUT				
210.82	210.82	210.82	210.82	210.82	210.82
SUMP	SUMP	SUMP	SUMP	SUMP	SUMP
210.82	210.82	210.82	210.82	210.82	210.82
INLET A9 (WIS/OUT)	INLET A8 (WIS/OUT)	INLET A7 (WIS/OUT)	INLET A6 (WIS/OUT)	INLET A5 (WIS/OUT)	INLET A4 (OCS)
GRATE	GRATE	GRATE	GRATE	GRATE	GRATE
217.50	214.12	218.00	218.25	218.25	213.00
INV. OUT	INV. OUT				
210.82	210.82	210.82	210.82	210.82	210.82
SUMP	SUMP	SUMP	SUMP	SUMP	SUMP
210.82	210.82	210.82	210.82	210.82	210.82

STORM SEWER & ROOF DRAIN CHART

Upstream Node	Downstream Node	Pipe Diameter	Pipe Material	Finished Grade at US	Upstream Invert	Downstream Invert	Pipe Length	Slope
INCH	FT	FT	FT	FT	FT	FT	FT	FT/FT
Type M Inlet - A9	Type M Inlet - A7	15	SLCPP	217.50	214.12	213.25	37	0.0020
Type M Inlet - A8	Type M Inlet - A6	15	SLCPP	217.50	214.80	213.25	50	0.0014
OCS - A4	Type M Inlet - A3	15	SLCPP	218.25	213.80	211.68	70	0.0020
Type M Inlet - A3	Type M Inlet - A2	15	SLCPP	217.00	211.60	209.96	58	0.0021
Type M Inlet - A2	Type M Inlet - A1	15	SLCPP	216.00	209.86	209.10	29	0.0026
Type M Inlet - A1	Ex. Inlet - X2	15	SLCPP	214.50	209.80	208.50	15	0.0033
Ex. Inlet - X2	Ex. Inlet - X1	15	RCP	211.50	208.40	208.12	35	0.0008
Roof Drain - 27	Cleanout - 26	4	PVC	219.25	217.75	216.25	15	0.0020
Cleanout - 26	Type M Inlet - A6	4	PVC	219.10	216.25	213.25	29	0.0020
Roof Drain - 25	Type M Inlet - A6	4	PVC	219.80	217.50	213.25	26	0.0033
Roof Drain - 24	Roof Drain - 23	6	PVC	218.00	216.50	215.89	51	0.0010
Roof Drain - 23	Cleanout - 22	6	PVC	218.40	215.89	214.61	51	0.0014
Cleanout - 22	Type M Inlet - A9	6	PVC	218.50	214.61	214.25	18	0.0020
Roof Drain - 21	Roof Drain - 20	6	PVC	217.50	216.80	214.97	61	0.0019
Roof Drain - 20	Cleanout - 19	6	PVC	218.50	214.97	214.63	17	0.0020
Cleanout - 19	Type M Inlet - A9	6	PVC	218.50	214.63	214.25	11	0.0020
Yard Drain - 18	Type M Inlet - A9	4	PVC	217.50	215.50	214.75	14	0.0033
Yard Drain - 17	Yard Drain - 16	4	PVC	218.00	216.80	215.72	34	0.0017
Yard Drain - 16	Type M Inlet - A9	4	PVC	218.00	215.72	215.00	21	0.0020
Roof Drain - 15	Type M Inlet - A9	4	PVC	218.50	217.80	215.50	12	0.0020
Roof Drain - 14	Yard Drain - 13	4	PVC	218.00	216.80	215.85	13	0.0015
Yard Drain - 13	Roof Drain - 12	4	PVC	218.00	215.85	215.79	5	0.0012
Roof Drain - 12	Roof Drain - 11	4	PVC	218.40	215.79	215.80	61	0.0019
Roof Drain - 11	Roof Drain - 10	6	PVC	218.50	215.80	213.28	92	0.0019
Roof Drain - 10	Type M Inlet - A7	6	PVC	218.50	213.79	213.25	27	0.0020
Roof Drain - 9	Type M Inlet - A7	4	PVC	218.50	214.50	214.26	12	0.0020
Roof Drain - 8	Type M Inlet - A7	4	PVC	218.00	214.26	213.25	22	0.0020
Roof Drain - 7	Type M Inlet - A7	4	PVC	218.00	214.26	213.25	24	0.0020
Roof Drain - 6	Cleanout - 5	4	PVC	218.25	216.75	216.65	5	0.0020
Cleanout - 5	Cleanout - 4	4	PVC	218.10	216.65	215.79	43	0.0020
Cleanout - 4	Cleanout - 3	4	PVC	218.25	215.79	215.79	3	0.0020
Roof Drain - 3	Cleanout - 2	4	PVC	218.25	216.75	215.81	16	0.0021
Roof Drain - 1	Roof Drain - 2	4	PVC	218.25	216.75	215.81	47	0.0020
Roof Drain - 2	Type M Inlet - A5	4	PVC	218.00	215.81	213.25	8	0.0020



NOTES:

- Rain Tank Modules are also known as Stormtank Modules.
- All BMP's used for water quality control shall be in accordance with design specifications outlined in the Pennsylvania Stormwater Best Management Practices Manual (Pennsylvania Department of Environmental Protection) and the Maryland Stormwater Design Manual (Maryland Department of the Environment).
- The bottom elevation of the Stormtank Modules is located 5.0' to 6.0' below finished grade.
- During construction of the Stormtank Modules, sediment shall be prevented from entering the Stormtank Module area. The geotextile and Stormtank Modules should be kept clean of soil/sediment during the installation process. If inspection indicates sediment has entered the Stormtank Module area appropriate measures (i.e. cleaning soil/sediment from the fabric, Stormtank Modules, etc. and/or replacement of the fabric and Stormtank Modules) should be taken.
- All PVC pipe is to be Schedule 40.
- All screw caps are to be watertight. Screw caps are only to be removed for operation and maintenance procedures and should not be removed without prior authorization from PA DEP.
- There shall be no heavy equipment crossing or working within the Stormtank Module area.
- All joints shall be watertight.
- The perforations for the 4" PVC U-Drain shall comply with AASHTO M 278 standard specifications for Class PS46 PVC pipe. The 4" PVC U-Drain shall have a minimum flow rate of 10 gal. per minute per linear foot of pipe.
- The IWS orifice (0.75" Ø) in the 4" PVC cap shall be clean, smooth and sanded so that no burrs or irregularities are present.
- The orifice plate (4" PVC cap with the IWS orifice) and other connections shall be water tight and accessible for maintenance.
- The control valves cannot be substituted for an orifice.

NOTES:

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANUFACTURING PRODUCTS, INC. 30 MT. ANCHOR ROD. (800) 434-0277 (800) 434-3195 FAX: (800) 434-0008 OR (800) 434-0277 WEB SITE: www.bmpinc.com OR PRE-APPROVED LOCALS.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH 30 LBS. COAT EXTENSION FINISH WITH A MINIMUM 3/16" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATER-TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL).
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (HOOD SIZE ALWAYS LARGER THAN PIPE SIZE).
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR 6" TO 12" I.D. PIPE.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 2' AND A MAXIMUM OF 12' ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF COBBLE MATERIAL, AND THE HOOD SHALL BE FINISHED TO MATCH WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND AN ANTI-SIPHON GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT SHALL INCLUDE: A. INSTALLATION INSTRUCTIONS B. ANTI-SIPHON VENT PIPE AND ADAPTER C. OIL-RESISTANT CHARGED CELL FOAM GASKET WITH PSA BACKING D. ANCHOR SHELDS

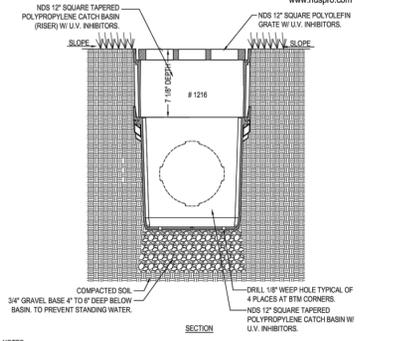
SNOUT
Size 18"
(Install in Inlets A5, A6, A7, A8 & A9)

US Patent # 6126817

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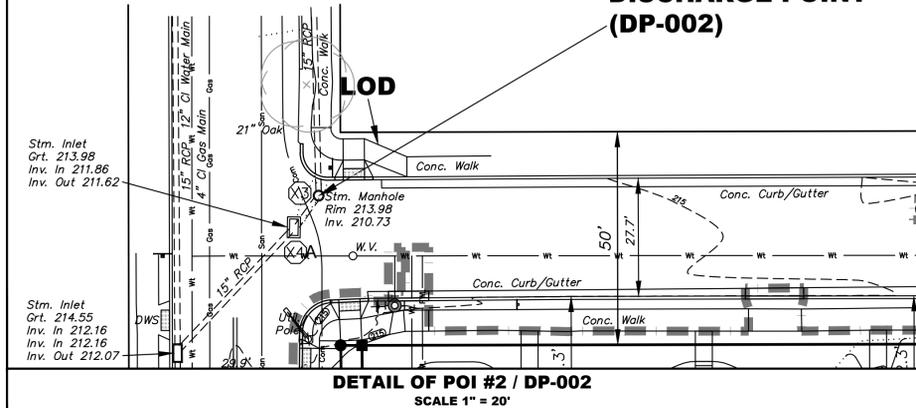


- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREWS PROVIDED AT TIME OF INSTALLATION.
- RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
- DO NOT USE OVER 5 RISERS WITH CATCH BASIN.
- EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
12" SQUARE CATCH BASIN WITH RISER INSTALLATION FOR LANDSCAPE APPLICATIONS 1
(YARD DRAINS 9, 13, 14, 16, 17 & 18)

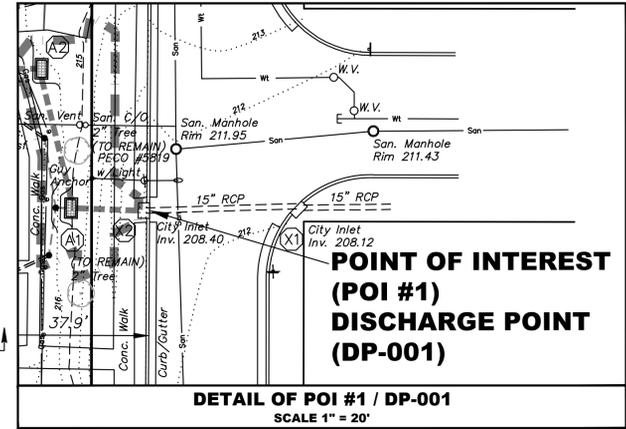


POINT OF INTEREST (POI #2) DISCHARGE POINT (DP-002)

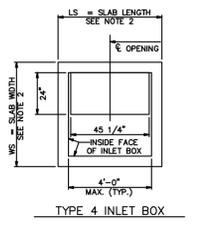


DETAIL OF POI #2 / DP-002
SCALE 1" = 20'

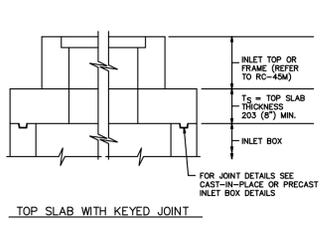
POINT OF INTEREST (POI #1) DISCHARGE POINT (DP-001)



DETAIL OF POI #1 / DP-001
SCALE 1" = 20'



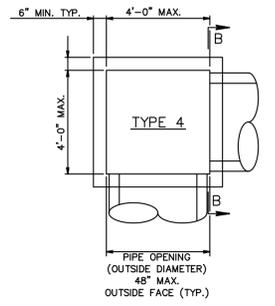
TYPE 4 INLET BOX



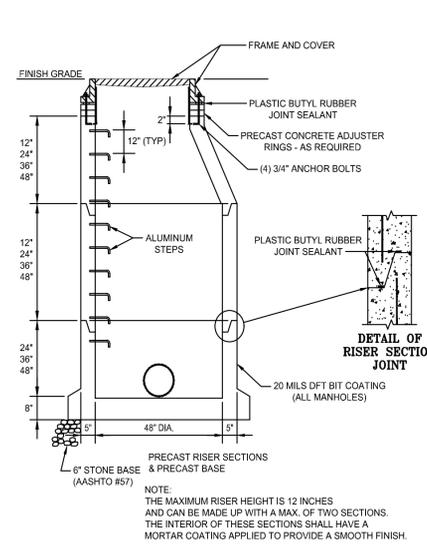
TOP SLAB WITH KEYED JOINT

INLET BOX TOP SLABS

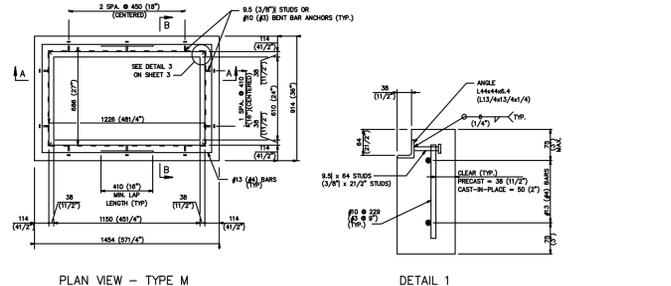
N.T.S.



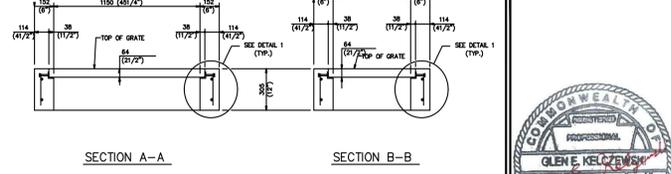
TYPE 4
PIPE OPENING (OUTSIDE DIAMETER)
48" MAX.
OUTSIDE FACE (TYP.)



TYPICAL PRECAST MANHOLE
N.T.S.



PLAN VIEW - TYPE M and **DETAIL 1**



SECTION A-A and **SECTION B-B**

TYPE "M" CONCRETE TOP UNIT

N.T.S.

POST CONSTRUCTION NARRATIVE

Narrative
This report will describe the measures taken to ensure that stormwater runoff during the post-development condition does not exceed stormwater runoff during the pre-development condition. The impervious area for the post-development condition is greater than the impervious area for the pre-development condition, the additional impervious area may increase the volume of stormwater runoff generated by this site. To maintain or possibly reduce the amount of stormwater runoff volume leaving this site, Underground Rain Tank Modules with a Stone Bed (MRC BMP 001 - rate control, volume control, water quality) have been provided.

Stormwater runoff from this site is tributary to the French Creek. French Creek is classified as a trout stocking fishery, migratory fishes (TSF, MF) stream. This project is not located in an area designated by the Pennsylvania Department of Environmental Protection as a Special Exception or Exceptional Value watershed.

As per the Web Soil Survey website, the existing soil type for this site consists of UrxB - Urban land-Penn complex, 0% to 8% slopes. UrxB soil does not have a Hydrologic Soil Group designation. Hydrologic Soil Group "B" has been utilized for the stormwater calculations included within the Post Construction Stormwater Management (PCSM) Report. No hydroic soils are located within the limit of disturbance area.

For the recharge calculations, the design computations utilize the SCS method to determine the required recharge volume for the 2 year storm event. For the peak rate calculations, the design computations utilize the Rational Method to determine the design peak discharge rates.

Potential Pollution Causing Materials - According to the Commonwealth of Pennsylvania Topographic and Geologic Survey, *Atlas of Preliminary Geologic Maps of Pennsylvania*, 1978, Phoenixville Quadrangle, the site is underlain by the Stockton Formation (Geologic Symbol: TRS). The Stockton Formation is composed of beds of red to purple sandstone, shale, and siltstone, along with light gray to buff-colored arkosic sandstone. The bedding within this formation is typically well developed and thin to flaggy. The fracturing and jointing within this rock type have a blocky pattern. This rock type is moderately resistant to weathering and the overlying soil mantle is typically thin. Moderate porosity and permeability are characteristic of this formation. The existing geologic formation and the existing soil types are not expected to cause excessive pollution to a surface water during construction activities.

Thermal Impact Analysis (PCSM) - thermal impacts have been minimized by the installation of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001). The proposed Post Construction Stormwater Management BMPs will collect stormwater runoff from the proposed building area, the existing building areas and the existing driveway areas. To minimize thermal impacts, proposed Post Construction Stormwater Management BMPs will capture the "first flush" of stormwater runoff from the proposed impervious areas. The Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) will provide underground storage of stormwater runoff allowing the stormwater runoff to decrease in temperature before leaving the site. The thermal impact potential is minimal.

The proposed site improvements have been designed to preserve the integrity of stream channels and maintain and protect the physical, biological and chemical qualities of the receiving stream, to prevent an increase in the rate of stormwater runoff, to minimize impervious areas, to maximize protection of existing drainage features and vegetation, to minimize land clearing and grading, to minimize soil compaction and to utilize other measures or controls that prevent or minimize generation of increased stormwater runoff.

Operations and Maintenance Report
The Post Construction Stormwater Management Plan, inspection reports and monitoring records must be available for review and inspection by the Pennsylvania Department of Environmental Protection or the Chester County Conservation District. Once the Chester County Conservation District approves the Soil Erosion and Sedimentation Control Plans and the Post Construction Stormwater Management Plans are to be implemented, the following procedures shall be completed:

- The Underground Rain Tank Modules with a Stone Bed (MRC BMP 001) shall be excavated to the specified elevations as shown on the plans.
- There shall be no heavy equipment traffic in the area of the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001). Vehicles shall not be parked or driven on the Underground Stone Recharge Bed area.

The permittee shall provide engineering construction oversight/inspection for the proposed installation of the Post Construction Stormwater Management BMPs. If unfavorable conditions (high groundwater table, bedrock or soil compaction) are encountered during the installation of the proposed stormwater BMPs, additional soil testing may be required prior to the installation of infiltration BMPs to ensure proper location and function. A licensed professional engineer knowledgeable in the design and construction of stormwater BMPs, preferably the design engineer, shall conduct the oversight/inspection. Refer to the Site Construction Sequence for the critical stages when engineering construction oversight/inspection is required for this project.

Permittees and co-permittees are responsible for ensuring that a licensed professional has oversight responsibilities for the design and proper installation of BMPs identified in the PCSM Plan prior to the submission of the NOT for this permit. The licensed professional shall certify that the BMPs identified in the plan have been installed in accordance with the approved plan. The installation schedule of PCSM BMPs and maintenance requirements contained within the PCSM plan must be followed, and failure to comply with the installation schedule is a violation of this permit, the Clean Streams Law and the Clean Water Act.

The Underground Rain Tank Modules with a Stone Bed will provide rate control, volume control and water quality.

If a Post Construction Stormwater Management BMP has been determined to have achieved a "failure" status, the design engineer shall be contacted to provide guidance for corrective measures to the Post Construction Stormwater Management BMP as per Protocol 2 (Infiltration Systems Design and Construction Guidelines) in Appendix C of the Pennsylvania Stormwater Best Management Practices Manual.

The operator shall remove from this site, recycle, or properly dispose of all building materials, building wastes (concrete, bituminous paving, metal scrap, etc.) and materials associated with PCSM BMPs (sediment, leaves, trash/debris, greases/oils, etc.) in accordance with the Department's Solid Waste Management Regulations at 25 PA Code 2601 et. seq., 271.1 et. seq., and 287.1 et. seq. The contractor shall not illegally bury, dump or discharge any building materials, building wastes or materials associated with PCSM BMPs at this site.

Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floor plains or drainage swales and immediately stabilized, or placed in topsoil stockpiles. Sediment tracked or conveyed onto a public roadway will be immediately removed and re-deposited onto the construction site. Removal can be completed through the use of mechanical or hand tools, but must never be washed off the road by use of water.

U.S. Fish & Wildlife Service Avoidance Measures
Avoidance Measure: The proposed project is located in the vicinity of northern long-eared bat spring staging/fall swimming habitat. To ensure take is not reasonably certain to occur, do not conduct tree removal from May 15 to August 15. The U.S. Fish and Wildlife Service determined take is not reasonably certain to occur from tree removal if activities are avoided during the pup season (i.e., the range of time when females are close to giving birth (i.e., two weeks prior to birth) and have non-volant (i.e., unable to fly) young. For more information, see the Interim Voluntary Guidance for the Northern Long-Eared Bat Forest Habitat Modification, available here: <https://www.fws.gov/library/collections/interim-habitat-modification-guidance>.

The following long term operation and maintenance procedures shall be provided for the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001):

- The property owner shall determine if professional contractors are hired to complete the long term periodic inspection and maintenance procedures required for the Underground Rain Tank Modules with a Stone Bed (MRC BMP 001).
- For the Underground Rain Tank Modules with a Stone Bed, the Flexstorm water quality insert in the top of each 2' x 4' inlet shall be removed, cleaned and replaced. The Flexstorm water quality insert cleaning shall be provided a minimum of two times per year and after each significant storm event.
- For Steps #4, #5 & #6 below, the Flexstorm water quality insert shall be removed from the 2' x 4' inlets to complete the required maintenance activity.
- For the Underground Rain Tank Modules with a Stone Bed, remove leaves and debris for the inflow and outflow points. Leaves or debris will negatively impact the performance of these systems. All downspouts and outlet pipes shall be kept in good working order. The removal of leaves and debris shall be provided a minimum of two times per year and after each storm event.
- For the Underground Rain Tank Modules with a Stone Bed, the sump in the bottom of the inlets shall be cleaned and any leaves, debris or sediment shall be removed. Sediment, leaves or debris will negatively impact the performance of these systems. Properly dispose of all sediment, leaves and debris. The inlet cleaning shall be provided a minimum of two times per year and after each storm event.
- For the Underground Rain Tank Modules with a Stone Bed, the stormwater Best Management Practices (BMPs) shall be inspected to ensure that the de-watering time is less than 72 hours. For the Underground Rain Tank Modules with a Stone Bed, stormwater inlets are provided to allow inspections within the Underground Rain Tank Modules with a Stone Bed. The inspections shall be provided a minimum of one time per year and after each storm event.

MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES:

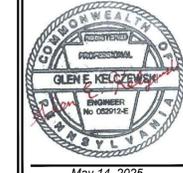
- The Stormwater Management Facilities shown on these plans are permanent and are not to be removed. The individual lot owner(s) shall be responsible for the perpetual maintenance of the stormwater management facilities located on their lot. The Municipality shall have the right, but not the obligation, to enter upon the said property to perform any required maintenance which has not been properly performed or carried out in a timely manner. The individual lot owner(s) shall bear the responsibility for the cost of any maintenance which is performed by the Municipality. A lien may be filed against the property for the costs of all corrections including applicable engineering and/or attorney's fees.
- The lot owners shall enter into a Stormwater Best Management Practices Operations and Maintenance Agreement with the Municipality, which shall be recorded at the Office of the Recorder of Deeds of and for Chester County, Pennsylvania, which shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, its heirs, administrators, executors, successors and/or assigns, in perpetuity.
- A "blanket" drainage easement, has been provided for the entire tract area. The "blanket" drainage easement is provided to allow the Municipality to enter the property to inspect the stormwater management facilities.
- Refer to the design of the Stormwater Management facilities in the Post Construction Stormwater Management Report.

- Rev. May 14, 2025 : Borough Engineer's review letter dated 3/25/25.
Rev. February 26, 2025 : per CCDC review letter dated 02/13/25.
Rev. February 4, 2025 : per Borough Engineer's review letter dated 12/24/24 & Borough Planner's review letter dated 01/02/25.
Rev. November 25, 2024 : per Borough Engineer's review letter of October 4, 2024, Borough Planner's review letter of October 1, 2024, Borough Landscape Architect's review letter of October 1, 2024 & CCDC review letter dated November 6, 2024.
Rev. September 16, 2024 : per CCDC pre-application meeting.
Rev. July 8, 2024 : per Borough Engineer's review letter of June 26, 2023, CCPC review letter of June 28, 2023, Borough Planner's review letter of June 30, 2023 & Borough Fire Chief's review letter of July 20, 2023.



PCSM Details & Notes Plan for OAKWOOD APARTMENTS

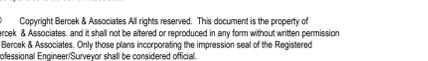
Borough of Phoenixville - Chester County, PA
April 21, 2023 Plan No. C-22-003
Sheet 11 of 20



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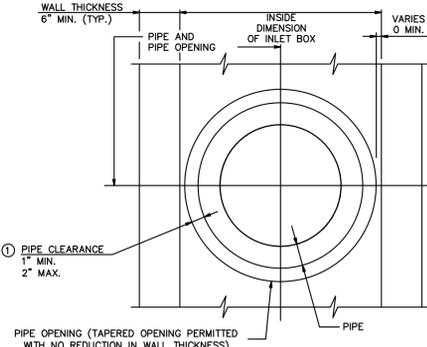


SECTION A-A
(STANDARD INLET BOX ONLY)

- OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
- REDUCTION IN WALL THICKNESS DIMENSION
- INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

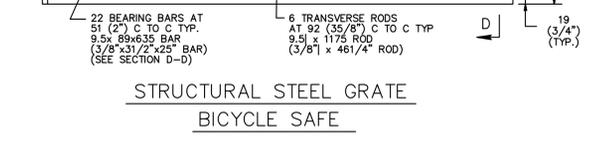
INLET BOXES

N.T.S.

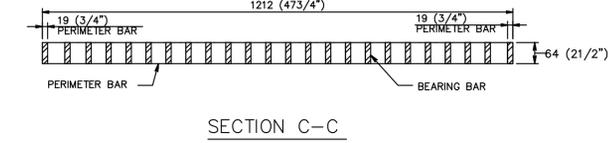


SECTION B-B
(TYPICAL ALL TYPES EXCEPT STANDARD)

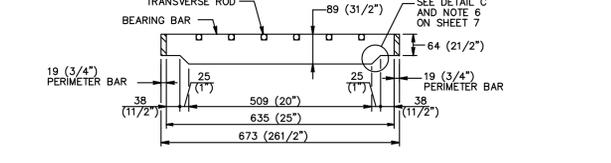
- PIPE CLEARANCE 1" MIN. 2" MAX.
- PIPE CLEARANCE 1" MIN. 2" MAX.
- PIPE CLEARANCE (TAPERED OPENING PERMITTED WITH NO REDUCTION IN WALL THICKNESS)



STRUCTURAL STEEL GRATE
BICYCLE SAFE



SECTION C-C



SECTION D-D

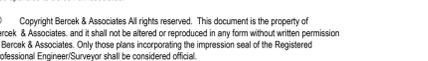
INLET GRATES

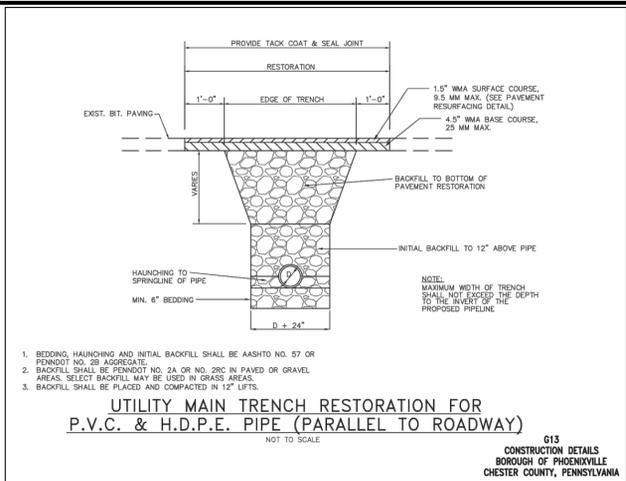
N.T.S.

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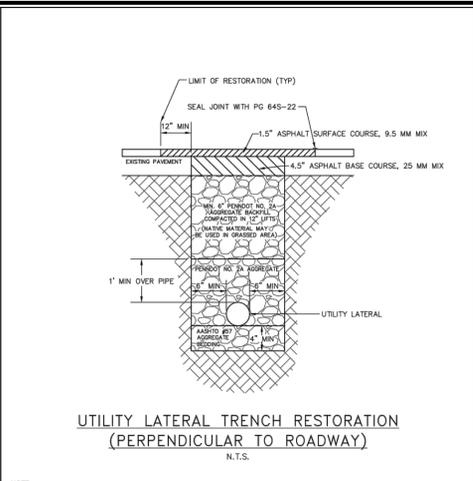
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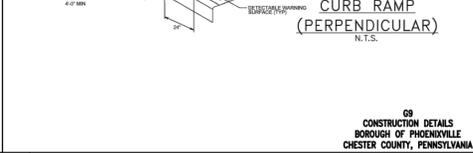
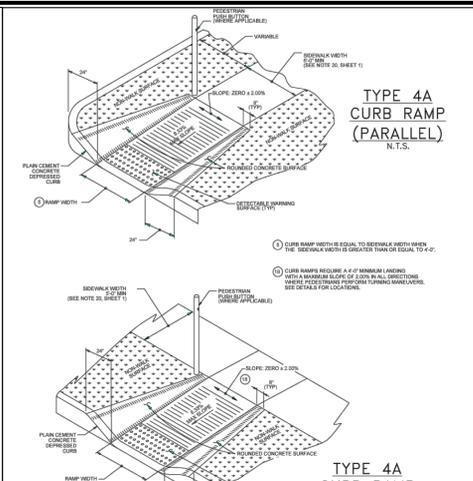
1. BEDDING, HAUNCHING AND INITIAL BACKFILL SHALL BE AASHTO NO. 57 OR PENNDOT NO. 2B AGGREGATE.
2. BACKFILL SHALL BE PENNDOT NO. 2A OR NO. 29C IN PAVED OR GRAVEL AREAS. SELECT BACKFILL MAY BE USED IN GRASS AREAS.
3. BACKFILL SHALL BE PLACED AND COMPACTED IN 12\"/>

UTILITY MAIN TRENCH RESTORATION FOR P.V.C. & H.D.P.E. PIPE (PARALLEL TO ROADWAY)
NOT TO SCALE

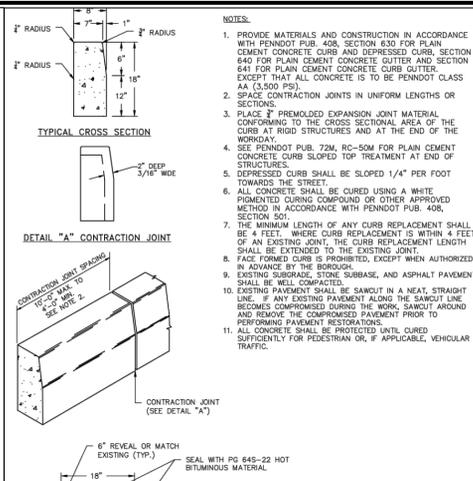


1. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE WIDTH OF TRENCH.
2. 3/4\"/>

UTILITY LATERAL TRENCH RESTORATION (PERPENDICULAR TO ROADWAY)
N.T.S.

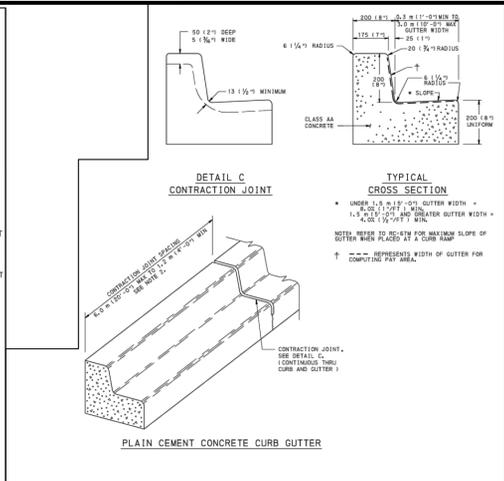


TYPE 4A CURB RAMP (PARALLEL) N.T.S.
TYPE 4A CURB RAMP (PERPENDICULAR) N.T.S.



1. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DERESSED CURB, SECTION 640 FOR PLAIN CEMENT CONCRETE GUTTER AND SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER. EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,500 P.S.I.).
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 2\"/>

CONCRETE CURB AND ROADWAY RESTORATION DETAIL
N.T.S.



1. PROVIDE MATERIALS AND CONSTRUCTION, MEETING THE REQUIREMENTS OF PENNDOT PUB. 408, SECTION 641 FOR PLAIN CEMENT CONCRETE CURB GUTTER. EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,500 P.S.I.).
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 2\"/>

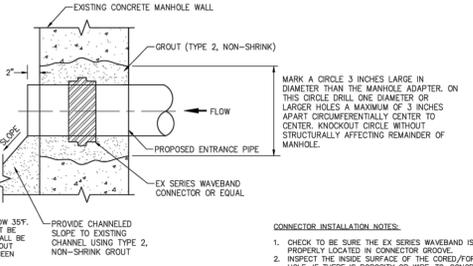
PLAIN CEMENT CONCRETE CURB GUTTER
N.T.S.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN
CURBS AND GUTTERS



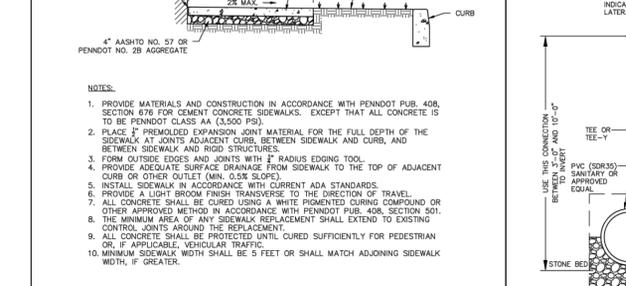
1. DO NOT INSTALL IN TEMPERATURES BELOW 35°F.
2. MANHOLE SHALL NOT BE BACKFILLED AND SHALL BE KEPT DRY UNTIL GROUT CURE PERIOD HAS BEEN ACHIEVED.
3. PROVIDE CHANNIELED SLOPE TO EXISTING MANHOLE USING TYPE 2, NON-SHRINK GROUT.

CONNECTION TO EXISTING SANITARY MANHOLE
N.T.S.



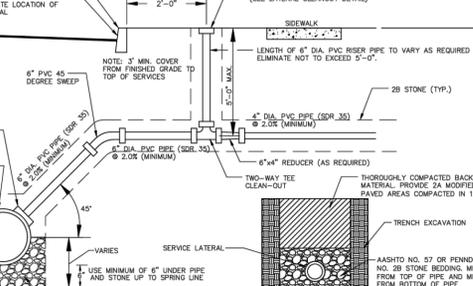
1. CHECK TO BE SURE THE EX SERIES WAVEBAND IS PROPERLY LOCATED IN CONNECTOR BRIDGE.
2. INSPECT THE INSIDE SURFACE OF THE CORE/FORMED HOLE. IF THERE IS POROSITY OR W/ID-TO-CONCRETE SEPARATION, USE PATCHING OR HYDRAULIC CEMENT TO SMOOTH THE SURFACE.

SECTIONS FOR SANITARY MANHOLES
NOT TO SCALE



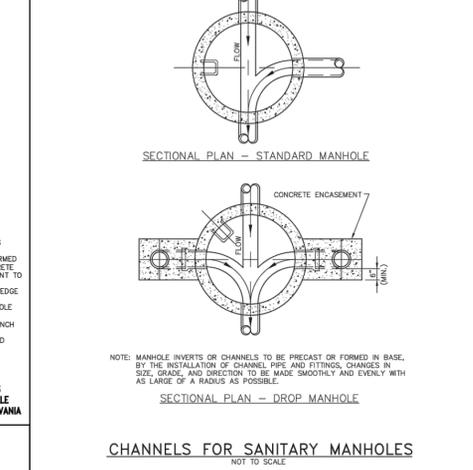
1. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 676 FOR CEMENT CONCRETE SIDEWALKS. EXCEPT THAT ALL CONCRETE IS TO BE PENNDOT CLASS AA (3,500 P.S.I.).
2. PLACE 2\"/>

CEMENT CONCRETE SIDEWALK
N.T.S.



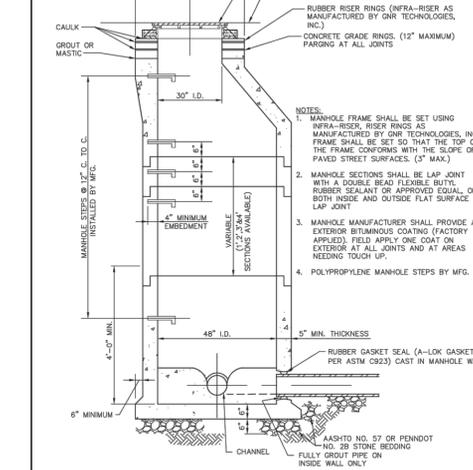
1. MAKE SURE SEALING ARE OF PIPE IS SMOOTH AND FREE OF DEFECTS. REPAIR IF NEEDED.
2. CENTER PIPE IN CONNECTOR OPENING. (PIPE MUST NOT REST ON CONNECTOR KORBAND).
3. POSITION THE PIPE CLAMP IN THE CONNECTOR'S PIPE CLAMP GROOVE WITH THE SCREW AT THE TOP.

SANITARY LATERAL
3' TO 10' DEPTH
N.T.S.



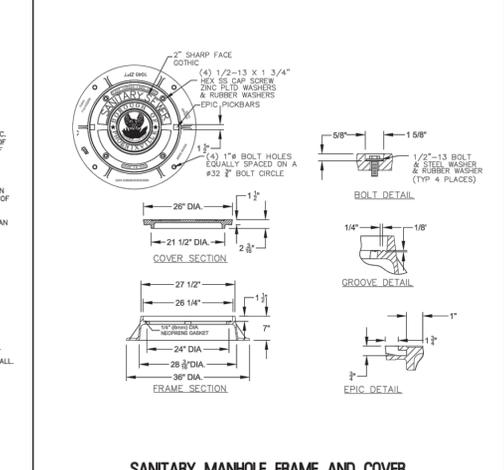
1. MANHOLE FRAME SHALL BE SET USING NFPA-RISER, RISER RINGS AS MANUFACTURED BY GNR TECHNOLOGIES, INC. FRAME SHALL BE SET SO THAT THE TOP OF THE FRAME CONFORMS WITH THE SLOPE OF PAVED STREET SURFACES. (3\"/>

SANITARY MANHOLE
N.T.S.



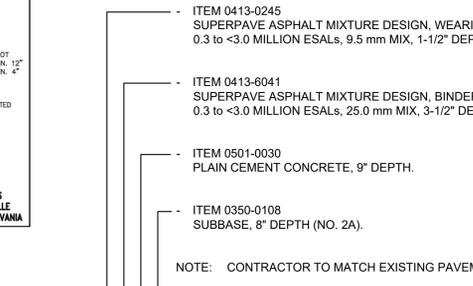
1. MANHOLE FRAME SHALL BE SET USING NFPA-RISER, RISER RINGS AS MANUFACTURED BY GNR TECHNOLOGIES, INC. FRAME SHALL BE SET SO THAT THE TOP OF THE FRAME CONFORMS WITH THE SLOPE OF PAVED STREET SURFACES. (3\"/>

SANITARY MANHOLE FRAME AND COVER
N.T.S.



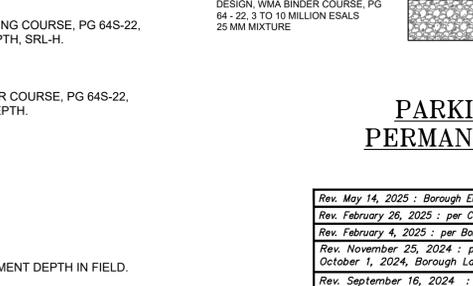
1. MANHOLE FRAME SHALL BE SET USING NFPA-RISER, RISER RINGS AS MANUFACTURED BY GNR TECHNOLOGIES, INC. FRAME SHALL BE SET SO THAT THE TOP OF THE FRAME CONFORMS WITH THE SLOPE OF PAVED STREET SURFACES. (3\"/>

SANITARY MANHOLE FRAME AND COVER
N.T.S.



- ITEM 0413-0245 SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO <3.0 MILLION ESALS, 9.5 mm MIX, 1-1/2\"/>

WEST BRIDGE STREET PAVEMENT RESTORATION DETAIL
N.T.S.



- ITEM 0413-6041 SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 0.3 TO <3.0 MILLION ESALS, 25.0 mm MIX, 3-1/2\"/>

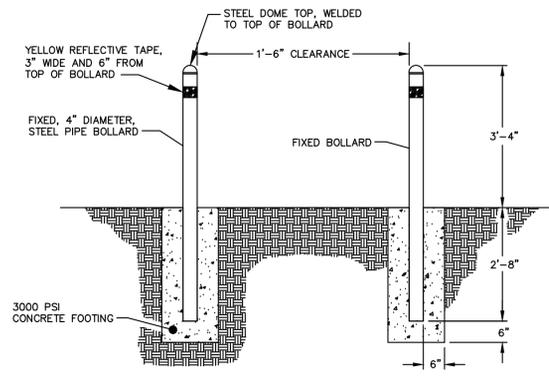
PARKING LOT / DRIVEWAY PERMANENT PAVEMENT DETAIL
N.T.S.

Rev. May 14, 2025 : Borough Engineer's review letter dated 3/25/25.
Rev. February 26, 2025 : per CCD review letter dated 02/13/25.
Rev. November 4, 2024 : per Borough Engineer's review letter dated 12/24/24 & Borough Planner's review letter dated 01/02/25.
Rev. November 25, 2024 : per Borough Engineer's review letter of October 4, 2024, Borough Planner's review letter of October 1, 2024, Borough Landscape Architect's review letter of October 1, 2024 & CCD review letter dated November 6, 2024.
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BA BERCEK & ASSOCIATES
112 N. Lewis Road - Royersford, PA 19468 - Phone : 610-948-8947 - Email : mbercek@bercekkassociates.com

General Details & Notes Plan for
OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023
Plan No. C-22-003
Sheet 12 of 20

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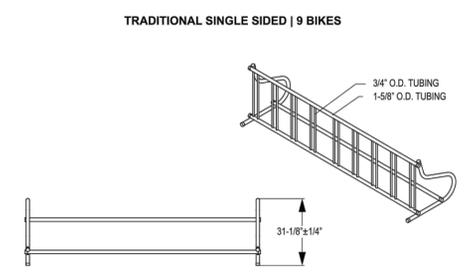


NOTE:
ALL METAL SHALL BE GALVANIZED PAINT, ONE COAT METAL PRIMER AND TWO COATS OF METAL ENAMEL.

STANDARD BOLLARD DETAIL

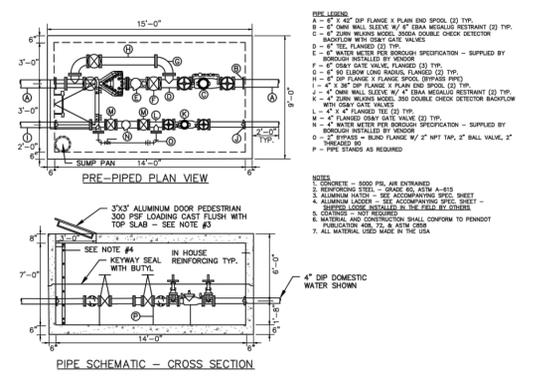
BELSON OUTDOORS
627 Amiable Drive
Naperville, IL 60563
Phone: (630) 323-5664
sales@belson.com

Model # BR16-G Dimension Sheet



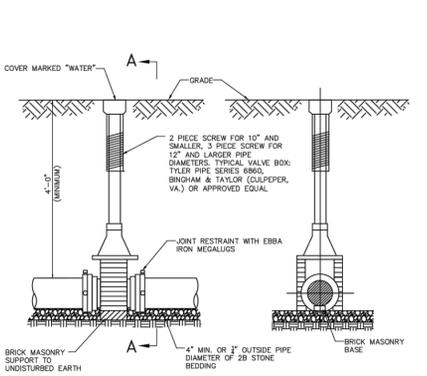
BIKE RACK DETAIL

www.belson.com



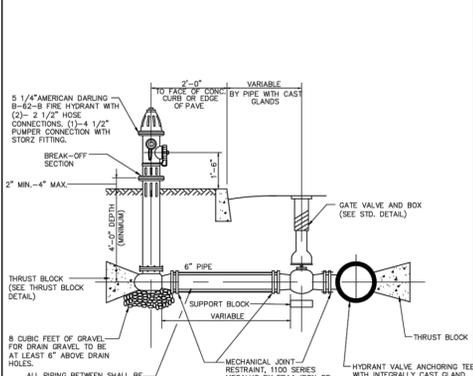
COMBO METER VAULT FOR 4" DOMESTIC & 6" FIRE SERVICES

W9 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



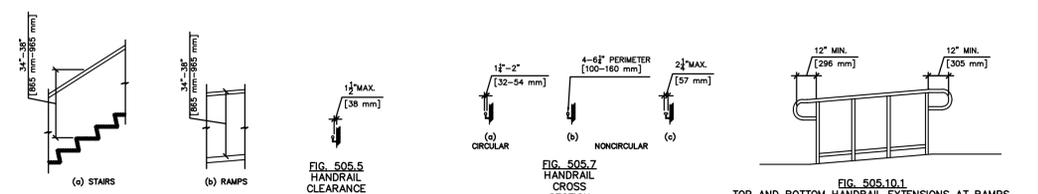
GATE VALVE DETAIL

W2 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



FIRE HYDRANT ASSEMBLY DETAIL

W5 CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



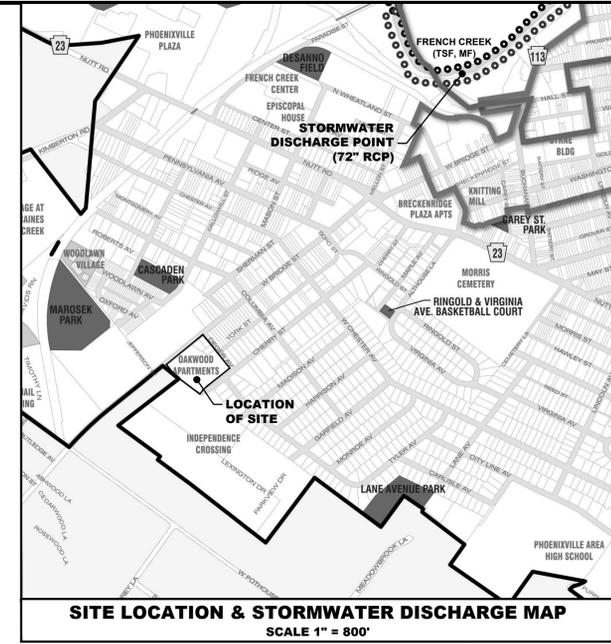
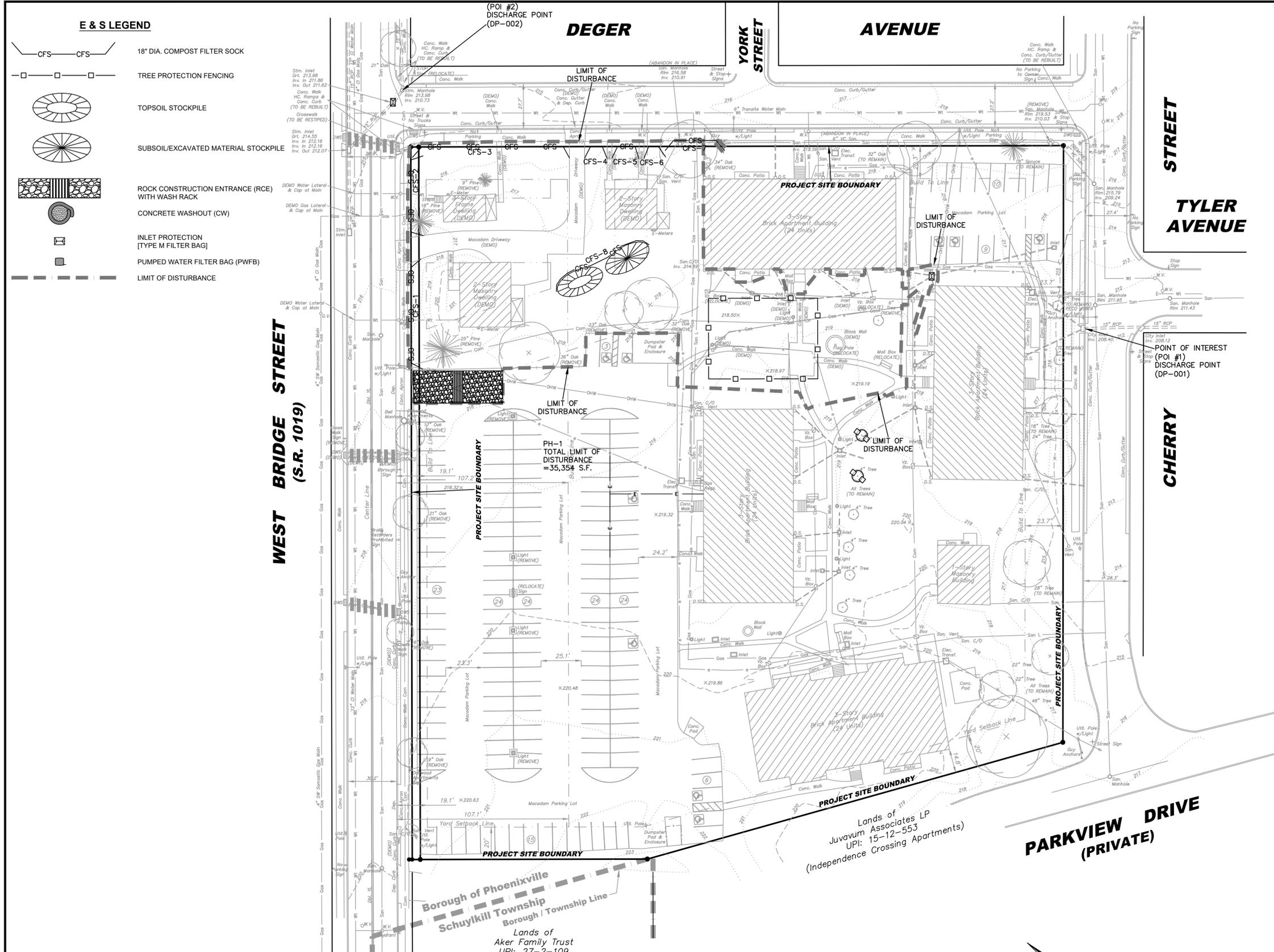
ADA HANDRAIL DETAIL

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General Details & Notes Plan for
OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023 - Plan No. C-22-003
Sheet 13 of 20

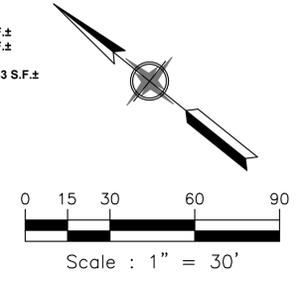


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PHASE 1 LOD = 35,354 S.F. ±
PHASE 2 LOD = 45,033 S.F. ±
CUMULATIVE LOD = 45,033 S.F. ±



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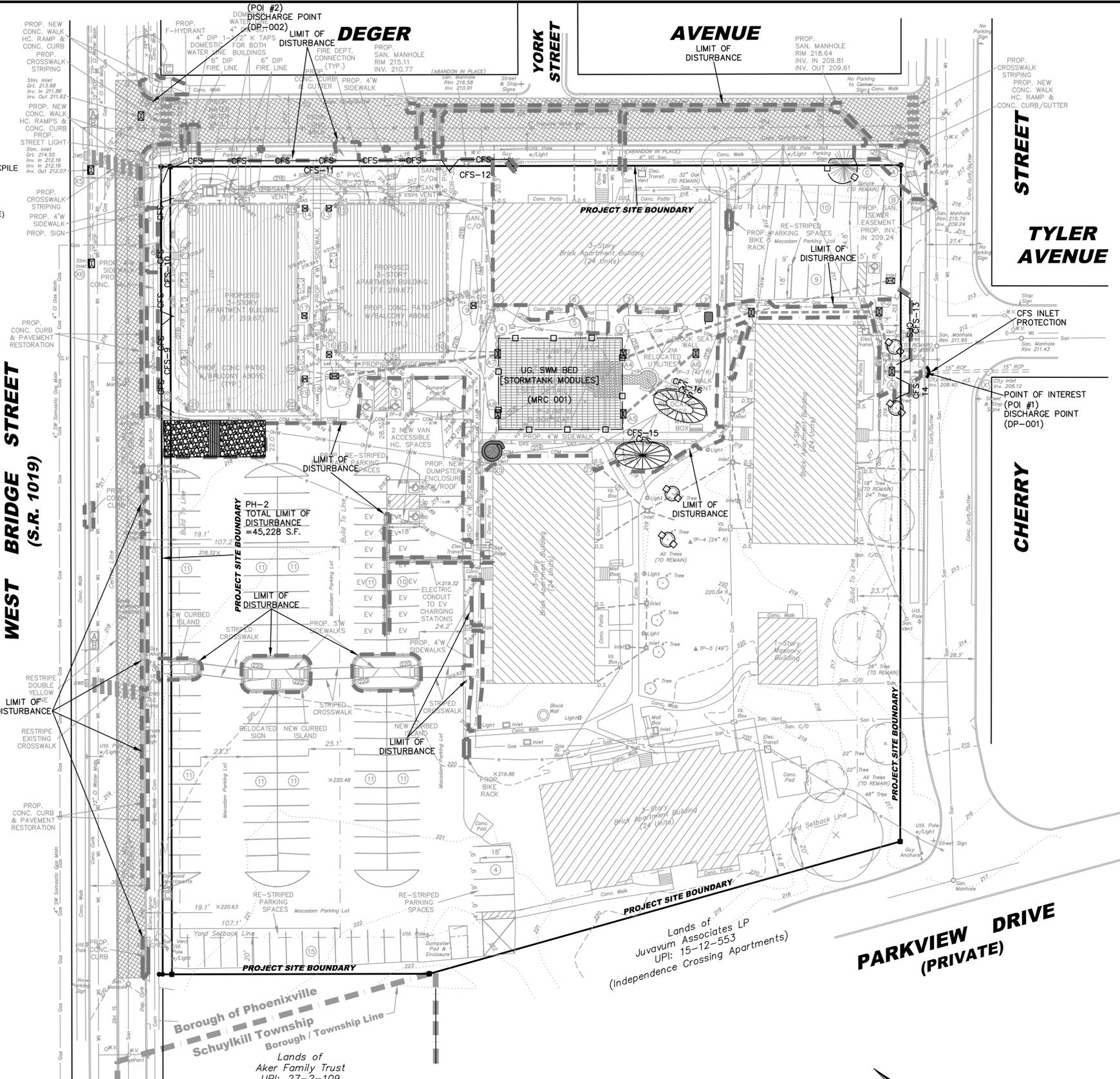
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Phase-1 Erosion and Sediment Control Plan for OAKWOOD APARTMENTS
 Borough of Phoenixville - Chester County, PA
 April 21, 2023 - Plan No. C-22-003
 Sheet 14 of 20

May 14, 2025

E & S LEGEND

- 18" DIA. COMPOST FILTER SOCK
TREE PROTECTION FENCING
TOPSOIL STOCKPILE
SUBSOIL/EXCAVATED MATERIAL STOCKPILE
ROCK CONSTRUCTION ENTRANCE (RCE) WITH WASH RACK
CONCRETE WASHOUT (CW)
INLET PROTECTION [TYPE M FILTER BAG]
INLET PROTECTION [TYPE C FILTER BAG]
INLET PROTECTION [12" CATCH BASIN FILTER BAG]
PUMPED WATER FILTER BAG (PWFB)
LIMIT OF DISTURBANCE



- SITE CONSTRUCTION SEQUENCE
Approximate Starting Date for Construction: Summer 2025
Approximate Completion Date for Construction/Final Stabilization: Spring 2026
1. Install compost filter sock at the locations shown on the Phase 1 plan.
2. Install tree protection fencing (6 ft. high) at the locations shown on the Phase 1 plan.
3. Install inlet protection (Type M) at the locations shown on the Phase 1 plan.
4. Remove existing parking lot paving in the proposed Rock Construction Entrance location.
5. Install Rock Construction Entrance with a Wash Rack at the location shown on the plan.
6. Begin demolition of the existing dwellings.
7. Within the existing courtyard area, remove the existing concrete sidewalk and the flagpole area within the Underground Rain Tank Modules with a Stone Bed.

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PHASE 2 LOD = 45,033 S.F.±
CUMULATIVE LOD = 45,033 S.F.±

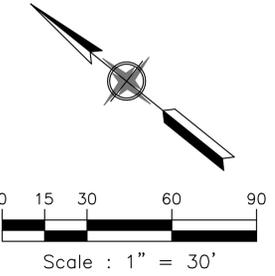


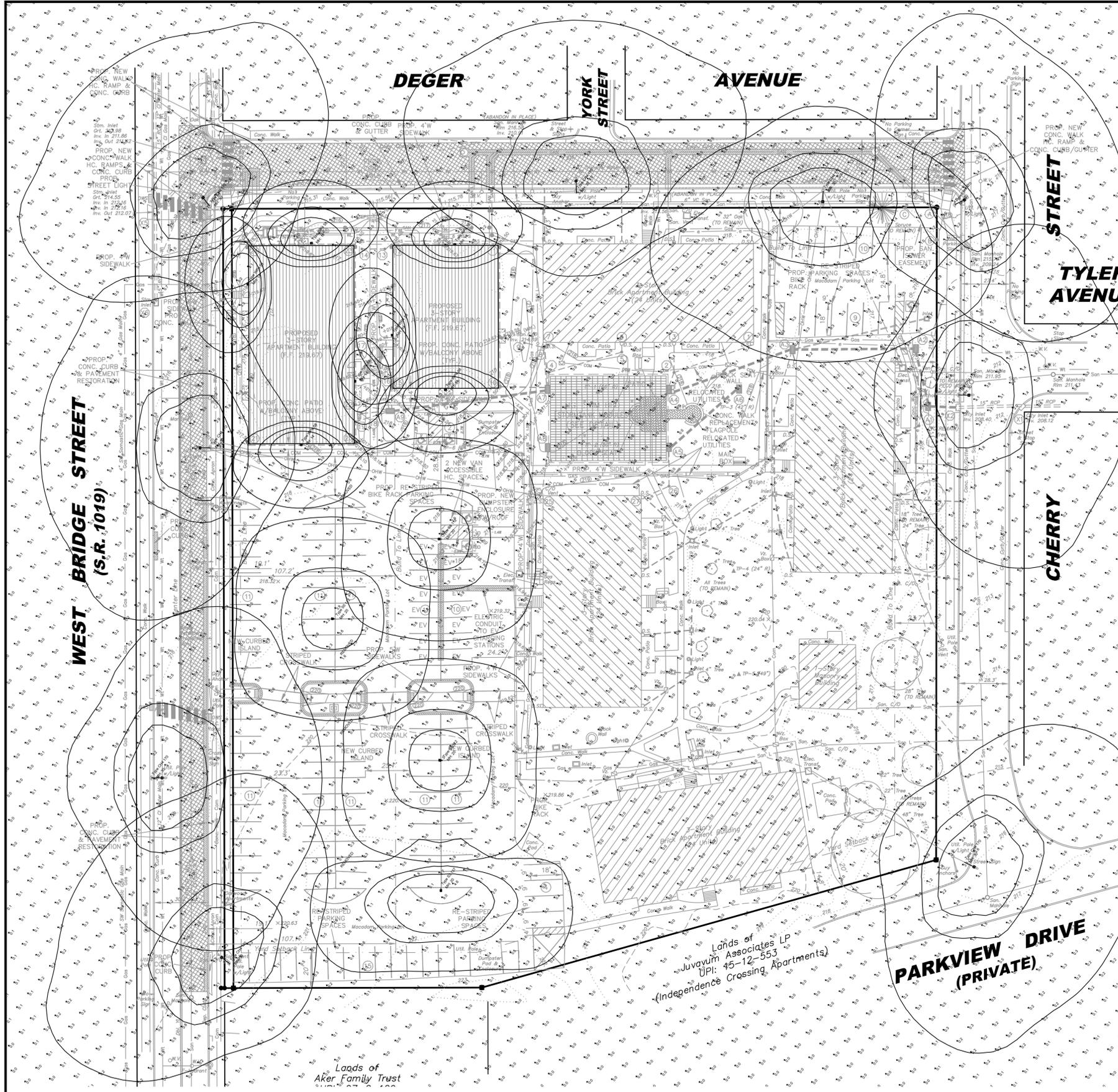
Table of revision history:
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Phase-2 Erosion and Sediment Control Plan for OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023 - Plan No. C-22-003
Sheet 15 of 20

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Soil Limitations:
URXB: Urban land - Penn complex, 0 to 8% slopes
Soil limitations are not provided for Urban land as per Table E.1 of the Pennsylvania Erosion and Sediment Pollution Control Manual, dated March 2012.
Soil Resolutions:
Soil resolutions are not provided for Urban land since there are no soil limitations.

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Symbol	Qty	Label	[MANUFAC]	Description	Arrangement	LLD	LDD	LLF
□	9	Type CH4 170	Leotek Electronics USA LLC	GCL1-80J-MV-30K-4-BK-240-PCR7	SINGLE	0.900	0.800	0.720
□	1	Type S3 137	Leotek Electronics USA LLC	AR13-48N-MV-WW-3-BK-170	SINGLE	0.900	0.800	0.720
□	3	Type S5 112	Leotek Electronics USA LLC	AR13-48N-MV-WW-5-BK-150	SINGLE	0.900	0.800	0.720
□	7	Type WP4 58	Leotek Electronics USA, LLC. 1955 Lundy	ES1-24H-MV-WW-W-BK-700	SINGLE	0.900	0.800	0.720

Label	CalcType	Units	Avg	Max	Min	Avg/Min	LVRatio	Grid Z
Macadam Parking Lot	Illuminance	Fc	1.09	7.1	0.2	5	N.A.	0
Cherry and Deger	Illuminance	Fc	2.22	4.2	0.8	3	N.A.	0
Cherry and Parkway	Illuminance	Fc	1.82	4.2	0.4	5	N.A.	0
Cherry and Tyler	Illuminance	Fc	2.60	4.2	1.2	2	N.A.	0
Entrance 1	Illuminance	Fc	5.04	6.1	3.9	1	N.A.	0
Entrance 2	Illuminance	Fc	5.14	6.1	4.2	1	N.A.	0
Entrance 3	Illuminance	Fc	5.67	6.5	4.5	1	N.A.	0
Entrance 4	Illuminance	Fc	6.16	6.4	5.8	1	N.A.	0
Entrance 5	Illuminance	Fc	5.16	5.8	4.3	1	N.A.	0
West Bridge and Deger	Illuminance	Fc	2.43	4.2	0.7	3	N.A.	0
York and Deger	Illuminance	Fc	3.11	4.2	1.8	2	N.A.	0

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS.

ANY SUBSTITUTION REQUESTS MUST BE SUBMITTED 15 DAYS PRIOR TO THE BID AND MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET OR EXCEED THE DESIGN INTENT OF THIS PLAN.

ALL EXTERIOR LIGHTING PLANS SHALL BE SUBMITTED 15 DAYS PRIOR TO THE BID TO THE LOCAL LIGHTING AUTHORITY TO DETERMINE IF ALL OF THE LOCAL LIGHTING REQUIREMENTS HAVE BEEN MET AND APPROVED BY THE LOCAL AUTHORITY.

INSTALLATION NOTES:

- 1.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UNDERGROUND STRUCTURES AND UTILITIES, SUCH AS WATER MAINS, SANITARY AND STORM SEWERS, TELEPHONE AND ELECTRIC CONDUITS, AND GAS LINES, ETC. AND ABOVE GROUND UTILITIES WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
- 2.) DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL ELEVATIONS, INVERTS, AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK.
- 3.) THE PENNSYLVANIA ONE CALL NUMBER IS 1-800-242-1776. THE CONTRACTOR IS REQUIRED TO SUBMIT VERIFICATION TO THE MUNICIPALITY THAT A "ONE-CALL" HAS BEEN PLACED PRIOR TO THE START OF DEMOLITION WORK.
- 4.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE MUNICIPALITY RELATIVE TO THE PROPOSED PROJECT.
- 5.) THE CONTRACTOR SHALL REPAIR ALL UTILITY TRENCHING WORK LOCATED WITHIN EXISTING PAVED STREETS.
- 6.) THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 7.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL.
- 8.) THE CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING, GATES, COVERED PEDESTRIAN WALKWAYS, TRAFFIC BARRIERS, AND SIGNAGE AT THE COMPLETION OF THE PROJECT. ALL AREAS DISTURBED AS A RESULT OF THE INSTALLATION OF THESE TEMPORARY CONTROLS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- 9.) THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF SHOWN IN THE LUMINAIRE SCHEDULE.
- 10.) THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- 11.) ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- 12.) THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

CALCULATION NOTES:

THE LIGHT LOSS FACTOR SHALL BE 0.72.

ILLUMINATION VALUES SHOWN (IN FOOTCANDELS) ARE THE PREDICTED RESULTS FOR PLANES OF THE CALCULATION EITHER HORIZONTAL, VERTICAL, OR INCLINED AS DESIGNATED IN THE CALCULATION SUMMARY.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY ALTERNATE FIXTURE USED IN PLACE OF THE SPECIFIED LIGHTING MEETS THE PHOTOMETRIC PERFORMANCE STANDARDS OUTLINED IN THE APPROVED LIGHTING PLAN; FAILURE TO DO SO WILL RESULT IN LIABILITY FOR ANY DEFICIENCIES OR INADEQUATE LIGHTING OUTCOMES.

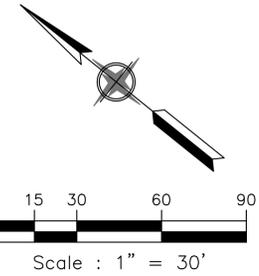
POLE NOTES:

14' SQUARE STRAIGHT STEEL POLES SHALL BE SUPPLIED BY DIT SOLUTIONS.
*FINISH TO BE BLACK

FOR PRICING AND COMMISSIONING, PLEASE CONTACT INDEPENDENCE LIGHTING:

INDEPENDENCE LIGHTING
KENT LAZOR
PHONE: 610-363-5271
EMAIL: KLAZOR@COMCAST.NET

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Lighting Plan for
OAKWOOD APARTMENTS
Borough of Phoenixville - Chester County, PA
April 21, 2023 - Plan No. C-22-003
Sheet 17 of 20

PRODUCT OVERVIEW



Dimonoff's Third Generation (H3) RME Node is a complete and scalable all-in-one lighting control system. It includes a future-proof firmware architecture that adapts to developments in radio technologies (including LoRa, NBIoT and others). It is suitable for both small and large networks that use groups, zones, adaptive lighting, scheduling functions, and many other cutting-edge features.

The RME is compatible with both 7-pin ANSI C136.41 and Zhaga Book 18 receptacles. By installing multiple H3s on street and parking lot lights (such as in car dealerships and malls), you create a seamless wireless mesh network that allows to connect other types of sensors and smart devices.

AT A GLANCE

- NEW: Voltage on the H3 is autocalibrated. This results in both more precise metering and fewer false alarms.
- NEW: Enhanced revenue-grade power metering (+/- 0.5 % accuracy) with multiple user-configurable alarms.
- NEW: Includes real-time operating system (RTOS) that can run multiple simultaneous tasks with minimal latency.
- Complete integration with Dimonoff's Gateways and Smart Central Management System including Dimonoff | SCMS and DOO Express software platform.
- Compact addressable modules that offer advanced wireless control, monitoring and metering for each fixture.
- On/Off switching and flexible dimming, adjustable minimum and maximum levels with 1 % steps.
- Integrated photocell. In its default configuration, the photocell operates immediately upon installation (no need for a network connection).
- A tilt sensor measuring the earth's gravity angles changes is included.
- Compatible with BACnet via Dimonoff gateways G3 and G3+.
- Programmable delay after blackout for peak shaving.
- Built-in demand response (load shedding) feature.
- Lumen depreciation compensation over time available upon request.

LUMINAIRES

- NEW: Dimming driver of your choice between 0-10 V or the DALI interface (DALI standard IEC 62386 including SR and Deval, DALI Part 252 - Energy reports and DALI Part 253 - Diagnostics and maintenance)
 - NEW: Adaptive DALI with or without DALI bus power supply (with 24V power supply option).
 - Adaptable Sink & Source 0-10 V output compatible with most dimming drivers (refer to luminaire spec sheet for capacity)
- Dimonoff's RME Smart Wireless Node is designed for LED fixtures, but is also compatible with other technologies including HPS (high pressure sodium), MH (metal halide) and MV (mercury vapor). This module works with voltages between 110 and 480 Vac and 50/60 Hz, or with a 24V auxiliary power supply.

Including a 7-pin ANSI C136.41 or Zhaga Book 18 receptacle of your choice and an internal photocell, the node allows optional support of digital and analog sensors (e.g. motion detector, adaptive lighting or advanced lighting controls) through pins 6 and 7. It is also compatible with ANSI C136.41 5-pin and ANSI C136.10 3-pin standard receptacles with no light level control.



TYPE: RML-S SURGE DEVICE TO BE INSTALLED ON FIXTURE TYPES S3, S4 AND S5



Retrofit Surge Module with External Ground Wire
20kV U_{oc} 10kA I_a 25kA I_{max}

The Retrofit surge line is ideal for DOT's, Municipalities, and Utilities that have identified high risk areas or troubled sites due to lightning issues or power related problems.

This design removes the surge protector from inside the fixture and positions it between the receptacle and the photocell making it replaceable and much easier to service. The 24" external ground wire attaches to the fixture, arm or pole and provides a ground path to shunt destructive surges and transients away from the fixture's sensitive electrical components



Features

- UL 1449 4th Edition
- L-N, L-G, N-G protection (3 Mode Protection)
- Optional GDT/MOV hybrid circuit
- Diagnostic light
- 3-pin and 7-pin models available
- Field Replaceable

Applications

- Highway & Street Lighting
- Lighting
- Parking Lots & Garages
- Bus & Train Depot Lighting
- Digital Signs & Billboards
- Paths & Walkways
- Parks & Stadiums



Gas Discharge Tube / MOV Circuit designed to eliminate leakage and follow on current extending the life of the surge protector.

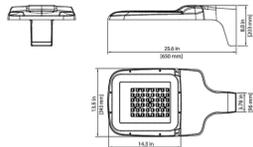
Surge Protection Specifications

Product Model	Product Model	Voltage	U _{oc}	I _a	I _{max}	MOV	Voltage Protection Rating	4-Mode Protection	4-Mode Protection	Diagnostic Light	Operating Temperature	Connection	Product History
Retrofit Surge Module 3 Pin	SD10P27AE-TL	27V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	LikeNew
Retrofit Surge Module 5 Pin	SD10P48AE-TL	48V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	LikeNew
Retrofit Surge Module 7 Pin	SD10P72LE-TL	27V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	10-years
Retrofit Surge Module 5 Pin	SD10P48LE-TL	48V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	10-years
Retrofit Surge Module 7 Pin	SD10P72AE-TL	27V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	LikeNew
Retrofit Surge Module 7 Pin	SD10P72LE-TL	27V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	10-years
Retrofit Surge Module 5 Pin	SD10P48LE-TL	48V	15kA	25kA	32kV	1300V	✓	✓	✓	✓	-40° ~ +150°	Series	10-years



ARIETA® 13 Architectural LED Area Luminaire
AR13 N-Series Specification Data Sheet

Luminaire Data
Weight 15.4 lbs (7 kg)
EPA 0.47 ft²



Ordering Information
Sample Catalog No. AR13 48V MV NW S BK 150 MSL3

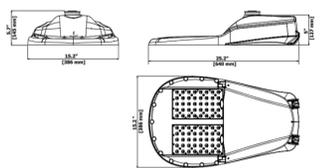
Product	LED Code	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Output Code ²	Options	
AR13	48V	MV	120-277V	WW 3000K	2	Type 2	BK	Black Light Shield (Factory Installed)
					3	Type 3	DB	Dark Output Code
					4	Type 4	BR	Dark Output Code
					5	Type 5	AFR	Auto Front Row
					DB1	Dark Bronze (RAL8021)	080	Control Ready 7-wire Photocentral Receptacle
					DB2	Dark Bronze (RAL8021)	100	Control Ready 7-wire Photocentral Receptacle
	NW	4000K	5000K	CW	MSL1	Motion Sensor with 12 Lens	MSL2	Motion Sensor with 12 Lens
					MSL3	Motion Sensor with 12 Lens	MSL4	Motion Sensor with 12 Lens
					MSL5	Motion Sensor with 12 Lens	MSL6	Motion Sensor with 12 Lens
					MSL7	Motion Sensor with 12 Lens	MSL8	Motion Sensor with 12 Lens
					MSL9	Motion Sensor with 12 Lens	MSL10	Motion Sensor with 12 Lens
					MSL11	Motion Sensor with 12 Lens	MSL12	Motion Sensor with 12 Lens

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. DB (RAL8021) is our original dark bronze. DB1 (RAL8019) is a new dark bronze option. Consult factory for other finishes. See page 2 forRAL codes of standard finishes.
- Specified output code set at the factory set. Includes feature mounted output selector that enables field adjustable light levels.
- Flush mounted enhanced back light shield, factory installed.
- No field adjustable output. Specified output code set at the factory.
- Includes output selector that enables field adjustability of light levels. Field changeable connectors included to enable dimming connection to PCFZ (wireless node dimming is disabled by default).
- Control-ready wired at factory for wireless node dimming. Output selector not included in fixture. Not able to adjust above specified output code.
- See L1 or L1 Lens coverage details on page 4. Consult factory for MS specified with ANSI 7-wire Photocentral Receptacle. PCFZ option is required for On/Off control using light detector. Not available in HV.
- For RFD profile options see page 5. Only available with MV (120-277V).
- Specify Color (DB, DB1, DB2, BK, WH, NA)
- Specify MV (120-277V) or HV (347V-480V)
- Specify the CF Option for coastal installation. See warranty for details.



GreenCobra™ LED Street Light
GCL J-Series Specification Data Sheet

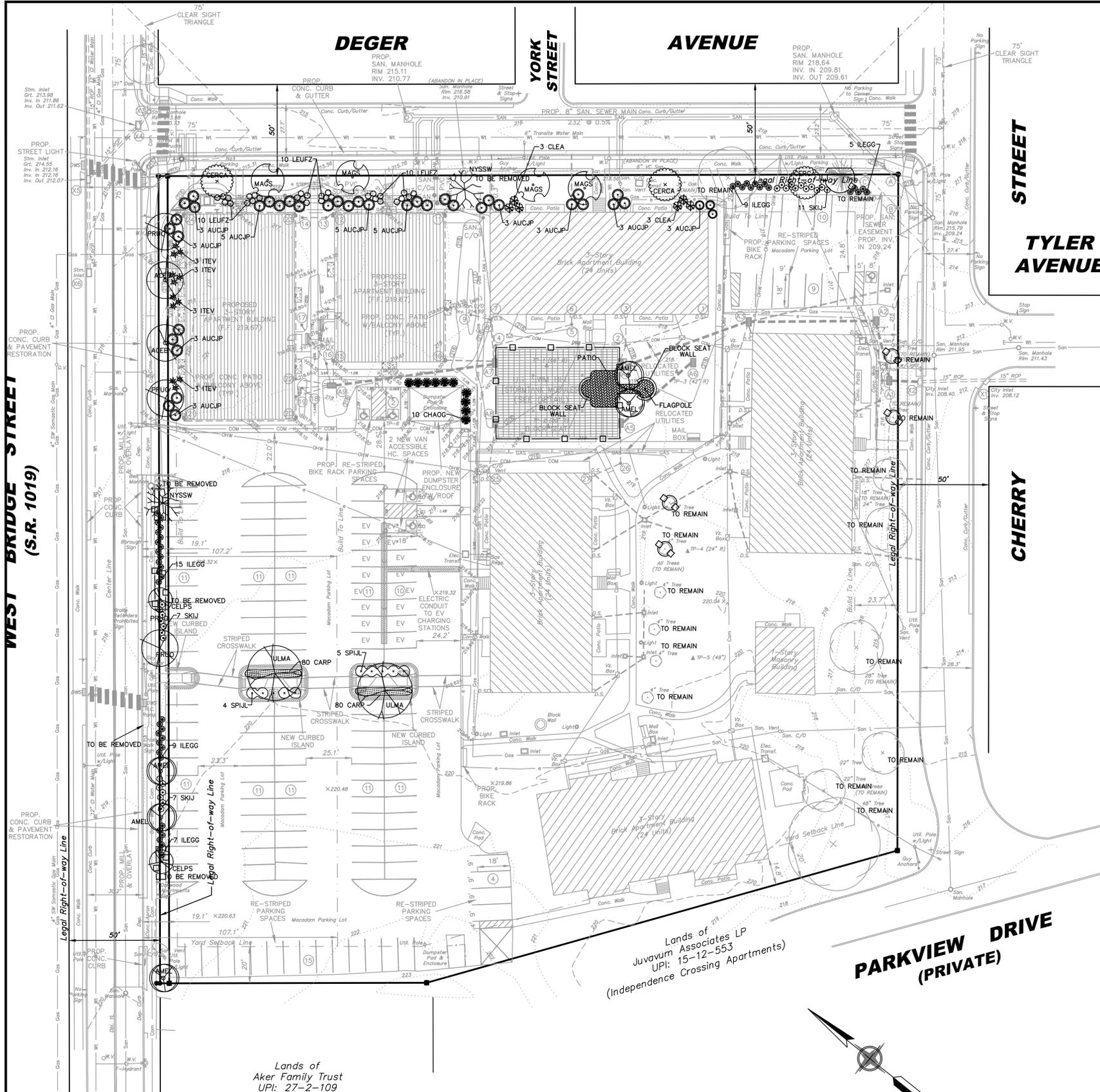
Luminaire Data
Weight 19 lbs (8.7 kg)
EPA 0.52 ft²



Ordering Information
Sample Catalog No. GCLJ 48V MV 30K-25 CV-185-PCR7-RWG

Model ¹	LED Code	Voltage	Color Temperature	Distribution	Finish ¹	Output Code ²	Options	
GCLJ*	80J	MV	120-277V	30K	25	Type 2 Short	FC*	Fixed Output Code
							FC*	Fixed Output Code
							FC*	Fixed Output Code
GCLJ*	80J	MV	347-480V	40K	28	Type 2 Medium	FC*	Fixed Output Code
							FC*	Fixed Output Code
							FC*	Fixed Output Code
GCLJ*	80J	MV	5000K	38	Type 3 Medium	Type 3F	FC*	Fixed Output Code
							FC*	Fixed Output Code
							FC*	Fixed Output Code

- Refer to performance data table on page 3 for specific model with corresponding output code.
- Specified output code is the factory set luminaire performance. Refer to performance data table on page 3 for this specific model. Field adjustable output selector enables factory to be changed in the field to adjust light output for local conditions (not available with Adjustable Output Code, FC* or PCFZ-CK option. Consult factory if wattage limits require a special drive current.
- Non-field adjustable. Fixed output code. Specify required output code. Not available with PCFZ-CK option.
- Includes output selector that enables field adjustability of light levels. Includes connectors to allow easy upgrade of wireless dimming via PCFZ. Wireless node by others.
- Control-ready wired at factory for wireless node dimming (node by others). Output selector not included in the fixture. Not able to adjust above specified output code.
- Specify the CF Option for coastal installation. See warranty for details.
- Standard surge protection, 120V/240V. Fail-to-arc, meets enhanced surge protection based on ANSI 136.25-2015 3-part test.
- Flush mounted house side shield. Shield cuts light off at mounting height behind luminaire. Same shield as H-Series product. Black color.
- Flush mounted out-of-sight shield. Shield cuts light off at mounting height behind luminaire and 2 times the mounting height on other side of luminaire. Same shield as H-Series product. Black color.
- Flush mounted front side shield cuts light off at approximately 2x mounting height in front of luminaire (front side). Same shield as H-Series product. Black color.
- Specify Color (BK, BK1, BK2, BK3, BK4, BK5, BK6, BK7, BK8, BK9, BK10, BK11, BK12, BK13, BK14, BK15, BK16, BK17, BK18, BK19, BK20, BK21, BK22, BK23, BK24, BK25, BK26, BK27, BK28, BK29, BK30, BK31, BK32, BK33, BK34, BK35, BK36, BK37, BK38, BK39, BK40, BK41, BK42, BK43, BK44, BK45, BK46, BK47, BK48, BK49, BK50, BK51, BK52, BK53, BK54, BK55, BK56, BK57, BK58, BK59, BK60, BK61, BK62, BK63, BK64, BK65, BK66, BK67, BK68, BK69, BK70, BK71, BK72, BK73, BK74, BK75, BK76, BK77, BK78, BK79, BK80, BK81, BK82, BK83, BK84, BK85, BK86, BK87, BK88, BK89, BK90, BK91, BK92, BK93, BK94, BK95, BK96, BK97, BK98, BK99, BK100, BK101, BK102, BK103, BK104, BK105, BK106, BK107, BK108, BK109, BK110, BK111, BK112, BK113, BK114, BK115, BK116, BK117, BK118, BK119, BK120, BK121, BK122, BK123, BK124, BK125, BK126, BK127, BK128, BK129, BK130, BK131, BK132, BK133, BK134, BK135, BK136, BK137, BK138, BK139, BK140, BK141, BK142, BK143, BK144, BK145, BK146, BK147, BK148, BK149, BK150, BK151, BK152, BK153, BK154, BK155, 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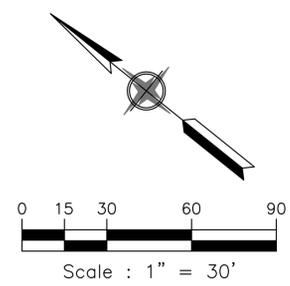


LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE CONDITION	QUANTITY	HEIGHT SPREAD	NOTES	SPACING PLANTING INST.
TREES							
ACEB	Acer buergerianum	Trident Maple	2.5" Cal.	2	8'-10'	Symmetrically Branched	As Noted
AMEL	Amelanchier laevis	Allegheny Serviceberry	2.5" Cal.	5	8'-10'	Symmetrically Branched	As Noted
CELP	Celtis 'JFS-KSU1'	Prairie Sentinel Hackberry	3.5" Cal.	2	14'-18'	Symmetrically Branched	As Noted
CERCA	Cercis canadensis	Alba	2.5" Cal.	3	8'-10'	Symmetrically Branched	As Noted
MAGS	Magnolia stellata	Star Magnolia	B & B	4	5'-6'	Symmetrically Branched	As Noted
NYSSW	Nyssa sylvatica	Wildfire Black gum	B & B	2	14'-18'	Symmetrically Branched	As Noted
PRUO	Prunus 'Okame'	Okame Cherry	2.5" Cal.	3	8'-10'	Symmetrically Branched	As Noted
ULMA	Ulmus 'Mortan'	Accolade Elm	3.5" Cal.	2	14'-18'	Symmetrically Branched	As Noted
SHRUBS							
AUCJP	Aucuba japonica	Petite Jade	8" Ball	39	10"-12"	Symmetrically Branched	As Noted
CARP	Carex pennsylvanica	Pennsylvania Sedge	2 GAL	160	12"	Symmetrically Branched	As Noted
CHAGG	Chamaecyparis obtusa	Slender Hinoki	12" Ball	10	3'-4'	Symmetrically Branched	As Noted
CLEA	Clethra alnifolia	Summersweet	8" Ball	6	10"-12"	Symmetrically Branched	As Noted
ILEGG	Ilex glabra	Green Box	10"-12" Ball	45	2'-3'	Symmetrically Branched	As Noted
ITEV	Itea virginica	Virginia Sweetapire	10"-12" Ball	12	24"-30"	Symmetrically Branched	As Noted
LEUFZ	Leucothoe fontanesiana	Scarletta	10"-12" Ball	30	2'-3'	Symmetrically Branched	As Noted
SKJ	Skimmia japonica	Japanese Skimmia	B & B	25	24"-30"	Symmetrically Branched	As Noted
SPIL	Spiraea japonica	Little Princess	10"-12" Ball	9	24"-30"	Symmetrically Branched	As Noted

- NOTES:**
- Should any tree on the site, not scheduled to be removed, be irreparably damaged during site development or building construction activities, to the extent that the tree will not survive as determined by the Borough Arborist, the tree shall be removed by the developer or permit holder. The developer or permit holder shall plant three (3) replacement trees, a minimum of 1" and maximum of 3" in caliper listed on the approved Public Trees List.
 - Refer to ANSI A300 Clause 10: Planting and transplanting and the International Society of Arboriculture, Best Management Practices - Tree Planting, Second Edition (2004) for planting specifications.
 - Trees shall be staked with 2" X 2" wooden stakes and loosely affixed with arbor tape ties. The ties should only be knotted on the stake end to allow movement during wind events and girdle the tree in three growing seasons.

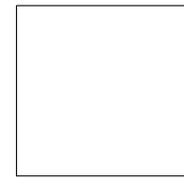
LEGEND



LANDSCAPE ARCHITECT CERTIFICATION:

I, James D. Dauphinee, a registered Landscape Architect of the Commonwealth of Pennsylvania, certify that this plan has been prepared under my direct supervision and the design of all improvements is correct.

James D. Dauphinee #LA-001629-E Date _____



Rev. May 14, 2025 : Borough Engineer's review letter dated 3/25/25.
 Rev. February 26, 2025 : per CCDC review letter dated 02/13/25.
 Rev. February 4, 2025 : per Borough Engineer's review letter dated 12/24/24 & Borough Planner's review letter dated 01/02/25.
 Rev. November 25, 2024 : per Borough Engineer's review letter of October 4, 2024, Borough Planner's review letter of October 1, 2024, Borough Landscape Architect's review letter of October 1, 2024 & CCDC review letter dated November 6, 2024.
 Rev. September 16, 2024 : per CCDC pre-application meeting.
 Rev. July 8, 2024 : per Borough Engineer's review letter of June 26, 2023, CCPC review letter of June 28, 2023, Borough Planner's review letter of June 30, 2023 & Borough Fire Chief's review letter of July 20, 2023.



112 N. Lewis Road - Royersford, PA 19468 - Phone : 610-948-8947 - Email : mbercek@bercekkassociates.com

Landscaping Plan for OAKWOOD APARTMENTS

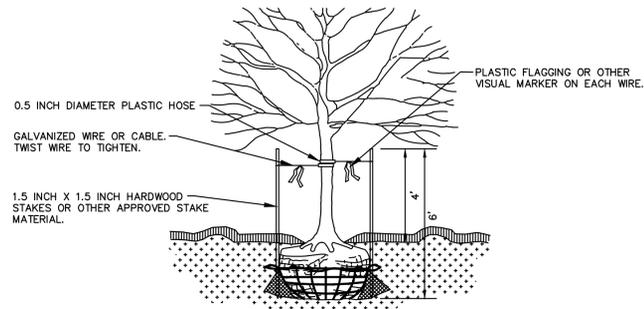
Borough of Phoenixville - Chester County, PA
 April 21, 2023 Plan No. C-22-003

ACKNOWLEDGMENT AND AGREEMENT FOR ELECTRONIC MEDIA AND PLAN INFORMATION
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WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
TREES UP TO 2.5 INCH CALIPER - 14 GAUGE
TREES 2.5 INCH TO 3 INCH CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 INCH CALIPER OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.



ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM 0.5 INCH.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.

THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:
o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOILS. STAKING ADVISABLE.
o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.
o TREE LOCATED ON STEEP SLOPES (GREATER THAN 33%). STAKING ADVISABLE.

DECIDUOUS TREE STAKING DETAIL TREES 3" CALIPER OR LESS

N.T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON APPROVAL FROM THE LANDSCAPE ARCHITECT. (SEE STAKING DETAIL AS APPROPRIATE)

WRAP TREE TRUNKS ONLY UPON APPROVAL FROM THE LANDSCAPE ARCHITECT. (SEE TREE WRAPPING DETAIL AS APPROPRIATE)

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS.

THREE INCHES (3") OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

NOTE: FOR DIMENSIONS OF PLANTING AREA, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS."

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.

IF PLANT IS SHIPPED WITH WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8 INCHES INTO PLANTING HOLE.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

PLACEMENT OF MULCH RING - MIN. 6" DIA. PREFERRED: 8" DIA.

4 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

8 IN.

NOTES:
1. TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
2. TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS SHALL BE REJECTED.
3. TREES WITH CENTRAL LEADER BROKEN SHALL BE REJECTED.
4. TREES THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS SHALL BE REJECTED.

DECIDUOUS TREE PLANTING DETAIL IN ALL SOIL TYPES

THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 FEET SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

N.T.S.

DO NOT HEAVILY PRUNE THE SHRUBS AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT MASS FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS. DO NOT COVER THE TOP OF THE ROOT MASS WITH SOIL.

THREE INCHES (3") OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP THIRD OF ROOT BALL.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

PLACE ROOT MASS ON UNEXCAVATED OR TAMPED SOIL.

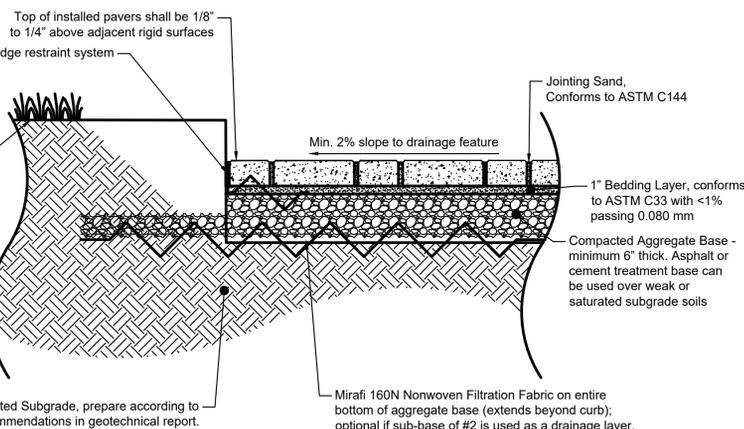
2 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

24" MINIMUM

NOTES:
1. PLANTS WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
2. PLANTS THAT DO NOT DISPLAY THE NORMAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.

DECIDUOUS & EVERGREEN SHRUB DETAIL

N.T.S.



Design Notes:

- Cross section as shown is suitable for pedestrian and vehicular applications. Paver dimensions subject to aspect and plan ratio requirements. Contact existing paver manufacturer for product selection guidance based on the intended traffic loading.
- Depth of aggregate base subject to site specific conditions (traffic loading, soil conditions, groundwater levels, climatic conditions). Contact existing paver manufacturer for design assistance.
- Drain pipes may be required within the aggregate base depending on the permeability of the subgrade soils. Ensure drain pipes are able to daylight via gravity flow to surface, or connect to catch basin.
- Ensure the geotextile above the drain hole has good drainage characteristics and is not prone to clogging.
- Techniseal HP Nextgel jointing sand conforming to ASTM C144 may be used in pedestrian and light vehicular applications. Please contact existing paver manufacturer for design assistance.

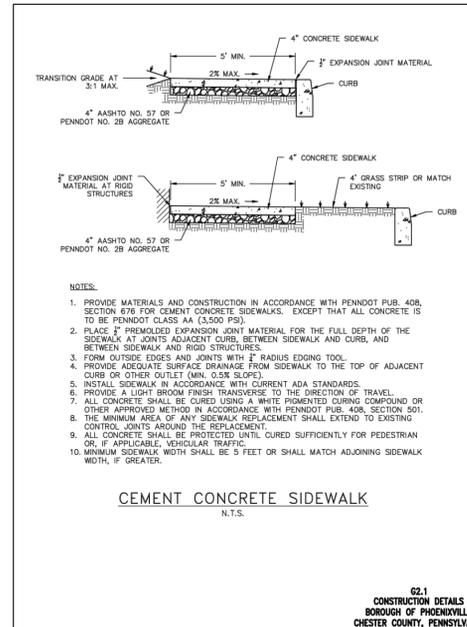
PAVER PATIO DETAIL

N.T.S.

POST-CONSTRUCTION SOIL CONDITION	MINIMUM WIDTH PREPARED SOIL FOR TREES	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FEET	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS, ADD COMPOSTED ORGANIC MATERIAL UP TO 5% DRY WEIGHT
GRADED SUBSOILS AND CLEAN FILL WITH CLAY CONTENT BETWEEN 5% TO 35%	20 FEET	MINIMUM TREATMENT: LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN THE PLANTING DETAILS AND UNDER MINIMUM WIDTHS, ADD COMPOSTED ORGANIC MATERIAL TO BRING ORGANIC MATERIAL UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 INCHES OR THE EXISTING SOIL WIDTHS AND DEPTHS AS INSTRUCTED, ADD 8-10 INCHES OF PREPARED LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FEET	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL. ADD PREPARED LOAM TOPSOIL TO FILL AREA.

VARIOUS SOILS IMPROVEMENT DETAIL

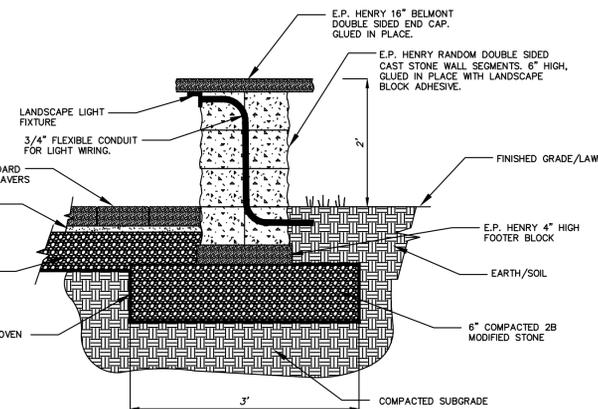
N.T.S.



CEMENT CONCRETE SIDEWALK

N.T.S.

62.1
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



SEAT WALL DETAIL

N.T.S.

ACKNOWLEDGMENT AND AGREEMENT FOR ELECTRONIC MEDIA AND PLAN INFORMATION

These documents including plans, specifications, reports and electronic media files were prepared specifically for this project for the individual(s) named on the documents as dated. The documents are not represented to be suitable for reuse on extensions of this project, or for any other project, nor are they to be used by anyone other than the original client named on the plans. Any such reuse or modification is strictly forbidden, and therefore, any use or modification shall be an agreement deemed to indemnify and save harmless Bercek & Associates, for all claims, damages, losses and expenses arising from the use herefrom. The information contained in the documents is to be verified in the field prior to construction and any user of the information is also obligated to report any discrepancies to Bercek & Associates.

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General Landscape Notes:

- All plant material shall meet the minimum standards for health, form, and root conditions as outlined in the American Association of Nurserymen (AAN) Standards ANSI Z601.1996 or later. Plants shall be typical of their species and variety; have normal growth habits; have well developed branches; be densely foliated; have vigorous root systems; and be free from defects and injuries.
- All plant material shall be hardy within the USDA hardiness zone 6. The plant material must be obtained from local nurseries within 75 miles of the project site. If material cannot be obtained within the 75-mile radius the contractor shall notify the landscape architect.
- Prior to the contractor starting to plant the plant material, the contractor shall meet the landscape architect on site to review the plans and walk the site.
- The contractor shall verify location of all utilities before planting or digging.
- All shade and evergreen tree plantings shall be located at least 10 horizontal feet from underground utilities or building facades whenever possible. The landscape architect must be notified immediately if plantings are proposed to be planted near or over underground utilities so that field adjustments can be made.
- Shade trees shall not be planted under overhead wires. If this field condition exists the contractor shall advise the landscape architect so that field adjustments can be made or appropriate plant material can be substituted.
- Plant material shall be furnished and installed by the contractor as indicated on the landscaping plan including all labor, materials, plants, equipment, incidentals and cleanup.
- The contractor shall report to the landscape architect if any soil or drainage conditions are encountered are considered detrimental to the growth and health of the plant material.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provisions shall be made for a guarantee of at least eighteen (18) months for trees and shrubs. At a minimum the plant material shall be guaranteed for at least two (2) growing seasons. The growing seasons shall start May 15 and end October 15. Replacement of broken, dead or diseased plant material shall be made at the earliest plantable time whether the same year or following the next season. All replacements shall have a guarantee period of at least eighteen (18) months or two (2) growing seasons starting from the time the plant material is replaced.
- The following plant material shall not be planted in the fall:
 - Acer buergerianum - Trident Maple
 - Carpinus caroliniana - American Hornbeam
 - Magnolia stellata - Star Magnolia
 - Prunus Okame - Okame Cherry
- During the guarantee period the contractor shall be responsible for the maintenance of the plant material which includes but not limited to pruning, mulching, fertilizing and watering to insure the health of the plant material. Following the guarantee period the owner of the property is responsible for the maintenance of the plant material.
- Whenever practical the plant material shall be planted on the day of delivery. In the event this is not possible the contractor shall protect the nursery stock not planted. However, plants shall not remain unplanted more than three (3) days from the period of delivery.
- Planting shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with the accepted local horticultural industry practice.
- All plant materials shall be planted per the details which includes topsoil that contains at least fifty (50) percent partially decomposed organic matter and is free of sod, stiff clay, litter, stones, etc.
- The contractor shall set all plants plumb, straight and at the correct grade. The plant material shall be set such that after settlement a normal or natural relationship to the crown of the PLANT with the ground surface will be established. The plant shall be located in the center of the planting hole or pit.
- Topsoil shall be stockpiled on the site. no topsoil shall be removed from the site without written approval from the owner and the municipality. Topsoil shall be replaced at a depth of four (4) inches throughout the site. The topsoil shall be free of stones, construction debris and sod chunks. The topsoil shall be screened using a screen size of 3/4 inch by 1/2 inch. The final grading of the topsoil shall be raked. If the topsoil contains more than fifty (50) percent clay then partially decomposed organic matter shall be added at a rate of one part topsoil to one part organic matter.
- The central leader for deciduous and evergreen trees shall not be cut otherwise the plant material will be considered dead. The plant material will then be replaced by the contractor with tree and shrub shall be pruned in accordance with horticultural industry standards to preserve the natural character of the plant material. Pruning shall be done with clean and sharp tools. At no time shall the pruning wound be painted with pruning paint. If cuts greater than one (1) inch are made the contractor shall notify the landscape architect.
- All tree protection fence shall be placed five (5) feet outside the drip line of the existing tree canopy.
- All street trees shall be setback a minimum of five (5) feet from the sidewalk and a maximum of fifteen (15) feet from the sidewalk. If no sidewalk is to be installed the measurements shall be taken from the ultimate right-of-way line.
- All plant material shall be certified disease and pest free.
- Tree staking shall be done only at the direction of the landscape architect or if the site condition warrants the staking. The conditions that might require staking would be steep slopes.
- and or windy sites. Tree wrap shall only be used at the direction of the landscape architect.
- No plant material over twelve (12) inches in height at final maturity shall be planted closer than five (5) feet to structures, sidewalks, curbs or driveways.
- If any discrepancy in plant material quantities between the plan and planting schedule exist then contractor shall install the greater amount of plant material.
- The contractor is encouraged to transplant material rather than destroying plant material to be removed. This is especially true for the plant material that was installed with the original development. If the plant material is deemed unacceptable at time of transplanting the contractor shall install the same species that was to be transplanted at the minimum requirements for that plant per township specifications.
- Transplanted materials shall be handled according to the ANLA's (American National Landscape Association) guidelines, and pruned according to the NAA's (National Arborist Association) publication "A30 Pruning Standard".
- All areas that remain unseeded or unsoiled shall be mulched and planted with ground cover.
- Existing trees to remain shall be protected during construction.
- All proposed pad mounted mechanical equipment, plumbing vent pipes, electric/phone cable terminals, utility meters and proposed meter pit will be located along Deger Street. Perimeter screening plants will be placed along this area of the proposed buildings only.
- West Bridge Street is 441 linear feet and requires 11 Street trees spaced at a minimum of 40 linear feet. 3 existing trees are used, and new trees are provided.
- Deger Street is 406 linear feet and required 10 trees spaced at a minimum of 40 linear feet. 3 existing trees are used, and 7 new trees are provided.

Rev. May 14, 2025 : Borough Engineer's review letter dated 3/25/25.
Rev. February 26, 2025 : per CCCD review letter dated 02/13/25.
Rev. February 4, 2025 : per Borough Engineer's review letter dated 12/24/24 & Borough Planner's review letter dated 01/02/25.
Rev. November 25, 2024 : per Borough Engineer's review letter of October 4, 2024, Borough Planner's review letter of October 1, 2024, Borough Landscape Architect's review letter of October 1, 2024 & CCCD review letter dated November 6, 2024.
Rev. September 16, 2024 : per CCCD pre-application meeting.
Rev. July 8, 2024 : per Borough Engineer's review letter of June 26, 2023, CCPC review letter of July 26, 2023, Borough Planner's review letter of June 30, 2023 & Borough Fire Chief's review letter of July 20, 2023.

BA BERCEK & ASSOCIATES

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Landscaping Details & Notes Plan for OAKWOOD APARTMENTS

Borough of Phoenixville - Chester County, PA

April 21, 2023

Plan No. C-22-003

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