

STEELWORKS

SITUATE IN: PHOENIXVILLE BOROUGH, CHESTER COUNTY, PENNSYLVANIA

As used in the notes and certifications on this Plan, the following terms shall have the following meanings:

Applicant - the person(s) and/or entity(ies) who or which has submitted this Plan to the Borough for approval pursuant to the Borough's Subdivision and Land Development Ordinance.

Application - the Applicant's application, to the Borough, for approval of this Plan pursuant to the Borough's subdivision and land development regulations.

Borough - the Borough of Phoenixville, Chester County, Pennsylvania.

Developer - the person(s) or entity(ies) who or which implement the land development shown on this Plan.

Property Owner - all the legal and equitable owners of the Property and their heirs, successors and assigns.

Property - the property which is subdivided and/or developed pursuant to this Plan and identified by this Plan as being owned by the Property Owner.

Plan - this Plan as approved by the Borough.

UPI - Chester County Uniform Parcel Identifier (number).

(1) The Borough of Phoenixville's approval of this Plan, as a [preliminary / final] subdivision and land development plan, pursuant to the Borough of Phoenixville Subdivision and Land Development Regulations of 1989, Ordinance No. 1602, as amended, was made by Borough Resolution No. 2018-23, which was adopted on May 8, 2018. This Plan shall be subject to the conditions of its approval per Resolution 2018-23. The conditions bind all owners, Developers and users of the Property hereby developed and/or subdivided and their heirs, successors and assigns. The conditions may create on-going obligations, limitations and/or requirements affecting the use of the Property. The Resolution is kept by the Borough Secretary at the Borough Hall and may be inspected there by the public. Copies of the Resolution are also available from the Borough for a charge.

(2) All conditions of plan approval shown on this Plan, and offers of dedication, shall run with the land forever and shall be enforceable by the Borough.

(3) The Applicant represents to the Borough that the Applicant has all the property rights necessary to make the Application and, at the time any permits for the implementation of the Plan are issued and/or work commenced, will have all the rights necessary to implement the Plan completely in compliance with all applicable regulations and without violating the property rights of others. If the Applicant does not have or loses any such property rights this approval shall be voidable by the Borough by written Resolution. If any other party takes any legal action against the Borough for any reason involving and/or alleging the Applicant's or Property Owner's lack of any such property right, the Applicant and Property Owner shall hold the Borough harmless and indemnify it from any and all liability, loss, claim, cost and/or expense, including but not limited to attorney's fees resulting from such legal action.

(4) A highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 4242, No. 42), known as the "State Highway Law," before driveway access to a State highway is permitted. Access to a State highway shall be only as authorized by a highway occupancy permit. Neither the Pennsylvania Department of Transportation ("PennDOT") nor the Borough shall be liable for any damage or claim whatsoever for any injury to person or property arising out of the issuance or denial of a highway occupancy permit or for failure to regulate any driveway. Furthermore, the Borough shall not be liable for any damage and/or claim whatsoever arising out of the issuance or denial of a highway occupancy permit by PennDOT.

(5) All areas shown as and/or required to be (at the time the Borough adopted Resolution No. 2018-23) open space or common area shall be used only as open undeveloped areas and shall not be further subdivided and/or alienated so as to create any rights that could infringe on this open space use limitation.

(6) At the Borough's request, the Property Owner shall execute and record, with the appropriate offices and officials and in the appropriate and legally effective manner for the purpose, all documents, plans, deeds and declarations (collectively "Recordings") required to be recorded, by applicable regulations, the terms of final plan approval and/or notes on this Plan, and shall provide the Borough with copies, certified by the recording official, of all such Recordings, or, at the Borough's option, the Borough may record such documents and the Property Owner shall pay the Borough's costs.

(7) At the Borough's request, the Property Owner will execute, acknowledge and deliver all documents, deeds and instruments necessary to the appropriate action of the Borough Solicitor, to implement this Plan as approved and to record all instruments, deeds, covenants, easements and/or rights-of-way which are required by the terms of final plan approval and/or notes on this Plan to be recorded by the Borough.

(8) The Borough may withhold building and/or occupancy permits and/or refuse to accept applications for such permits if the Applicant does not create any nuisance or safety hazard, and/or subdivision is/are not and is/are not implemented in full compliance with any other governmental unit's regulations which apply to the building, structure, occupancy, work and/or improvement for which Borough action is requested. However, the Borough does not hereby assume any duty to inspect for or approve any work or condition pursuant to any other governmental entity's regulation. It is the Property Owner's obligation to achieve compliance with any and all regulations of other governmental entities by working directly with such entity. To the extent that such approvals of other governmental entities are required, for the improvements, work and/or proposed use, the Property Owner represents that these approvals have been applied for and all are granted and in effect or will be so prior to the issuance of any Borough building permit to construct new improvements pursuant to this Plan. By requiring compliance with the regulations of other governmental entities and/or by approving the Development and Subdivision Plan or any plan amendments, neither the Borough nor any Borough Official represents that the subject matter of the Borough's approval complies with such other entity's regulations or has been approved by or is entitled to be approved by such other entity or that the subject of the approval has been designed correctly or will function safely.

(9) The streets, street rights-of-way and street drainage rights, public water supply facilities and the easements therefor and the public sanitary sewer system and the easements therefor, as shown on this Plan, are offered hereby for dedication to the Borough perpetually and irrevocably. The streets and drainage rights include the right to use, repair and replace any stormwater management facility which drains runoff from a dedicated road (this right does not include any duty to repair or maintain any such facility). Also offered hereby for dedication to the Borough, perpetually and irrevocably, is an exclusive easement, right-of-way and rights (all called "Utility Easement Rights") for the purposes ("Utility Purposes") of any utility and all utilities, with free and uninterrupted right of entry upon the Property for access to and use of the Easement Area. "Utility" includes, but is not limited to, any and all water, sanitary, stormwater management, electric, telephone, cable TV and information transmission lines, facilities, systems, structures and/or operations in connection with any utility and all utilities. The Utility Purposes include, but are not limited to, the free right to lay out, place, construct, operate, inspect, test, maintain, repair, replace, relocate, reconstruct, enlarge, change and/or use any and all lines(s), structure(s), facility(ies) and/or system(s) and any and all appurtenance(s) thereto for any and all Utility Purposes. The Easement Area shall include and be limited to all of the area of the Property, which area is within all water supply and sanitary sewer easements and/or all street rights-of-way. The Utility Easement Rights may be used over, under, upon and through any and all part(s) of the Easement Area. All the offered rights include a negative easement which prohibits, in the offered right-of-way and/or easement area, any activity, use, construction, improvement, structure and/or building which, in the sole judgment of the Borough, is inconsistent in any way with and/or may in any way interfere with, endanger or obstruct the safe or efficient use and/or purpose of the offered rights. The negative easement shall also provide that no structure shall be permitted on, over and/or under any part of the right-of-way and/or easement area, without the Borough's prior approval, by written Resolution, specifically authorizing such structure.

If and when requested by the Borough, the Applicant and [its / his / her / their] heirs, successors and assigns shall transfer title to any and/or all of the offered rights and improvements to the Borough. Such transfer shall be by deed or assignment (a) of dedication which shall be in such form as the Borough may require and title to all such rights and improvements shall be good and marketable and free from any encumbrance, when transferring to [its / his / her / their] assigns the Property Owner shall and hereby does reserve and except for itself all interests and rights (b) the dedications required hereby. However, these reserved rights to dedicate shall not be exclusive and the [lot owners / Applicant's and Property Owner's (s)] successors and assigns may also make such dedications. In any event, the Applicant's and Property Owner's (s) successors and assigns shall be obligated to make such transfer to the Borough, at the Borough's request.

Neither the Borough's approval of this Plan, the Borough's recording nor any note herein is intended to or does obligate the Borough to maintain and/or accept, in any way, any street, stormwater management, water supply and/or sewer utility and/or improvement or work and/or any other improvement shown hereon and/or any Utility. If the Borough, in its discretion, takes dedication of a street or street right-of-way, unless the deed of dedication expressly and clearly provides otherwise, the Borough will not be fee liable to the area within such street right-of-way and will not own or be responsible for any street tree, sidewalks and/or street maintenance facility, proposed to be dedicated to the Borough, unless and until the plans for such Utility system and/or easement and the timing of its construction are approved by the Borough Engineer in writing.

(10) The Utility systems shall be installed, and inspected and approved as required by the Borough Engineer, before paving of the roadway, pouring of concrete for and/or paving of sidewalks and claim whatsoever arising out of the issuance or denial of a highway occupancy permit by PennDOT.

(11) Irrevocable licenses and rights of entry upon any of the property subject to this Plan are hereby granted to the Borough of Phoenixville, its officers and agents, for the purpose of correcting or abating a public nuisance and/or to add to, repair, modify and/or replace any drainage, stormwater management facilities, sewers, water lines and/or other utilities which are connected to a public facility or utility and to inspect and enforce the Borough's regulations and/or compliance with this Plan. These rights create no Borough duty to do any such work or inspections.

(12) All trees existing in and/or planted in the public street right-of-way shall be owned and maintained in good, healthy and safe condition, at all times, by the fee owner of the part of the Property where the tree is located. The Borough shall not have the duty to inspect any such tree and to require its owner, at the owner's expense, to prune, maintain and, if the tree is dead, diseased, damaged, malformed or a threat to public safety, to remove the tree and replace it with a tree of at least a three (3) inch diameter at the base and of a species approved by the Borough. All liability for any tree on the Property shall be on the fee owner of the part of the Property where the tree is located. Without limitation, such owner shall have the duty to ensure that the tree does not create any nuisance or safety hazard.

(13) Irrevocable licenses and rights of entry upon any of the property subject to this Plan are hereby granted to the Borough of Phoenixville, its officers and agents, for the purpose of correcting or abating a public nuisance and/or to add to, repair, modify and/or replace any drainage, stormwater management facilities, sewers, water lines and/or other utilities which are connected to a public facility or utility and to inspect and enforce the Borough's regulations and/or compliance with this Plan. These rights create no Borough duty to do any such work or inspections.

(14) Any improvement shown on this Plan which does not function safely, as intended and/or in complete compliance with all applicable regulations shall be redesigned and reconstructed promptly, by the Developer and/or the Property Owner, at such party's expense, to be safe, function as intended and to comply with all applicable regulations. All such new designs and specifications shall be subject to the Borough Engineer's prior written approval and inspection, during and after construction, all at the Applicant's cost.

(15) Prior to the issuance of any building permits to implement the Plan, the Applicant and, if the Borough requires, the Property Owner, must enter into a Development Agreement and an Improvement Security Agreement, with the Borough, with terms and conditions satisfactory to the Borough, and must provide the requisite improvement security as identified by the Borough Engineer. The improvement security shall secure, for the Borough's benefit, the proper and timely completion of the Developer's obligations under the Development Agreement. The improvement security shall not be a bond. The Development Agreement may provide that the Borough may withhold and/or revoke permits if the Developer is in default of its obligations thereunder. No work shall be done to implement the plan and no building permits shall be issued for any such purpose until the Development Agreement is executed, the Plans are finally approved in all respects and the requisite improvement security is posted to the Borough's satisfaction.

(16) Prior to the issuance of any building permits to implement the Plan, the Applicant and, if the Borough requires, the Property Owner, must enter into a Development Agreement and an Improvement Security Agreement, with the Borough, with terms and conditions satisfactory to the Borough, and must provide the requisite improvement security as identified by the Borough Engineer. The improvement security shall secure, for the Borough's benefit, the proper and timely completion of the Developer's obligations under the Development Agreement. The improvement security shall not be a bond. The Development Agreement may provide that the Borough may withhold and/or revoke permits if the Developer is in default of its obligations thereunder. No work shall be done to implement the plan and no building permits shall be issued for any such purpose until the Development Agreement is executed, the Plans are finally approved in all respects and the requisite improvement security is posted to the Borough's satisfaction.

#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER AVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER AVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER AVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

REVISION	DATE	DESCRIPTION
#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER AVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER AVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER AVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____, PAGE NO. _____ ON _____ 20____.

Commonwealth of Pennsylvania: County of _____, SS: _____

Before me, the undersigned notary public, this day personally appeared _____ (or satisfactorily proven), who being duly sworn according to law, depose(s) and say(s):

We are the record owner(s) of all the property to which this plan applies and of all rights which are necessary to implement this plan. The source of our title is the deed(s) recorded with the office of the Recorder of Deeds in Chester County, Pennsylvania, in Record Book 9078, beginning on page 467. We acknowledge that this plan is our act and deed and is authorized by us to be recorded with the Recorder's Office and that such recording shall be effective for all purposes.

Sworn to and subscribed before me this _____ day of _____, 20____.

Recorder of Deeds

AFFIDAVIT OF OWNERSHIP

I, Owen M. Hyne, a Pennsylvania Professional Engineer, have surveyed the Plan for the Borough, and have determined that it has been amended as required by the Borough Engineer's approval, based on the information provided by the Applicant and with any waivers specifically identified and shown hereon, the plan complies with the Subdivision and Land Development Ordinance.

Owen M. Hyne, P.E.

Date: _____

Borough Council Certification:

We hereby certify that the Borough Council of the Borough of Phoenixville, Chester County, Pennsylvania, by its Resolution 2018-23, adopted May 8, 2018, approved this plan as a final subdivision and/or land development plan, pursuant to the Borough's then current Subdivision and Land Development Ordinance and the Pennsylvania Municipalities Planning Code and that the Borough Council hereby authorizes this plan for recording.

E. Joan Krack, Borough Secretary

Jonathan Ewald, Council President

Borough Engineer's Certification:

This plan or an earlier version hereof was reviewed by the Chester County Planning Commission on _____.

I hereby certify that the Borough of Phoenixville Planning Commission reviewed this plan and issued its comments to Borough Council prior to Council's adoption of Resolution 2018-23, which approves this plan as a final plan pursuant to the Borough's Subdivision and Land Development Ordinance.

CCPC # _____ Secretary

William Davidson, Planning Commission Chairman

I, Thomas B. Ludgate, a Pennsylvania Professional Engineer, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land use regulations and that the lot area is not greater than 1:10,000.

Thomas B. Ludgate, P.E.

I, Thomas B. Ludgate, a Pennsylvania Professional Engineer, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land use regulations and that the lot area is not greater than 1:10,000.

Thomas B. Ludgate, P.E.

GENERAL NOTES

1. OWNER: STEELWORKS ACQUISITION L.P., 184 BRIDGE ST, PHOENIXVILLE, PA 19460, DRV 9465, PC 102, UPI #15-9-82, #15-9-83, #15-9-84, #15-9-85, #15-9-86, #15-9-87, #15-9-88, #15-9-89, #15-9-90

2. SITE AREA SUMMARY: GROSS 251,157 SQ. FT., NET 211,125 SQ. FT., OPEN SPACE/PUBLIC AREA 17,000 SQ. FT., EXISTING 109,000 SQ. FT., PROPOSED 201,300 SQ. FT.

3. THE SITE IS LOCATED IN ZONE MI (1% FLOOD ELEVATION OF 109). THE SITE IS PART OF A FEMA FLOOD DATE 5-23-19. CASE NO. 18-03-19570. THE SITE IS NOT LOCATED IN THE FLOODWAY.

4. THE INFORMATION SHOWN IN THESE PLANS REFLECTS A FIELD SURVEY PERFORMED BY LUDGATE ENGINEERING CORPORATION ON 9-24-2020 TO 10-2-2020.

5. DATUM: HORIZONTAL: SITE SPECIFIC, VERTICAL: NAVD83

6. PROPOSED SITE IMPROVEMENTS TO UTILIZE PUBLIC WATER AND PUBLIC SEWER.

7. SOLID WASTE STORAGE AND DISPOSAL SHALL BE THE RESPONSIBILITY OF OVERALL PROPERTY OWNER.

8. A BLANKET EASEMENT SHALL BE PROVIDED FOR ALL UTILITIES, AND STORMWATER ACCESS/MAINTENANCE, PHOENIXVILLE BOROUGH SHALL BE GRANTED THE RIGHT BUT NOT THE RESPONSIBILITY TO ENTER THE PROPERTY FOR THE PURPOSE OF INSPECTING.

9. SOLLS INFORMATION AS SHOWN ON THIS PLAN IS TAKEN FROM THE CHESTER COUNTY SOILS SURVEY, U.S. DEPARTMENT OF AGRICULTURE, DATED 1983. THE SOILS INCLUDE: URBAN LAND-PENN COMPLEX, 0-8% SLOPES (ENTIRE SITE)

10. ON 10-30-20 "TOP ONE CALL" WAS PLACED FOR THIS PROJECT (#202004163) DATED 10-30-20. THE FOLLOWING UTILITIES WERE NOTIFIED: PAONE CALL LIST OF UTILITIES: PHOENIXVILLE BOROUGH (E) 610-933-8601, COMCAST CABLE COMMUNICATIONS INC. (FRA) 215-673-6500, PECO ENERGY (E) 484-681-5720, COMCAST CABLE COMMUNICATIONS INC. (SD) 610-323-6400, VERIZON 977-698-6415

11. ALL CONSTRUCTION SHALL FOLLOW PHOENIXVILLE STANDARDS.

12. NO WETLANDS OR HYDRIC SOILS EXIST ON SITE AS DETERMINED BY USACE CRITERIA.

13. A HOP PERMIT FROM PENN DOT WILL BE REQUIRED FOR THE BRIDGE ST. IMPROVEMENTS & ACCESS DRIVE AND HALL ST. ENTRANCE TO BRIDGE ST.

14. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.

15. DEVELOPERS OF LAND WITHIN THE BOROUGH OF PHOENIXVILLE ARE ENCOURAGED TO PROMOTE AND APPLY SUSTAINABLE CONSTRUCTION TECHNIQUES AND BUILDING FEATURES.

16. ALL INTERNAL WATER AND SEWER LINES ARE CONSIDERED PRIVATE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE.

17. THE GROUND FLOOR HAS 371 PARKING SPACES. 371 PARKING SPACES LOCATED ON THE GROUND FLOOR ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL TENANTS. THE FIRST FLOOR HAS 239 SPACES. 196 PARKING SPACES LOCATED ON THE FIRST FLOOR ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL TENANTS. 43 PARKING SPACES LOCATED ON THE FIRST FLOOR ARE FOR THE EXCLUSIVE USE OF THE RETAIL TENANTS. (SPACES MARKED "RETAIL PARKING ONLY") ACCESSIBLE SPACES: 567 RESIDENTIAL SPACES PROVIDED x 2% = 12 PROVIDED (2 PROVIDED 0 GROUND FLOOR + 2 FIRST FLOOR) 43 RETAIL SPACES PROVIDED x 2% = 2 PROVIDED (0 GROUND FLOOR + 2 FIRST FLOOR) PARKING RATIO: 1.5 SPACES PER RESIDENTIAL UNIT @ 375 UNITS = 563 REQUIRED/567 PROVIDED 1.0 SPACES PER 1,000 SQ. FT. RETAIL @ 40,700 SQ. FT. = 41 REQUIRED/43 PROVIDED TOTAL ADA REQUIRED = 14 TOTAL ADA PROVIDED = 14

NOTES: 1. "1.5" BASED ON THE PARKING DATA FOR APARTMENTS (MID-RISE) 1.0" BASED ON THE PARKING DATA FOR RETAIL (VARIETY) 2. AREAS OF FIRST FLOOR PARKING WILL BE AVAILABLE FOR PUBLIC USE (FOR PARKING) 3. SEE THE PARKING MANUAL, 5th Ed. RESIDENTIAL PARKING 1:3 SPACES PER UNIT VARIETY STORE PARKING 0.9 SPACES PER UNIT

18. THE ULTIMATE RIGHT-OF-WAY AREA ALONG HALL STREET (AS SHOWN ON SHEET 3) IS OFFERED FOR DEDICATION TO THE BOROUGH OF PHOENIXVILLE.

19. ZONING INFORMATION: ZONING DISTRICT: TC - TOWN CENTER DISTRICT

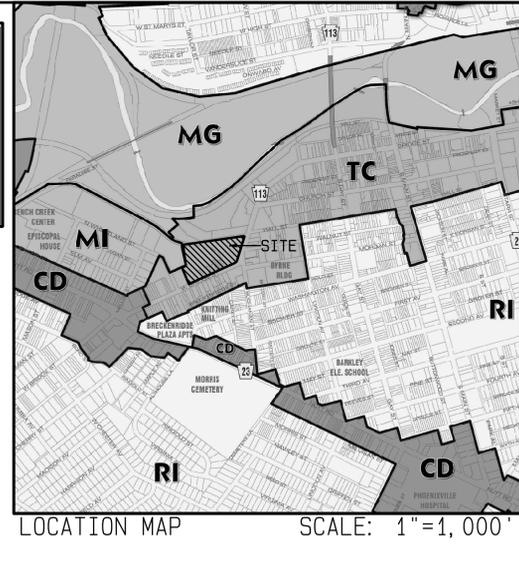
DIMENSIONAL STANDARDS

STANDARD	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH (FT.)	40	871	871
MIN. LOT DEPTH (FT.)	4,000	211,125	211,125
MAX. IMPERVIOUS COVERAGE (%)	90	81%	88%
BUILDING SETBACK (FT.)	10/SIDEWALK	10/SIDEWALK	10/SIDEWALK
MIN. SIDE YARD (FT.)	10	1.5	19.5
MIN. REAR YARD (FT.)	10	1.4	7.0
MIN. FRONT YARD (FT.)	10	0	0
BUILDING STEP BACK (FT.)	60	60	60
MIN. FRONT PORCH DEPTH (FT.)	30	N/A	N/A
BUILDING SPACING MIN. (FT.)	30	N/A	N/A
OPEN SPACE (%)	15.0	8.0	22.900

* THIS TABLE IS BASED UPON THE EXISTING BUILDINGS AND VISIBLE PAVED AREAS: THE ENTIRE SITE LOOKS LIKE 90% IMPERVIOUS (BUT OVERGROWN) NOTE : SEE PARKING NOTE 17 ABOVE FOR PARKING DATA

ZONING DISTRICTS

- RI - RESIDENTIAL INFILL
- TC - TOWN CENTER
- MI - MIXED USE INFILL
- NC - NEIGHBORHOOD CENTER
- CD - CORRIDOR DEVELOPMENT
- MG - MIXED USE GROWTH
- I - INDUSTRIAL



GENERAL NOTES CONT'D.

20. Bridge Street Improvements are shown based on a plan entitled Steelworks Bridge Street Concept, dated 02/24/2021, prepared by Traffic Planning & Design. The final design of Bridge/Street Improvements shall be in accordance with Final Highway Occupancy Permit plans approved by PennDOT.

21. ERROR OF CLOSURE FOR TRACT BOUNDARY TO ULTIMATE RIGHT OF WAY IS 1 FOOT IN 201,195 FEET.

22. ALL STRUCTURAL ELEMENTS OF THE SITE MUST BE FLOODPROOFED. DESIGN OF THESE TO BE REVIEW BY THE BOROUGH DURING BUILDING PERMIT PROCESS.

23. STORMWATER MANAGEMENT FACILITIES SHALL BE OPERATED, MAINTAINED AND INSPECTED BY THE LAND OWNER.

24. THE APPLICANT SHALL PROVIDE TO THE BOROUGH FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL STORMWATER MANAGEMENT FACILITIES (23-502.1).

25. ALL CONSTRUCTION MATERIALS ARE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, LATEST EDITION (22-704.5)

26. FOR ALL RETAINING WALLS IN EXCESS OF 4' HEIGHT, DETAILED PLANS AND CALCULATIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BOROUGH ENGINEER PRIOR TO CONSTRUCTION.

27. As a condition of the land development approval, the developer must obtain an easement across a portion of UPI 15-9-24 to accommodate the proposed access and drainage improvements. This condition shall be vacated if the Hall Street right-of-way is extended sufficiently to accommodate the proposed access and drainage improvements, including but not limited to Street Lights, sidewalks layout, landscaping, hardscape improvements, etc..

28. For the Streetscape and Landscape Design refer to sheets 10-13 of this plan set. These plans depict all the non-utility & grading improvements that are to be installed along Bridge and Hall Streets; follow these plans for those improvements (including but not limited to Street Lights, sidewalks layout, landscaping, hardscape improvements, etc..)

REQUIRED CERTIFICATION AND NOTES

FINAL LAND DEVELOPMENT PLANS

BOROUGH OF PHOENIXVILLE

CHESTER COUNTY, PENNSYLVANIA

SHEETS 17, 25 & 26 RESERVED (NOT PROVIDED)

81

10-30-20 #2020304163

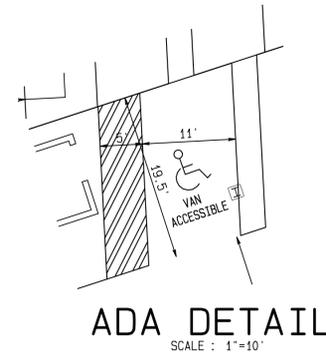
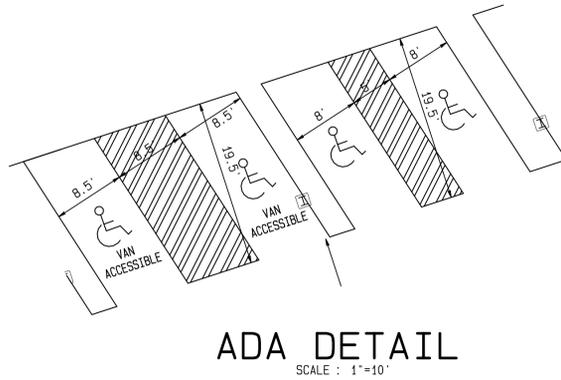
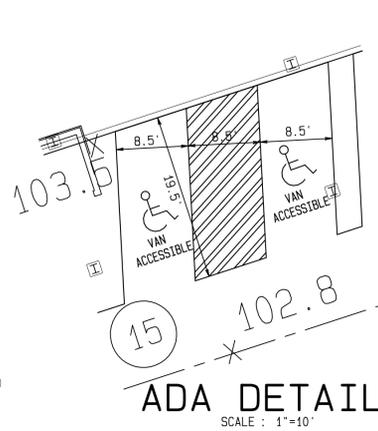
Ludgate Engineering Corporation
ENGINEERS SURVEYORS PLANNERS ENVIRONMENTAL SCIENTISTS © 2022

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DRAWN	COMP (BY)	COMP (LOT)	PA ONE CALL (20)	COMPUTER FILE
TC			#2020304163	C:\Users\whurd\Desktop\
9-25-20				
SCALE	TAX MAP PARCEL	DRAWING NUMBER		
1"=40'		D-7701520		SHEET 1 OF 30



LEGEND

- M = MAILBOX
- (T) = TELEPHONE PEDESTAL
- ⊕ = FLAGPOLE
- ⊙ = SPOTLIGHT
- ⊗ = POST
- ⊙ = EXIST. WELL
- ⊕⊕ = CATCH BASIN-C.B. (DOUBLE)
- ⊙ = SANITARY-SAN M OR STORM MANHOLES-B (AS INDICATED)
- ⊕ = WATER VALVE CAP
- ⊙ = LIGHT POLE
- ⊕ = FIRE HYDRANT
- ⊙ = CLEAN OUT/VENT (C.O.)
- ⊕ = UTILITY POLE W/GUY WIRE
- ⊙ = CABLE TV
- ⊕ = ELECTRIC BOX
- ⊙ = GAS VALVE
- ⊕ = GAS METER
- ⊕ = STREET SIGN (AS NOTED)
- ⊕ = EXISTING TREES
- ⊕ = WOODS LINE
- ⊕ = GUIDE RAIL
- ⊕ = EXIST. CONTOURS
- ⊕ = EXIST. INDEX CONTOURS
- ⊕ = PROPOSED INDEX CONTOURS
- ⊕ = EXIST. WATERLINE
- ⊕ = EXIST. SANITARY SEWER LINE
- ⊕ = EXIST. STORM SEWER LINE
- ⊕ = EXIST. SANITARY LATERAL
- ⊕ = EXIST. WATER SERVICE LINE
- ⊕ = EXIST. FENCE LINE
- ⊕ = PROPOSED WATERLINE
- ⊕ = PROPOSED SANITARY SEWER LINE
- ⊕ = PROPOSED STORM SEWER LINE
- ⊕ = PROPOSED SANITARY LATERAL
- ⊕ = PROPOSED WATER SERVICE LINE
- ⊕ = CONC. MONUMENT (TO BE SET)
- ⊕ = MONUMENT FOUND
- ⊕ = PROPERTY CORNER
- ⊕ = EXISTING BUILDINGS
- ⊕ = DENOTES RETAIL PARKING SPACES

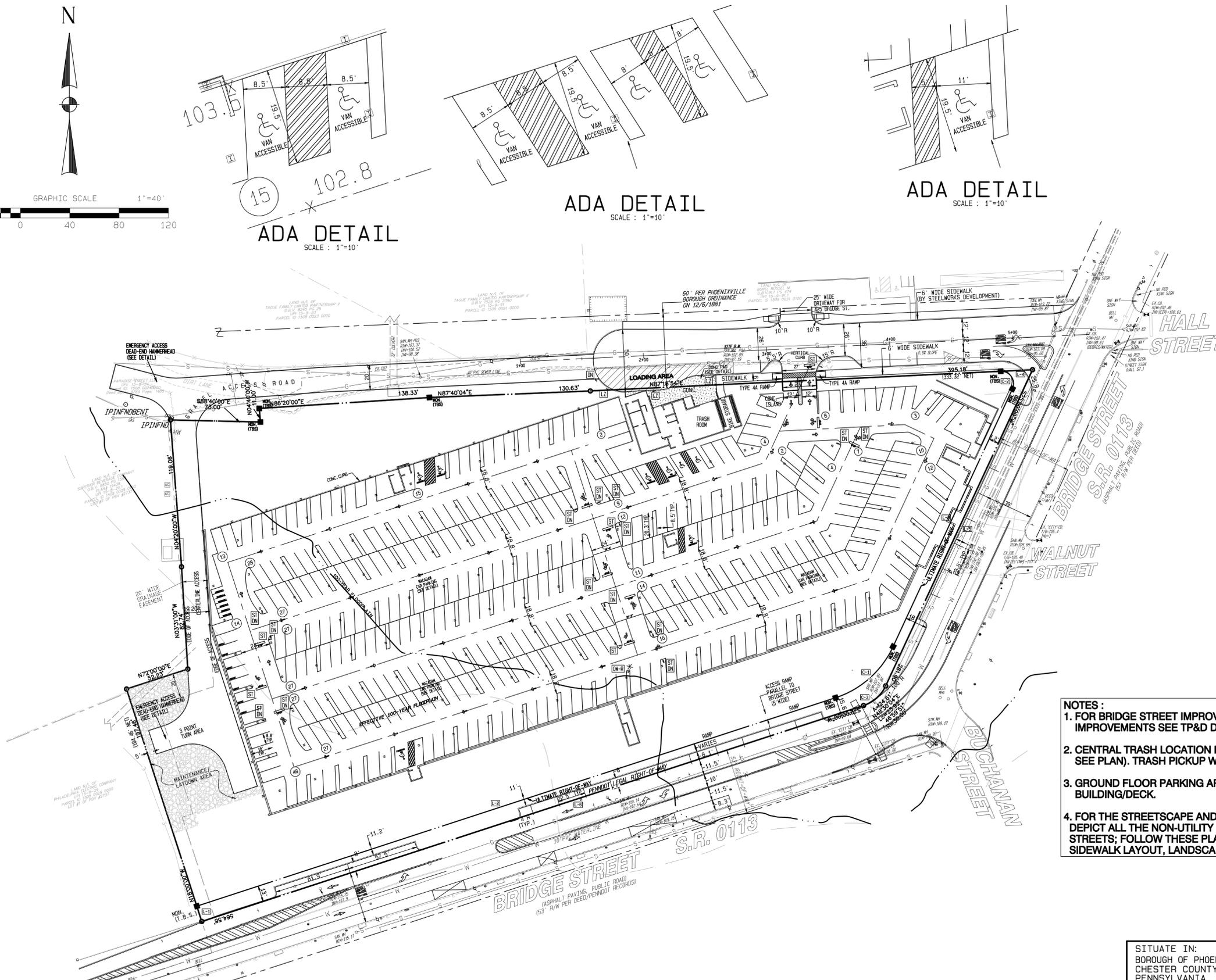
TRAFFIC SIGN CHART (ON SITE)

DESCRIPTION	QTY.	SIZE	R#	DATE
ST STOP (W/24" WIDE STOP BARS)	19	18"x18"	R1-1	11-19-13
DN DO NOT ENTER SIGN	14	18"x18"	R5-1	11-19-13
OW-L ONE WAY SIGN (HORIZ. LEFT)	1	18"x18"	R6-1L	11-19-13
OW-R ONE WAY SIGN (HORIZ. RIGHT)	1	18"x18"	R6-1R	11-19-13
LZ NO PARKING-LOADING ZONE	3	12"x18"	R7-6-1	02-09-12

* DENOTES ON COLUMN

NOTES:

- FOR BRIDGE STREET IMPROVEMENTS AND BOROUGH STREETScape IMPROVEMENTS SEE TP&D DESIGN PLANS.
- CENTRAL TRASH LOCATION INDOORS (NOT OUTSIDE OF BUILDING-SEE PLAN). TRASH PICKUP WILL BE FROM HALL STREET.
- GROUND FLOOR PARKING AREA COVERED BY FIRST FLOOR BUILDING/DECK.
- FOR THE STREETScape AND LANDSCAPE DESIGN REFER TO SHEETS 10-13 OF THIS PLAN SET. THESE PLANS DEPICT ALL THE NON-UTILITY & GRADING IMPROVEMENTS THAT ARE TO BE INSTALLED ALONG BRIDGE AND HALL STREETS; FOLLOW THESE PLANS FOR THOSE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO STREET LIGHTS, SIDEWALK LAYOUT, LANDSCAPING, HARDScape IMPROVEMENTS, ETC...)



ULTIMATE R/W MEETS AND BOUNDS FOR BRIDGE STREET

LINE	BEARING	DISTANCE	LINE	RADIUS	DELTA	ARC	CHORD BEARING	CHORD
L1	N18°00'00"W	13.00'	C1	78.00'	47°03'58"	64.07'	N48°28'01"E	62.29'
L2	N72°00'00"E	544.95'	C2	10.00'	117°40'08"	20.54'	N33°54'02"W	17.11'
L3	N24°56'02"E	229.71'	C3	30.00'	46°59'51"	24.61'	S48°30'04"W	23.92'
L4	N87°15'54"E	25.86'						
L5	S25°00'09"W	281.90'						
L6	S72°00'00"W	564.58'						

REVISION	DATE	DESCRIPTION
#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER RVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA



10-30-20
#20203041163

**SITE PLAN
GROUND FLOOR PLAN**

STEELWORKS



Ludgate Engineering Corporation

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ENVIRONMENTAL SCIENTISTS
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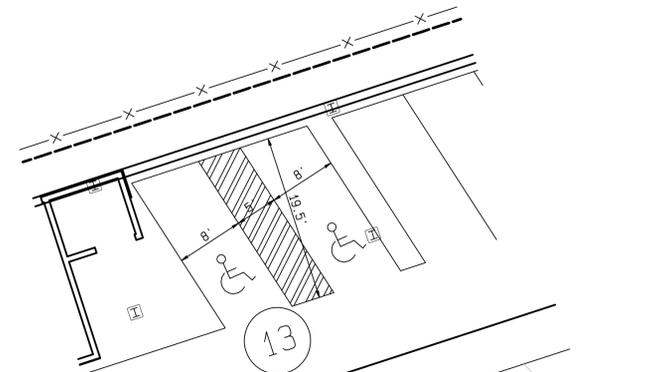
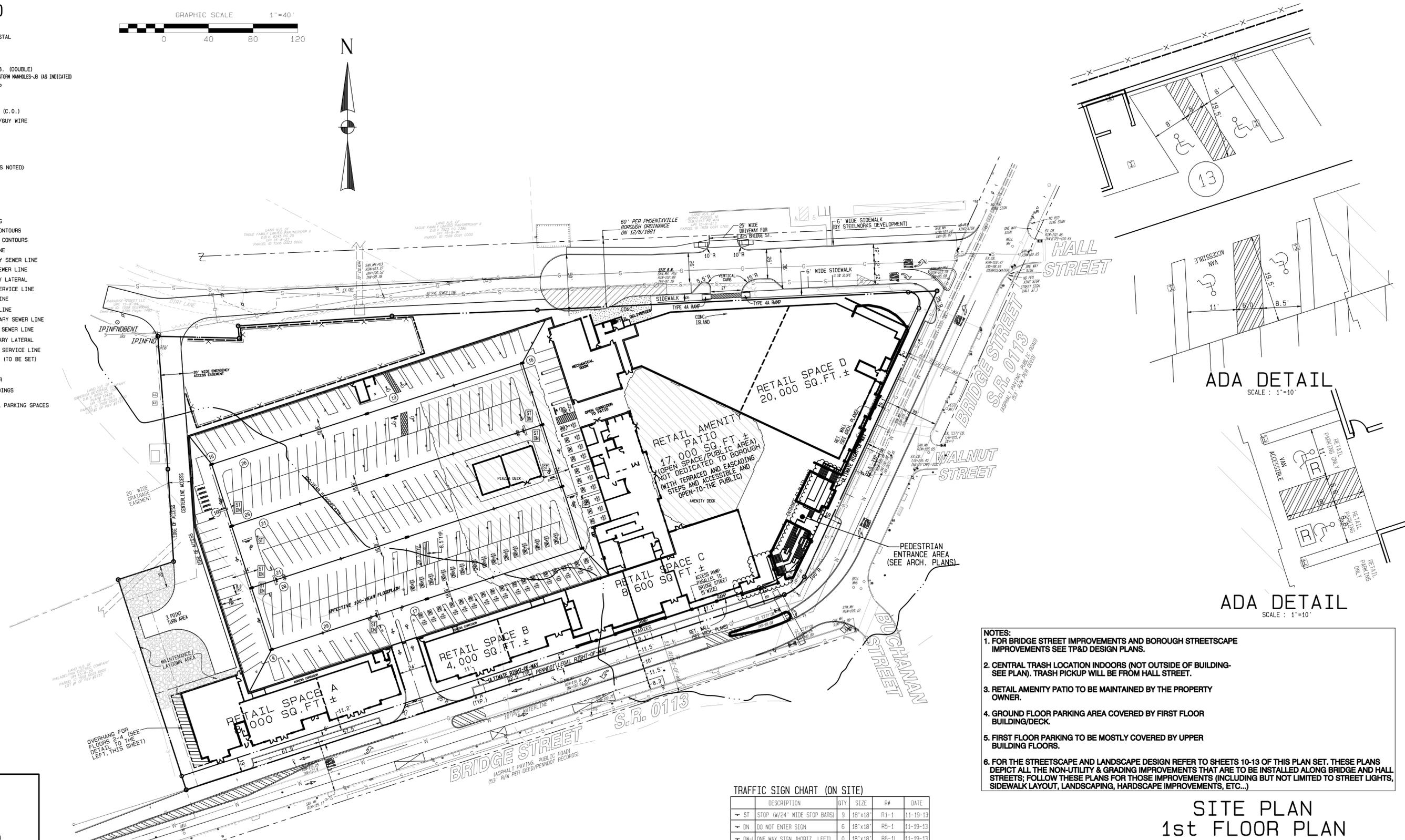
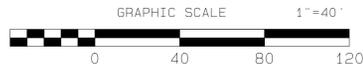
LINCOLN CORPORATE CENTER
10 VANGUARD DRIVE, SUITE 100
READING, PA 19606
PHONE 610/404-7330
FAX 610/404-7371

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
9-25-20	TCD	SCALE	1"=40'		
		TAX MAP PARCEL			
		DRAWING NUMBER	D-7701520		
		SHEET	2		OF 30

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LEGEND

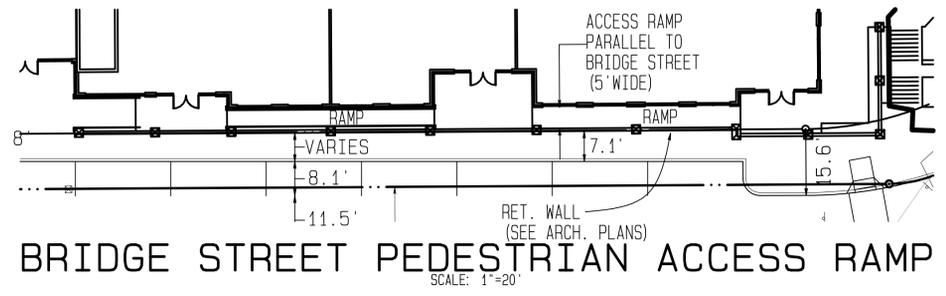
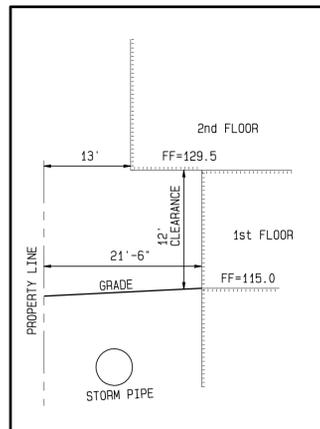
- MAILBOX
- TELEPHONE PEDESTAL
- FLAGPOLE
- SPOTLIGHT
- POST
- EXIST. WELL
- CATCH BASIN-C.B. (DOUBLE)
- SANITARY-SAN MI OR STORM MANHOLES-B (AS INDICATED)
- WATER VALVE CAP
- LIGHT POLE
- FIRE HYDRANT
- CLEAN OUT/VENT (C.O.)
- UTILITY POLE W/GUY WIRE
- CABLE TV
- ELECTRIC BOX
- GAS VALVE
- GAS METER
- STREET SIGN (AS NOTED)
- EXISTING TREES
- WOODS LINE
- GUIDE RAIL
- EXIST. CONTOURS
- EXIST. INDEX CONTOURS
- PROPOSED INDEX CONTOURS
- EXIST. WATERLINE
- EXIST. SANITARY SEWER LINE
- EXIST. STORM SEWER LINE
- EXIST. SANITARY LATERAL
- EXIST. WATER SERVICE LINE
- EXIST. FENCE LINE
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED SANITARY LATERAL
- PROPOSED WATER SERVICE LINE
- CONC. MONUMENT (TO BE SET)
- MONUMENT FOUND
- PROPERTY CORNER
- EXISTING BUILDINGS
- DENOTES RETAIL PARKING SPACES



ADA DETAIL
SCALE: 1"=10'

ADA DETAIL
SCALE: 1"=10'

- NOTES:**
1. FOR BRIDGE STREET IMPROVEMENTS AND BOROUGH STREETSCAPE IMPROVEMENTS SEE TP&D DESIGN PLANS.
 2. CENTRAL TRASH LOCATION INDOORS (NOT OUTSIDE OF BUILDING-SEE PLAN). TRASH PICKUP WILL BE FROM HALL STREET.
 3. RETAIL AMENITY PATIO TO BE MAINTAINED BY THE PROPERTY OWNER.
 4. GROUND FLOOR PARKING AREA COVERED BY FIRST FLOOR BUILDING/DECK.
 5. FIRST FLOOR PARKING TO BE MOSTLY COVERED BY UPPER BUILDING FLOORS.
 6. FOR THE STREETSCAPE AND LANDSCAPE DESIGN REFER TO SHEETS 10-13 OF THIS PLAN SET. THESE PLANS DEPICT ALL THE NON-UTILITY & GRADING IMPROVEMENTS THAT ARE TO BE INSTALLED ALONG BRIDGE AND HALL STREETS; FOLLOW THESE PLANS FOR THOSE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO STREET LIGHTS, SIDEWALK LAYOUT, LANDSCAPING, HARDSCAPE IMPROVEMENTS, ETC...)



TRAFFIC SIGN CHART (ON SITE)

SYMBOL	DESCRIPTION	QTY	SIZE	R#	DATE
ST	STOP (w/24" WIDE STOP BARS)	9	18"x18"	R1-1	11-19-13
DN	DO NOT ENTER SIGN	6	18"x18"	R5-1	11-19-13
OW-L	ONE WAY SIGN (HORIZ. LEFT)	0	18"x18"	R6-1L	11-19-13
OW-R	ONE WAY SIGN (HORIZ. RIGHT)	0	18"x18"	R6-1R	11-19-13
R	RETAIL PARKING SPACE	43	N/A	N/A	N/A

* DENOTES ON COLUMN

REVISION	DATE	DESCRIPTION
#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER RVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

**SITE PLAN
1st FLOOR PLAN**

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA

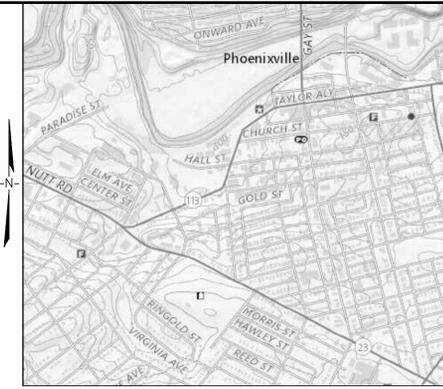
10-30-20
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STEELWORKS

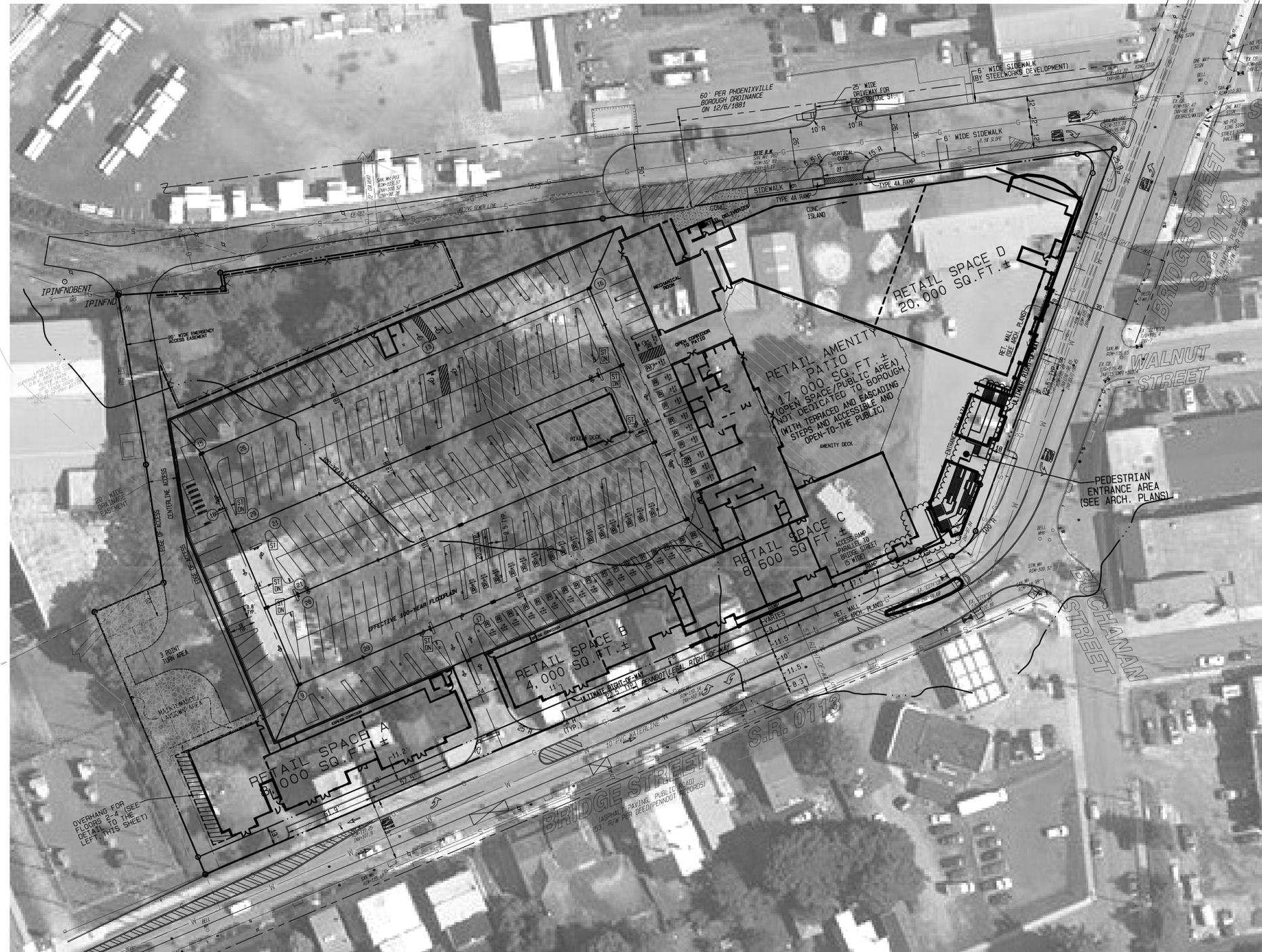
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SCALE 1"=40'	TAX MAP PARCEL	DRAWING NUMBER D-7701520	SHEET 3 OF 30			



LOCATION MAP
SCALE: 1"=4,200'



AERIAL PLAN

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA



10-30-20
#20203041163

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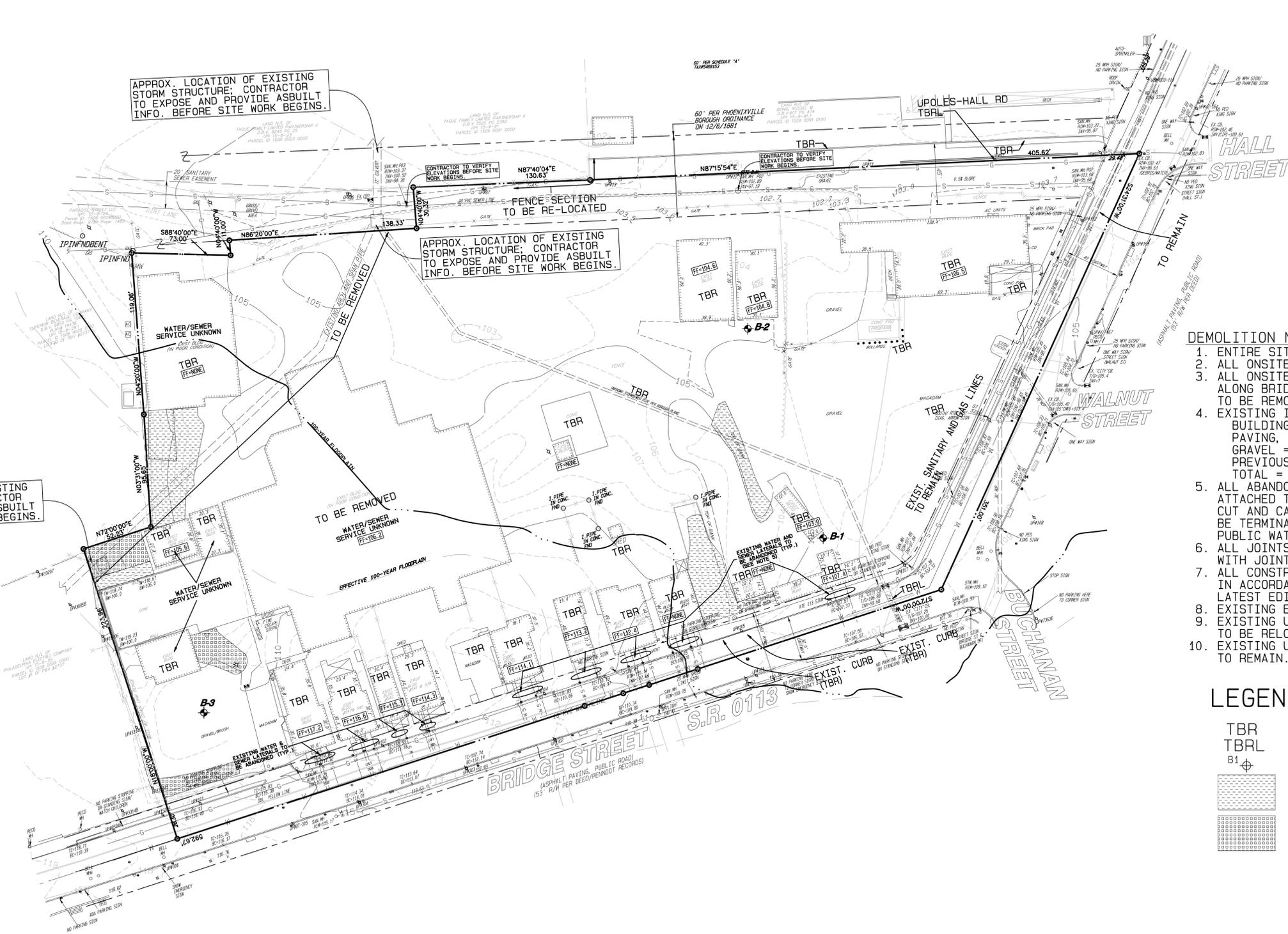
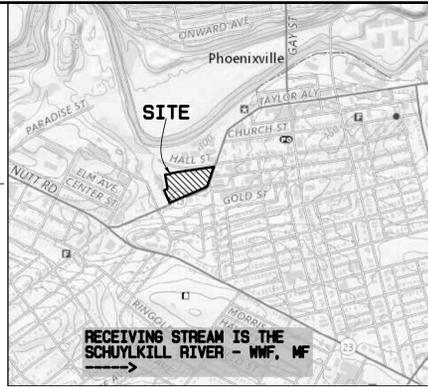
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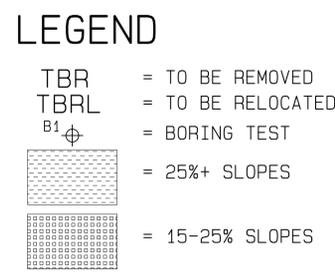
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9-25-20								DRAWING NUMBER	
SCALE 1"=40'		TAX MAP PARCEL		DRAWING NUMBER		D-7701520		SHEET 4 OF 30	

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- DEMOLITION NOTES:**
- ENTIRE SITE TO BE CLEARED AND GRUBBED
 - ALL ONSITE STRUCTURES TO BE RAZED.
 - ALL ONSITE PAVING, CONCRETE (ONSITE AND ALONG BRIDGE STREET) AND HARD SURFACES TO BE REMOVED FROM THE SITE.
 - EXISTING IMPERVIOUS COVER: BUILDING, FOUNDATION, ETC. = 60,000 SQ.FT. PAVING, CONCRETE = 30,000 SQ.FT. GRAVEL = 20,000 SQ.FT. PREVIOUSLY DEVELOPED = 80,000 TOTAL = 190,000 SQ.FT.
 - ALL ABANDONED WATER AND SEWER LATERALS ATTACHED TO DEMOLISHED BUILDINGS SHALL BE CUT AND CAPPED AS THEY ARE ABANDONED AND SHALL BE TERMINATED AT THE POINT OF CONNECTION TO THE PUBLIC WATER AND SEWER MAINS.
 - ALL JOINTS, STRUCTURES ETC. ARE TO BE SEALED WITH JOINT SEALER THAT IS 6" WIDE MIN.
 - ALL CONSTRUCTION AND MATERIALS ARE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408 LATEST EDITION.
 - EXISTING BRIDGE STREET CURB TO BE REMOVED.
 - EXISTING UTILITY POLES ALONG BRIDGE STREET TO BE RELOCATED.
 - EXISTING UTILITY MAINS ALONG BRIDGE STREET TO REMAIN.



Soils on site are:
 UrB - Urban land, 0-8% slopes
 UrxB - Urban land - Penn complex, 0-8% slopes

SOIL LIMITATIONS	SOIL RESOLUTIONS	UrB	UrxB (Penn soils used)
Outbanks Cave	Layback slopes - follow OSHA rules for safety	---	X
Corrosion to Concrete/Steel	Corrosive resistant concrete - protective barrier between water and the steel - galvanized steel	---	C
Droughty	Compost mix to hold in moisture	---	X
Easily Erodible	Maintain erosion control BMPs	---	---
Flooding	Layback slopes/design for conditions	---	---
Depth to Saturated Zone/Seasonal High Water Table	Pumped water filter, footer drains	---	---
Hydrochloric inclusions	Avoidance, pumped water filter bags, trench plugs	---	X
Low Strength/Landslide Prone	Drainage ditch, pumped water filter bag	---	X
Slow Percolation	Maintain erosion control BMPs	---	---
Piping	Trench plugs	---	X
Poor Source of Topsoil	Avoid reuse as topsoil or amend as necessary	---	X
Frost Action	Construct below frost depths/positive subgrade	---	X
Shrink-Swell	---	---	---
Potential Sinkhole	Provide positive drainage	---	---
Ponding	Design for conditions - drainage trenches, pumped water filter bag, sump pumps, footer drains	---	---
Witness	Trench plugs	---	---
Depth to Restrictive Layer	Test to determine depth, design for conditions	---	---

Urban lands are not rated for most categories therefore no soil limitations appear. UrxB - Penn complex limitations were determined by Penn soils. However, the following common-sense soil resolution items should be followed.

In the event groundwater is encountered, the contractor shall employ measures of the "pumped water details" as shown on the plan.

If bedrock is encountered, notify Design Engineer immediately. Changes may need to occur to the plan. The conservation district must be informed of any changes.

Excavation walls may be unstable. Contractor shall ensure that proper shoring methods and OSHA safety procedures are utilized to keep workers safe.

Contractor must ensure that areas that have been disturbed will be immediately stabilized with erosion control blanket, stone or whatever is called out in the construction sequence. Keep hay bales in readiness for emergencies.

Soil will require restoration/amendment to obtain optimum vegetative growth.

NPDES APPLICANT :
 STEELWORKS ACQUISITION, LP
 184 BRIDGE STREET
 PHOENIXVILLE, PA 19460-3348
 PHONE: 610-415-1699

SITUATE IN:
 BOROUGH OF PHOENIXVILLE,
 CHESTER COUNTY,
 PENNSYLVANIA

10-30-20
 #20203041163

EXISTING CONDITIONS and DEMOLITION PLAN

STEELWORKS

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9-25-20				
SCALE	TAX MAP PARCEL			DRAWING NUMBER
1"=40'				D-7701520 SHEET 5 OF 30

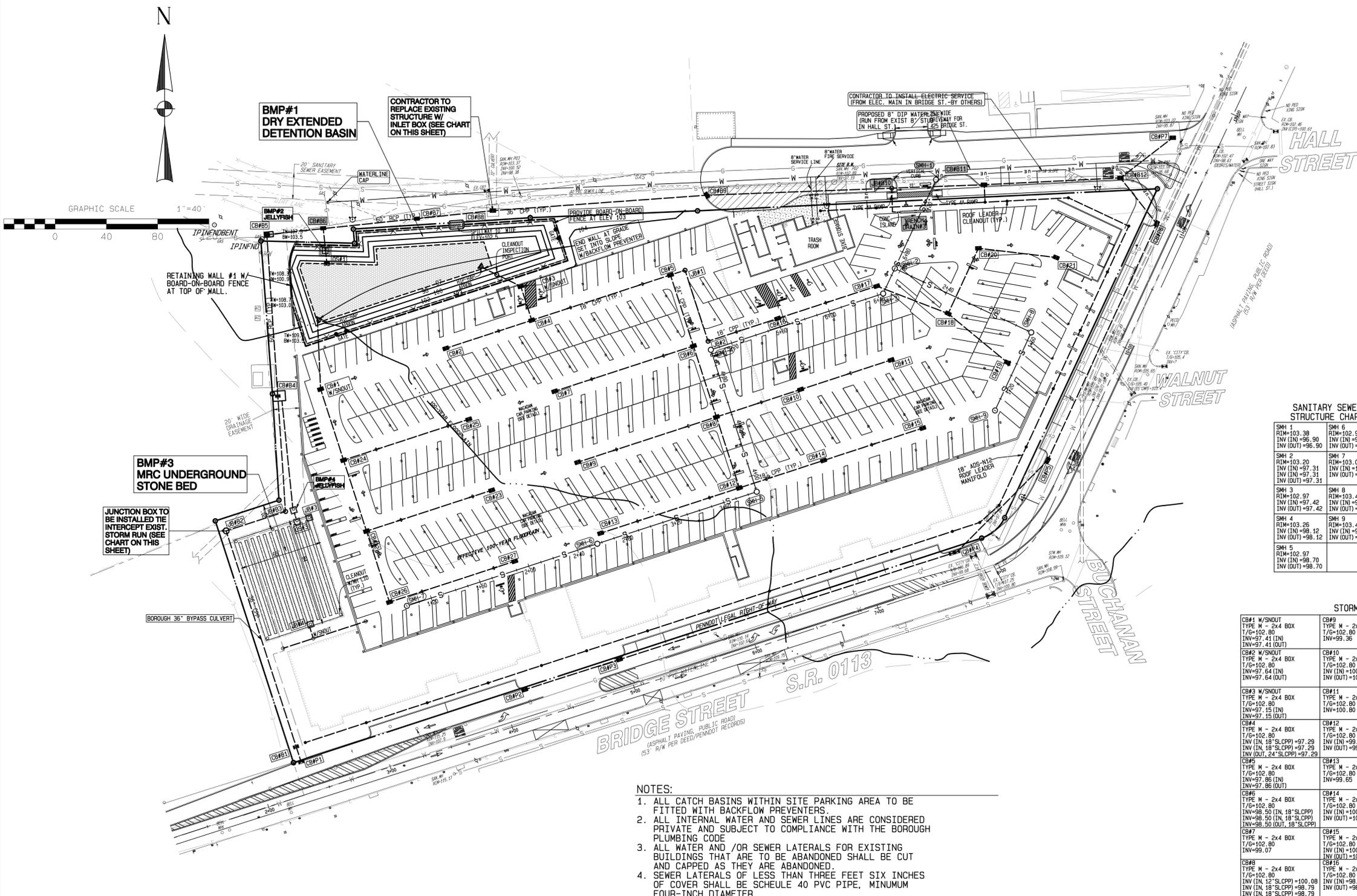
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#	DATE	DESCRIPTION
#7	01-19-22	
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REVISION	DATE	DESCRIPTION

Project: Steel - Path: C:\Users\whurd\Desktop\Steel\2020\20203041163.dwg Date: 10/30/2020 1:14:01 PM

LEGEND

- M = MAILBOX
- T = TELEPHONE PEDESTAL
- F = FLAGPOLE
- S = SPOTLIGHT
- P = POST
- W = EXIST. WELL
- C = CATCH BASIN-C.B. (DOUBLE)
- SM = SANITARY-SAN MH OR STORM MANHOLES-JB (AS INDICATED)
- WV = WATER VALVE CAP
- L = LIGHT POLE
- FH = FIRE HYDRANT
- CV = CLEAN OUT/VENT (C.O.)
- UP = UTILITY POLE W/GUY WIRE
- CTV = CABLE TV
- EB = ELECTRIC BOX
- GV = GAS VALVE
- GM = GAS METER
- SS = STREET SIGN (AS NOTED)
- ET = EXISTING TREES
- WL = WOODS LINE
- GR = GUIDE RAIL
- EC = EXIST. CONTOURS
- IC = EXIST. INDEX CONTOURS
- PC = PROPOSED INDEX CONTOURS
- EW = EXIST. WATERLINE
- ESWL = EXIST. SANITARY SEWER LINE
- ESWSL = EXIST. STORM SEWER LINE
- ESSL = EXIST. SANITARY LATERAL
- ESWSL = EXIST. WATER SERVICE LINE
- EWL = EXIST. FENCE LINE
- PWL = PROPOSED WATERLINE
- PSWL = PROPOSED SANITARY SEWER LINE
- PSWSL = PROPOSED STORM SEWER LINE
- PSL = PROPOSED SANITARY LATERAL
- PWSL = PROPOSED WATER SERVICE LINE
- CM = CONC. MONUMENT (TO BE SET)
- MF = MONUMENT FOUND
- PCOR = PROPERTY CORNER
- EBLD = EXISTING BUILDINGS
- RP = DENOTES RETAIL PARKING SPACES



SANITARY SEWER STRUCTURE CHART

SMH 1 RIM=103.38 TYPE M - 2x4 BOX INV (IN)=96.90 INV (OUT)=96.90	SMH 6 RIM=102.97 TYPE M - 2x4 BOX INV (IN)=99.36 INV (OUT)=99.36	SMH 7 RIM=103.00 TYPE M - 2x4 BOX INV (IN)=100.14 INV (OUT)=100.14	SMH 8 RIM=103.43 TYPE M - 2x4 BOX INV (IN)=97.90 INV (OUT)=97.90	SMH 9 RIM=103.4326 TYPE M - 2x4 BOX INV (IN)=98.23 INV (OUT)=98.23	SMH 10 RIM=102.97 TYPE M - 2x4 BOX INV (IN)=98.70 INV (OUT)=98.70
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STORM WATER STRUCTURE CHART

CB#1 W/SNOUT TYPE M - 2x4 BOX T/G=102.80 INV=97.41 (IN) INV=97.41 (OUT)	CB#2 W/SNOUT TYPE M - 2x4 BOX T/G=102.80 INV=97.64 (IN) INV=97.64 (OUT)	CB#3 W/SNOUT TYPE M - 2x4 BOX T/G=102.80 INV=97.15 (IN) INV=97.15 (OUT)	CB#4 TYPE M - 2x4 BOX T/G=102.80 INV (IN, 18" SL CPP)=97.29 INV (OUT, 24" SL CPP)=97.29	CB#5 TYPE M - 2x4 BOX T/G=102.80 INV=97.86 (IN) INV=97.86 (OUT)	CB#6 TYPE M - 2x4 BOX T/G=102.80 INV=98.50 (IN, 18" SL CPP) INV=98.50 (OUT, 18" SL CPP)	CB#7 TYPE M - 2x4 BOX T/G=102.80 INV=99.07	CB#8 TYPE M - 2x4 BOX T/G=102.80 INV (IN, 12" SL CPP)=100.08 INV (IN, 18" SL CPP)=98.79 INV (OUT, 18" SL CPP)=98.79	CB#9 TYPE M - 2x4 BOX T/G=102.80 INV=99.36	CB#10 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=100.43 INV (OUT)=100.43	CB#11 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.58 INV (OUT)=99.08	CB#12 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.55	CB#13 TYPE M - 2x4 BOX T/G=102.80 INV=99.55	CB#14 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=100.40 INV (OUT)=100.40	CB#15 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=100.80 INV (OUT)=100.80	CB#16 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.50 INV (OUT)=98.50	CB#17 TYPE M - 2x4 BOX T/G=102.80 INV (IN, 18" SL CPP)=98.22 INV (IN, 18" SL CPP)=97.99 INV (OUT)=97.99	CB#18 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.73	CB#19 TYPE M - 2x4 BOX T/G=102.80 INV (IN, 18" SL CPP)=98.51 INV (IN, 18" SL CPP)=97.70 INV (OUT)=97.70	CB#20 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.04	CB#21 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.54 INV (OUT)=99.04	CB#22 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.54 INV (OUT)=99.04	CB#23 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.54 INV (OUT)=99.04	CB#24 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.54 INV (OUT)=99.04	CB#25 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=99.02	CB#26 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.28 INV (OUT)=98.28	CB#27 TYPE M - 2x4 BOX T/G=102.80 INV=98.79	CB#28 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=100.12 INV (OUT)=100.12	CB#29 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.21 INV (OUT)=98.21	CB#30 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#31 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#32 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#33 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#34 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#35 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#36 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#37 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#38 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#39 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72	CB#40 TYPE M - 2x4 BOX T/G=102.80 INV (IN)=98.91 INV (OUT)=98.72
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STORM WATER STRUCTURE CHART (BYPASS SYSTEM, BRIDGE ST & HALL ST)

JB#1 TYPE C - 2x4 BOX T/G=115.06 RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#2 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#3 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#4 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#5 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#6 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#7 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#8 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#9 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#10 MANHOLE - 6x6 BOX RIM=115.06 INV (IN)=106.97 INV (OUT)=106.97	JB#11 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#12 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#13 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#14 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#15 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#16 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#17 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#18 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#19 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60	JB#20 TYPE C - 5x5 BOX T/G=103.56 RIM=103.56 INV (IN)=97.60 INV (OUT)=97.60
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- ### NOTES:
- ALL CATCH BASINS WITHIN SITE PARKING AREA TO BE FITTED WITH BACKFLOW PREVENTERS.
 - ALL INTERNAL WATER AND SEWER LINES ARE CONSIDERED PRIVATE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE.
 - ALL WATER AND/OR SEWER LATERALS FOR EXISTING BUILDINGS THAT ARE TO BE ABANDONED SHALL BE CUT AND CAPPED AS THEY ARE ABANDONED.
 - SEWER LATERALS OF LESS THAN THREE FEET SIX INCHES OF COVER SHALL BE SCHEDULE 40 PVC PIPE, MINIMUM FOUR-INCH DIAMETER.
 - SANITARY MH TO BE INSTALLED VIA BY-PASS PIPING. (NOT TO BE DOGHOUSE MANHOLE).
 - ALL INLET TOP UNITS SHALL BE ORDERED WITH CAST IRON TROUT LOGO PLATE (DRAINS TO RIVERS) BY EAST JORDAN IRON WORKS.
 - NO METER PITS ON SITE. METERS TO BE LOCATED WITHIN THE BUILDING. INDOOR LOCATIONS TO BE COORDINATED WITH AND APPROVED BY BOROUGH PUBLIC WORKS.
 - FOR STORM WATER PIPE SIZES SEE PROFILE SHEETS. FOR SANITARY SEWER SIZES AND MATERIALS SEE PROFILE SHEETS.
 - LOCATIONS OF INDIVIDUAL SANITARY LATERALS FOR EACH RETAIL USER TO BE DETERMINED IN THE FIELD.
 - (3) PROPOSED SNOUTS TO BE MAINTAINED BY THE PROPERTY OWNER. SEE OPERATION & MAINTENANCE NOTES PER MANUFACTURER.
 - storm pipe shall have water-tight joints
 - Note that water mains and gas mains will need to be relocated to facilitate the proposed storm sewer

#	DATE	DESCRIPTION
#7	01-19-22	
#6	11-17-21	
#5	10-21-21	PER RVE REVIEW OF 10-08-21
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#3	07-28-21	PER RVE REVIEW OF 06-03-21
#2	3-18-21	LAYOUT CHANGES
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REVISION	DATE	DESCRIPTION

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA

10-30-20
#20203041163

UTILITY PLAN GROUND FLOOR

STEELWORKS

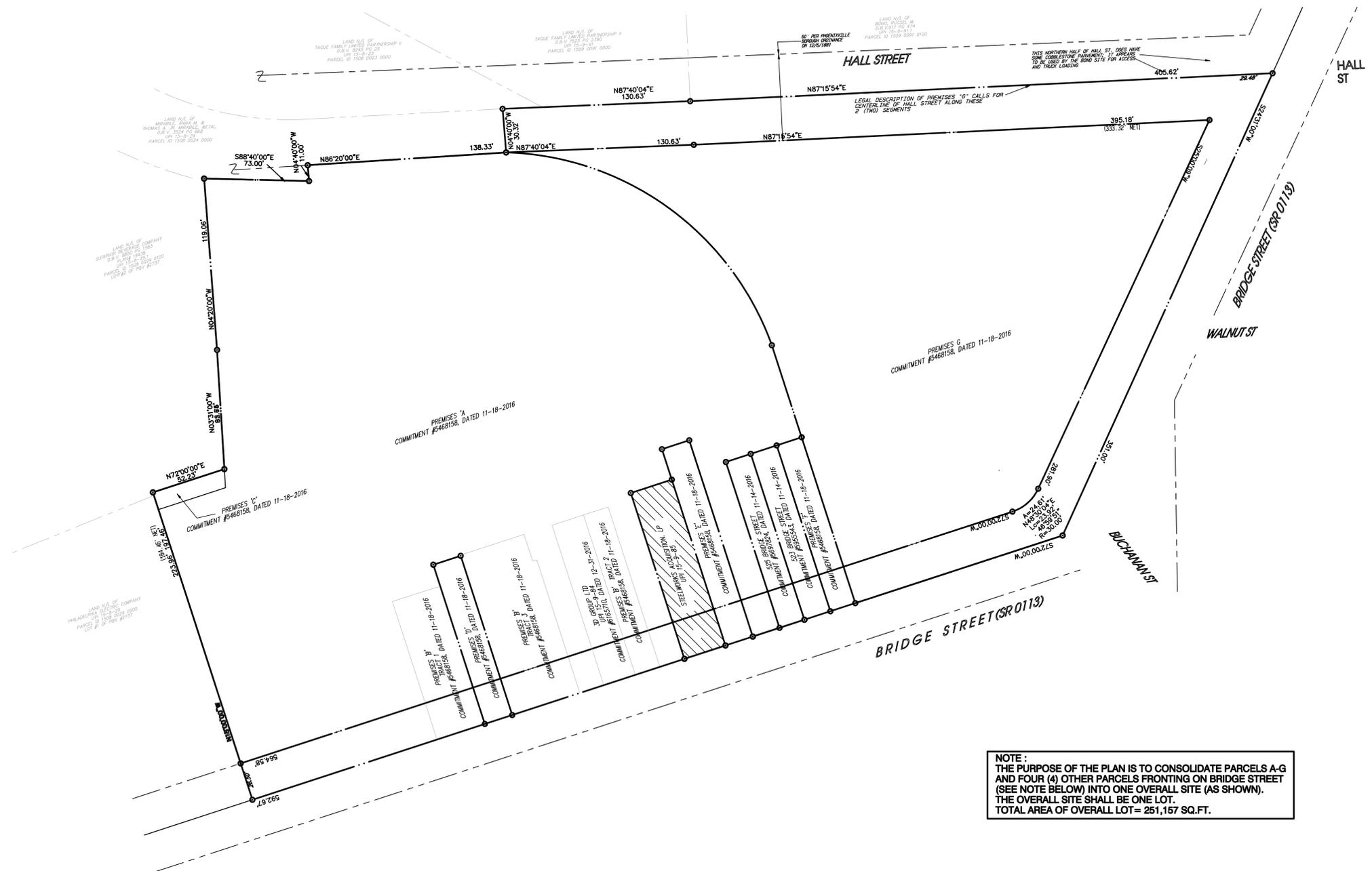
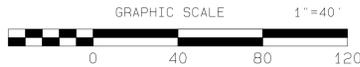
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SCALE 1"=40'	TAX MAP PARCEL	DRAWING NUMBER D-7701520	SHEET 6 OF 30			

Project: Steel - Path: C:\Users\whurd\Desktop\Steel\010323.dwg P101: D:\dwg\Steel.dwg Jan 15, 2023 / 11:02:08
 Plot Path: C:\Users\whurd\Desktop\Steel\010323.dwg P101: D:\dwg\Steel.dwg Jan 15, 2023 / 11:02:08



NOTE:
THE PURPOSE OF THE PLAN IS TO CONSOLIDATE PARCELS A-G AND FOUR (4) OTHER PARCELS FRONTING ON BRIDGE STREET (SEE NOTE BELOW) INTO ONE OVERALL SITE (AS SHOWN). THE OVERALL SITE SHALL BE ONE LOT. TOTAL AREA OF OVERALL LOT= 251,157 SQ.FT.

COMMITMENT #5468158, DATED 11-18-2016						
Parcel	Deed Name	ID Number	Parcel ID	Parcel size	Address (Deed Reference)	
PREMISES 'A'	Alex R. Barto and Elaine K. Barto	15-9-82	1509 00820000	122,360.04	551/549 Bridge Street	
PREM 'B'/Tr#1	Alex R. Barto and Elaine K. Barto	15-9-82	1509 00820000	3,582.00	547/545 Bridge Street	
PREM 'B'/Tr#2	Alex R. Barto and Elaine K. Barto	15-9-82	1509 00820000	2,184.38	533 Bridge Street	
PREM 'B'/Tr#3	Alex R. Barto and Elaine K. Barto	15-9-82	1509 00820000	5,683.50	539/541 Bridge Street	
PREMISES 'C'	Alex R. Barto and Elaine K. Barto	15-9-82	1509 00820000	632.31		
PREMISES 'D'	Alex R. Barto and Elaine K. Barto	15-9-83	1509 00830000	2,330.00	527 Bridge Street	
PREMISES 'E'	Alex R. Barto and Elaine K. Barto	15-9-86	1509 00860000	2,860.00	521 Bridge Street	
PREMISES 'F'	Alex R. Barto and Elaine K. Barto	15-9-89	1509 00890000	2,295.20		
PREMISES 'G'	Alex R. Barto and Elaine K. Barto	15-9-90	1509 00900000	96,926.00		
COMMITMENT #6165710, DATED 12-31-2016						
Deed Name	ID Number	Parcel ID	Parcel size	Address (Deed Reference)		
3D Group, LTD	15-9-84	1509 00840000	2,679.50	535 Bridge Street		
COMMITMENT #5697824, DATED 11-14-2016						
Deed Name	ID Number	Parcel ID	Parcel size	Address (Deed Reference)		
Gloria J. Neilligan	15-9-87	1509 00870000	2,361.64	525 Bridge Street		
COMMITMENT #5955543, DATED 11-14-2016						
Deed Name	ID Number	Parcel ID	Parcel size	Address (Deed Reference)		
Ronald Rockwell & Jeffery Rockwell	15-9-88	1509 00880000	2,196.14	523 Bridge Street		

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SITUATE IN:
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LOT CONSOLIDATION PLAN

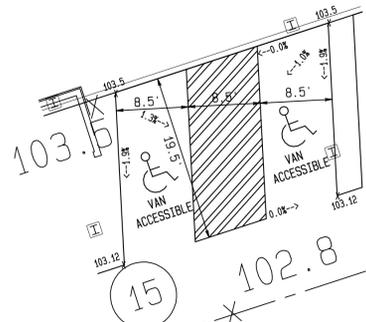
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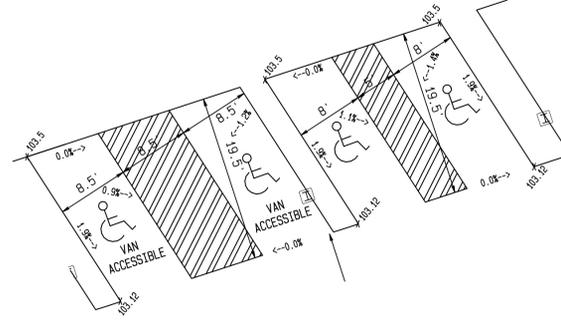
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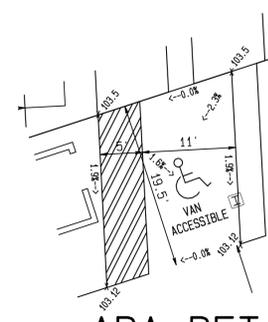
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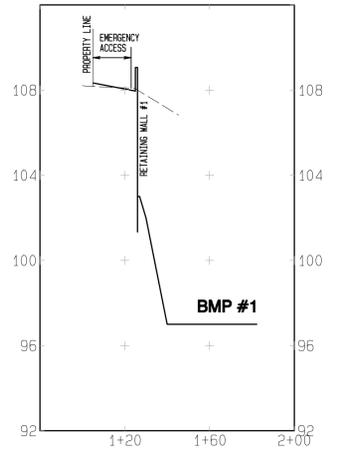
ADA DETAIL
SCALE: 1"=10'



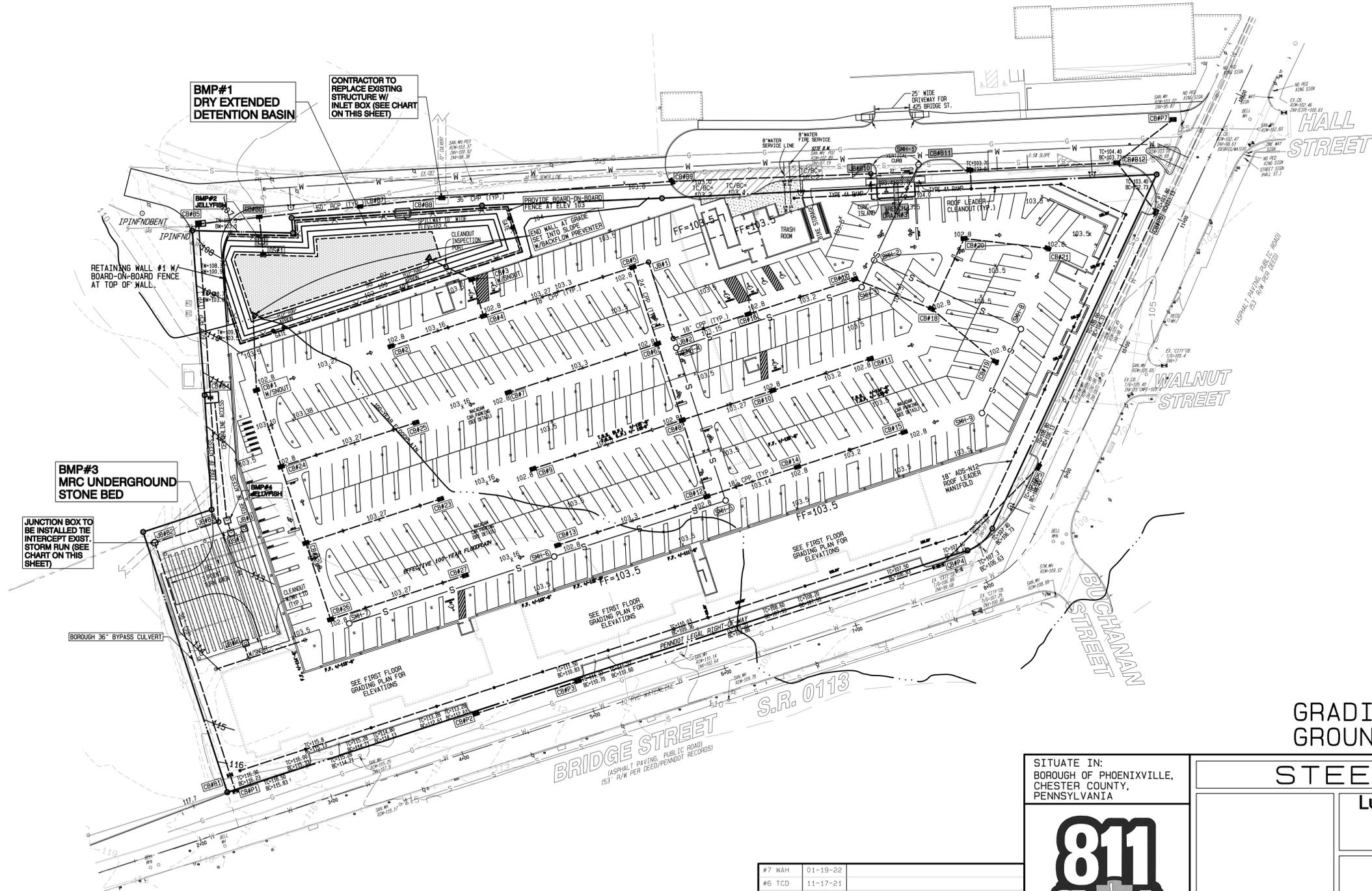
ADA DETAIL
SCALE: 1"=10'



ADA DETAIL
SCALE: 1"=10'



RETAINING WALL #1 CROSS-SECTION
SCALE: VERT. 1"=4'
HORIZ. 1"=40'



GRADING PLAN GROUND FLOOR

SITUATE IN:
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PENNSYLVANIA



10-30-20
#20203041163

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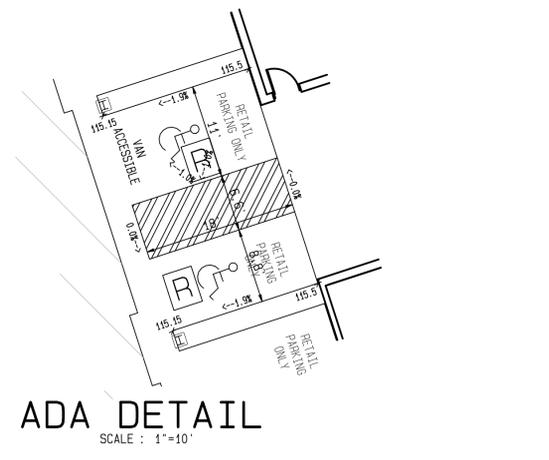
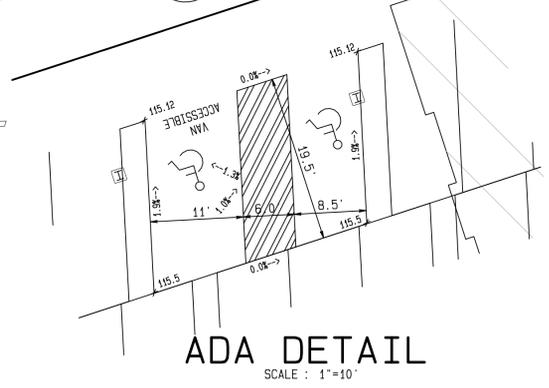
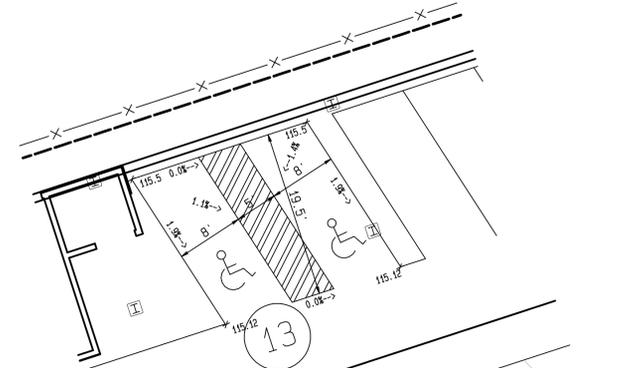
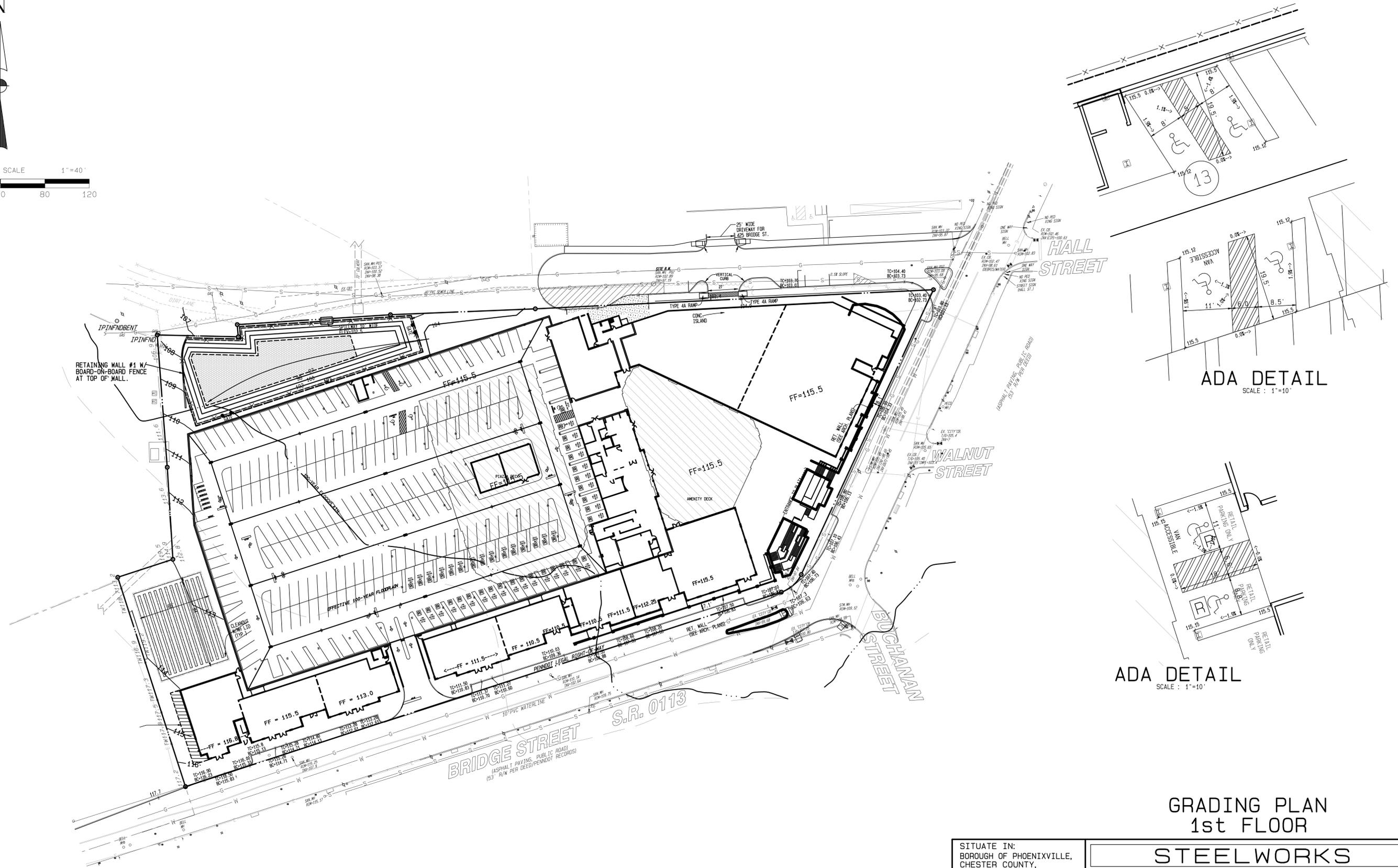
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SCALE	TAX MAP PARCEL	DRAWING NUMBER
1"=40'		D-7701520 SHEET 8 OF 30

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GRADING PLAN 1st FLOOR

SITUATE IN:
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TCD		9-25-20		SCALE		TAX MAP PARCEL		DRAWING NUMBER	
				1"=40'				D-7701520 SHEET 9 OF 30	

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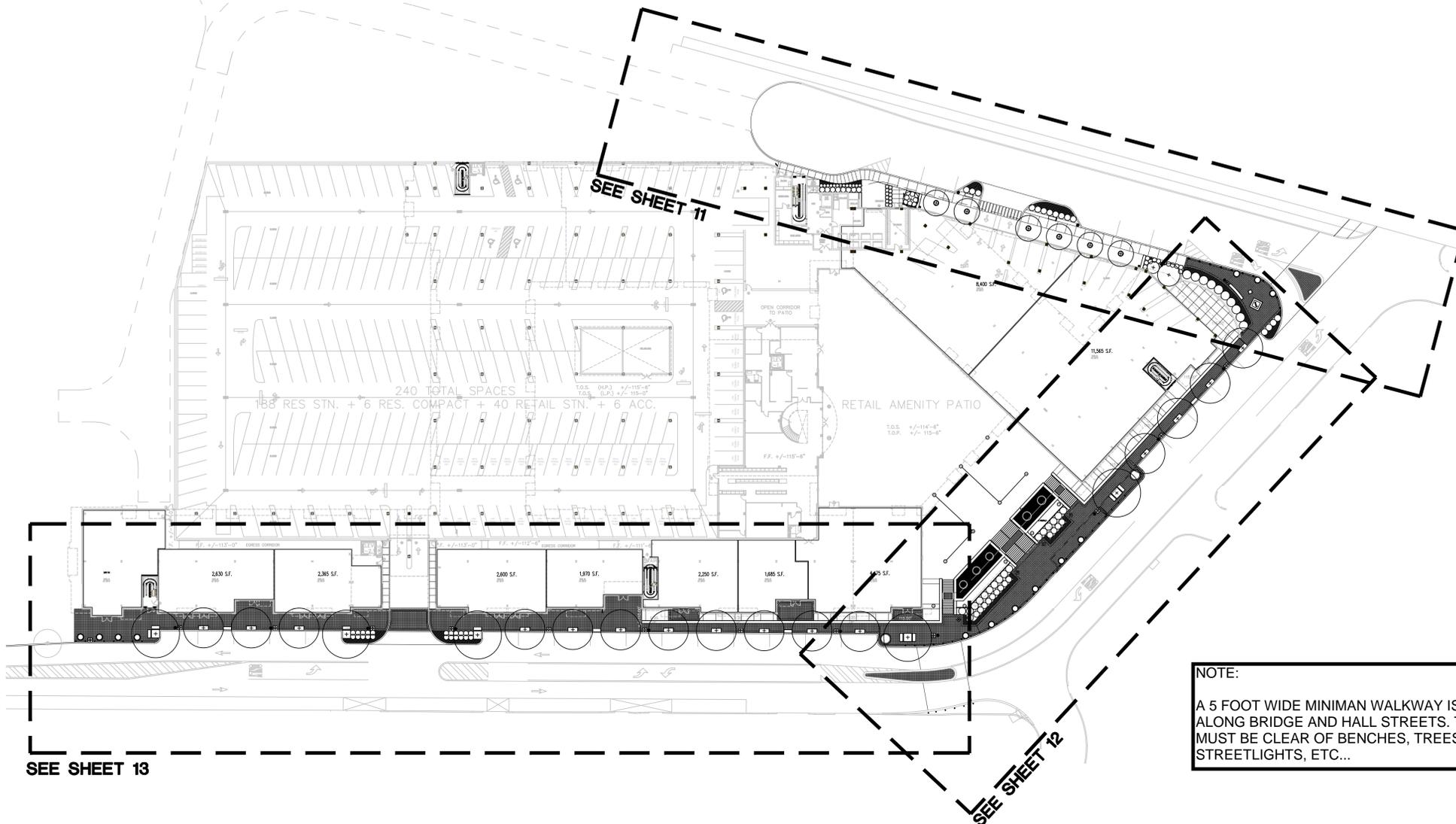
PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
CJY	1	CRYPTOMERIA JAPONICA 'YOSHINO'	YOSHINO CRYPTOMERIA	12'-14' HEIGHT, B&B	
CJK	6	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORNE	2 1/2'-3', B&B	
GB	16	GINKGO BILOBA	GINKGO	3'-3 1/2", B&B	LOWEST LIMB AT 7'-0"
FK	1	PRUNUS SERRULATA 'KIMAZAN'	KIMAZAN FLOWERING CHERRY	2 1/2"-3", B&B	PRUNE TOP FLAT
ZSY	5	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	3'-3 1/2", B&B	
SHRUBS					
AGR	21	AZALEA 'GUMPO RED'	GUMPO RED AZALEA	18"-24", CANS	
BWG	26	BUXUS SINICA INSULARIS 'WINTERGREEN'	WINTERGREEN BOXWOOD	30"-36" HEIGHT, CANS	
COB	1	COTINUS OBOVATUS	AMERICAN SMOKE TREE	8'-10", B&B	MULTI-STEMMED
CRS	10	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	3 1/2'-4' HEIGHT, B&B	
HMP	14	HYDRANGEA MACROPHYLLA 'FOREVER PINK'	FOREVER PINK HYDRANGEA	30"-36" HEIGHT, CANS	
HSB	12	HIBISCUS SYRIACUS 'BLUE BIRD'	BLUE BIRD ALTHEA	4'-5' HEIGHT, B&B	
MA	8	MAHONIA AQUIFOLIUM	OREGON GRAPEHOLLY	3 1/2'-4' HEIGHT, B&B	
PIF	16	PIERIS x 'FOREST FLAME'	FOREST FLAME PIERIS	3 1/2'-4' HEIGHT, B&B	
PLO	11	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24"-30" HEIGHT, B&B	
TD	8	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	30"-36" SPREAD, B&B	
A&P	8	AZALEA 'GUMPO PINK'	GUMPO PINK AZALEA	18"-24", CANS	
GROUNDCOVERS					
HRS	5	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	#2 CANS	
SH	32 S.F.	SARCOCCOCA HOOKERIANA	SHEET BOX	12"-18" SPREAD, CANS	2.25 PLANT (MIN.)/S.F. @ 8" O.C.
JC	334 S.F.	JUNIPERUS CONFERTA	SHORE JUNIPER	18"-24" SPREAD, CANS	0.25 PLANT (MIN.)/S.F. @ 30" O.C.

* ANNUALS SHALL BE PLANTED SEASONALLY BY THE OWNER'S DESIGNEE

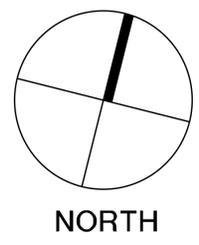
LANDSCAPE NOTES

- ALL INFORMATION ON THIS SHEET REFERS TO ALL CONTENTS OF THIS SHEET AND ALL OTHER LANDSCAPE/HARDSCAPE PLANS.
- THESE LANDSCAPE PLANS SHALL BE REGARDED AS SCHEMATIC IN NATURE. ALL PLANT LOCATIONS SHALL BE SUBJECT TO FIELD ADJUSTMENT BY THE OWNER'S REPRESENTATIVE.
- LIGHTING FIXTURES, PLANT MATERIAL, SITE FURNISHINGS, RETAINING WALLS, WALKWAYS, RIGHTS-OF-WAY, AND EASEMENTS, ETC. ARE DEPICTED HEREON, AS WELL AS ELSEWHERE IN THE PLAN SET, AS APPROPRIATE.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PROTECT PREVIOUSLY PLANTED VEGETATION AND INDIVIDUAL SPECIMENS DURING CONSTRUCTION, AS PER DETAILS, AS MAY BE DEPICTED HEREIN.
- ALL AREAS UNDERLAIN BY ROCK ARE TO BE EXCAVATED TO THE MINIMUM DEPTH INDICATED ON THE PLANS AND DETAILS OR MAY BE DEEMED BY THE OWNER'S REPRESENTATIVE NECESSARY TO PERMIT PLACEMENT OF BACKFILL AND TOPSOIL REQUIRED TO ENSURE PROPER DRAINAGE AND GROWING CONDITIONS FOR THE LANDSCAPE MATERIALS IDENTIFIED FOR PLACEMENT. THE OWNER'S REPRESENTATIVE IS ALSO TO BE NOTIFIED OF ANY ADDITIONAL FIELD CONDITIONS, AND ALL REMEDIAL ACTION IS TO BE CONDUCTED UNDER HIS/HER DIRECTION.
- ALL DISTURBED AREAS TO BE PLANTED ARE TO RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL PREPARATION, AS NECESSARY, AND THREE (3) INCHES MINIMUM OF APPROVED MULCH.
- AREAS THAT MAY BE SHOWN BLANK ARE TO RECEIVE MULCH AS IDENTIFIED ABOVE.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANS, THE PLANS SHALL GOVERN.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- INSPECTION - THE OWNER'S REPRESENTATIVE SHALL ACCOMPANY THE CONTRACTOR TO THE NURSERIES TO INSPECT THE SPECIFIED PLANT MATERIAL, WHICH HAS BEEN PRE-SELECTED BY THE LANDSCAPE CONTRACTOR. THE CONTRACTOR SHALL PRE-INSPECT THE SELECTED PLANTS ON THE BASIS THAT PLANTS ARE FREE OF DISEASE AND CONFORM OTHERWISE TO INDUSTRY STANDARDS REGARDING HEALTH, SIZE AND FORM. PLANTS WILL ALSO BE INSPECTED AT THE SITE BY THE OWNER'S REPRESENTATIVE. PLANTS, IF REJECTED SHALL NOT BE DELIVERED OR SHALL BE REMOVED FROM THE SITE. IN THE ALTERNATIVE, WHEN APPROVED BY THE OWNER'S REPRESENTATIVE CERTAIN PLANT MATERIALS MAY BE INSPECTED AND APPROVED BY PHOTOGRAPHIC REVIEW, AS SPECIFIED, FOR GENERAL CONFORMITY. FINAL INSPECTION FOR ACCEPTANCE WILL BE PERFORMED AT THE SITE. THEY ARE, NONETHELESS, SUBJECT TO BEING REJECTED AT CONTRACTOR'S RISK IF THEY DO NOT MEET STANDARDS EXPRESSED HEREIN.
- ALL TREES AND SHRUBS ARE TO BE PLANTED IN BEDS, OR PLANT ISLANDS WITH MULCH AS DEPICTED ON THE DETAILS, UNLESS OTHERWISE NOTED ON THE PLANS. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL LAY OUT ALL SHRUB AND TREE AREAS (WITH PLANTS STILL IN CONTAINERS). ANY DISCREPANCIES OR QUESTIONS SHOULD BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE. FINAL PLACEMENT OF PLANT MATERIALS (RE: QUANTITY AND SPACING) SHALL BE PERFORMED IN THE FIELD UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
- ALL DECIDUOUS TREES PLANTED WITHIN CLEAR SIGHT TRIANGLES AT INTERSECTIONS SHALL BE LIMBED AT 7'-0" HEIGHT MINIMUM.
- ALL SHRUBS PLANTED WITHIN CLEAR SIGHT TRIANGLES AT INTERSECTIONS SHALL BE MAINTAINED AT A 36" HEIGHT MAXIMUM.
- ALL PROPOSED LANDSCAPE MATERIAL IS TO BE NURSERY GROWN, TYPICAL OF ITS SPECIES OR VARIETY, AND HAVE NORMAL GROWTH HABIT, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INFECTIONS.
- ALL PROPOSED PLANTINGS SHALL BE INSTALLED AS PER STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING, OR AS MAY BE INDICATED ON THE DRAWINGS OR DIRECTED OTHERWISE IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
- A MAINTENANCE AND REPLACEMENT GUARANTEE (EIGHTEEN [18] MONTHS FOLLOWING INSTALLATION) SHALL BE PROVIDED TO THE OWNER OR THE BOROUGH, AS APPLICABLE, BY THE LANDSCAPE CONTRACTOR. ALL PLANTINGS THAT DO NOT SURVIVE BEFORE, OR UPON THE EXPIRATION OF THE GUARANTEE PERIOD, SHALL BE REPLACED.
- PLANT CHARACTERISTICS AND MAINTENANCE:
 - ALL PLANTS SHALL CONFORM TO THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" OF THE AMERICAN ASSOCIATION OF NURSERMEN.
 - TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
 - TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND BE CERTIFIED BY THE APPROPRIATE FEDERAL AND/OR STATE AUTHORITIES AND WARRANTED BY THE NURSERY/GROWER TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
 - ALL TREES AND SHRUBS SHALL BE NURSERY GROWN AND FRESHLY DUG. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE BOROUGH, OR PROPERLY ACCLIMATED TO CONDITIONS OF THE SITE DESTINATION.
 - ANY TREE OR SHRUB WHICH DIES WITHIN THE TERM OF A MAINTENANCE AGREEMENT SHALL BE REPLACED AT NO COST TO THE OWNER. ANY TREE OR SHRUB WHICH IS DEEMED, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, OR THE BOROUGH, NOT TO HAVE SURVIVED OR GROWN IN A MANNER UNCHARACTERISTIC OF ITS TYPE, SHALL BE REPLACED. SUBSTITUTIONS FOR CERTAIN SPECIES OF PLANTS MAY ONLY BE MADE WHEN APPROVED BY THE OWNER'S REPRESENTATIVE.
 - UPON EXPIRATION OF THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR, IT SHALL BE THE RESPONSIBILITY OF THE OWNER, PROPERTY MANAGER AND/OR OTHER DESIGNEE, RESPONSIBLE FOR THE PREMISES, TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, WHICH RESPONSIBILITY SHALL INCLUDE WATERING, REMOVAL OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, AS MAY BE INDICATED BY PRUNING DETAILS AND/OR PRUNING NOTES, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH.
 - ALL TREES SHALL BE KEPT TRIMMED SEVEN (7) FEET ABOVE ANY SIDEWALK, AND TREES WITHIN A STREET RIGHT-OF-WAY THAT EXTEND OVER A CARTWAY SHALL BE LIMBED UP THIRTEEN FEET SIX INCHES (13'-6") ABOVE THE ELEVATION OF THE CARTWAY OF ALL STREETS.
 - ALL SHRUBS AND OTHER GROWTH ABUTTING ANY SIDEWALKS SHALL BE A MINIMUM OF FOUR(4) INCHES FROM THE EDGE OF THE SIDEWALK(S).
 - TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF STREETS, DRIVEWAYS, OTHER ACCESSWAYS, AND PARKING AREAS SHALL BE TRIMMED OR CUT TO AVOID BLOCKING SIGHT DISTANCE TO VEHICULAR TRAFFIC; SHRUBS OR GROUNDCOVERS SHALL BE MAINTAINED SO AS TO NOT EXCEED THIRTY (30) INCHES IN HEIGHT FROM THE TOP OF THE PAVING SURFACE OF THE WALKWAY OR ANY STREET, DRIVEWAY, OTHER ACCESSWAY, OR PARKING AREA.



NOTE:
A 5 FOOT WIDE MINIMUM WALKWAY IS REQUIRED ALONG BRIDGE AND HALL STREETS. THIS 5 FEET MUST BE CLEAR OF BENCHES, TREES, STREETLIGHTS, ETC...

LANDSCAPE/HARDSCAPE PLAN-1



CEE JAY FREDERICK ASSOCIATES
 DESIGN AND PLANNING CONSULTANTS
 ARCHITECTURE • LANDSCAPE ARCHITECTURE • PLANNING
 103 EAST MINER STREET
 WEST CHESTER, PENNSYLVANIA 19382

Approved by: _____ Checked by: CJF Drawn by: JCJ

#7 1.19.22

NO.	DATE	DESCRIPTION
#6	TCD 11-17-21	
#5	WAH 10-21-21	PER RVE REVIEW OF 10-08-21
#4	WAH 09-02-21	PER RVE REVIEW OF 09-03-21
#3	WAH 07-28-21	PER RVE REVIEW OF 06-03-21
#2	TCD 3-18-21	LAYOUT CHANGES
#1	TCD 11-17-20	LAYOUT CHANGES
REVISION	DATE	DESCRIPTION

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA

10-30-20
#20203041163

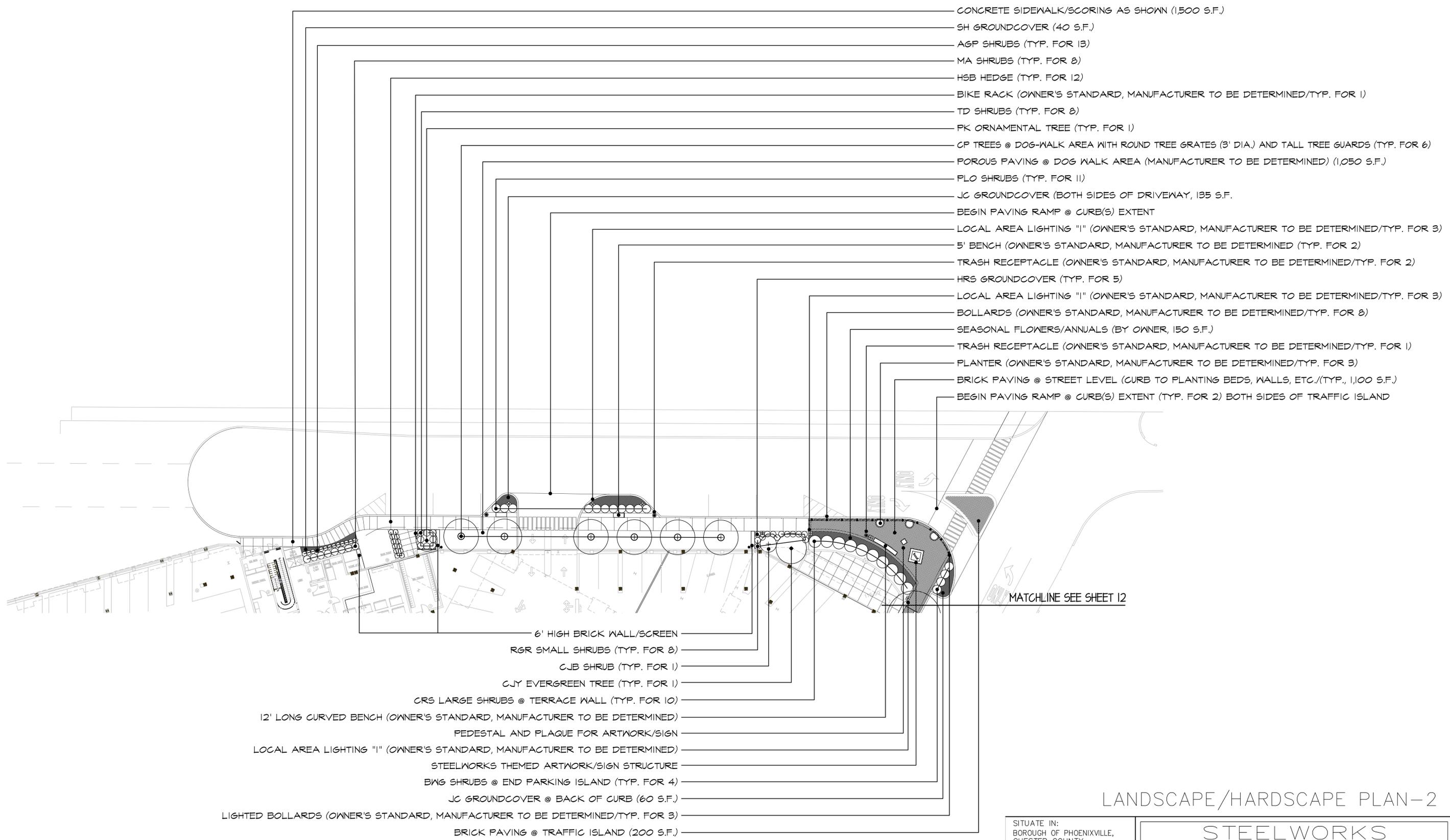
STEELWORKS

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 10 VANGUARD DRIVE, SUITE 100
 READING, PA 19606
 PHONE 610/404-7330
 FAX 610/404-7371

DRAWN	COMP(BNDY)	COMP(LOTS)	PA ONE CALL DATE	COMPUTER FILE
SCALE	TAX MAP PARCEL	DRAWING NUMBER		
1"=40'		D-7701520	SHEET 10 OF 30	

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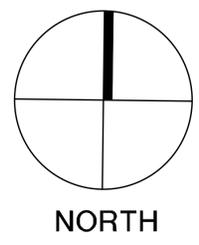
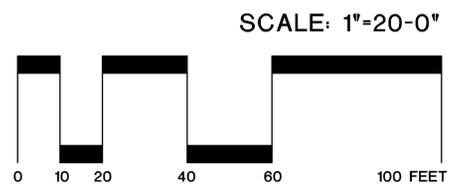


- CONCRETE SIDEWALK/SCORING AS SHOWN (1,500 S.F.)
- SH GROUNDCOVER (40 S.F.)
- AGP SHRUBS (TYP. FOR 13)
- MA SHRUBS (TYP. FOR 8)
- HSB HEDGE (TYP. FOR 12)
- BIKE RACK (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1)
- TD SHRUBS (TYP. FOR 8)
- PK ORNAMENTAL TREE (TYP. FOR 1)
- CP TREES @ DOG-WALK AREA WITH ROUND TREE GRATES (3' DIA.) AND TALL TREE GUARDS (TYP. FOR 6)
- POROUS PAVING @ DOG WALK AREA (MANUFACTURER TO BE DETERMINED) (1,050 S.F.)
- PLO SHRUBS (TYP. FOR 11)
- JC GROUNDCOVER (BOTH SIDES OF DRIVEWAY, 135 S.F.)
- BEGIN PAVING RAMP @ CURB(S) EXTENT
- LOCAL AREA LIGHTING "1" (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 3)
- 5' BENCH (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED (TYP. FOR 2)
- TRASH RECEPTACLE (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 2)
- HRS GROUNDCOVER (TYP. FOR 5)
- LOCAL AREA LIGHTING "1" (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 3)
- BOLLARDS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 8)
- SEASONAL FLOWERS/ANNUALS (BY OWNER, 150 S.F.)
- TRASH RECEPTACLE (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1)
- PLANTER (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 3)
- BRICK PAVING @ STREET LEVEL (CURB TO PLANTING BEDS, WALLS, ETC. (TYP., 1,100 S.F.)
- BEGIN PAVING RAMP @ CURB(S) EXTENT (TYP. FOR 2) BOTH SIDES OF TRAFFIC ISLAND

MATCHLINE SEE SHEET 12

- 6' HIGH BRICK WALL/SCREEN
- RGR SMALL SHRUBS (TYP. FOR 8)
- CJB SHRUB (TYP. FOR 1)
- CJY EVERGREEN TREE (TYP. FOR 1)
- CRS LARGE SHRUBS @ TERRACE WALL (TYP. FOR 10)
- 12' LONG CURVED BENCH (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED)
- PEDESTAL AND PLAQUE FOR ARTWORK/SIGN
- LOCAL AREA LIGHTING "1" (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED)
- STEELWORKS THEMED ARTWORK/SIGN STRUCTURE
- BWS SHRUBS @ END PARKING ISLAND (TYP. FOR 4)
- JC GROUNDCOVER @ BACK OF CURB (60 S.F.)
- LIGHTED BOLLARDS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 3)
- BRICK PAVING @ TRAFFIC ISLAND (200 S.F.)

LANDSCAPE/HARDSCAPE PLAN-2



CEE JAY FREDERICK ASSOCIATES
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 ARCHITECTURE • LANDSCAPE ARCHITECTURE • PLANNING
 103 EAST MINER STREET
 WEST CHESTER, PENNSYLVANIA 19382

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 PENNSYLVANIA

10-30-20
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STEELWORKS

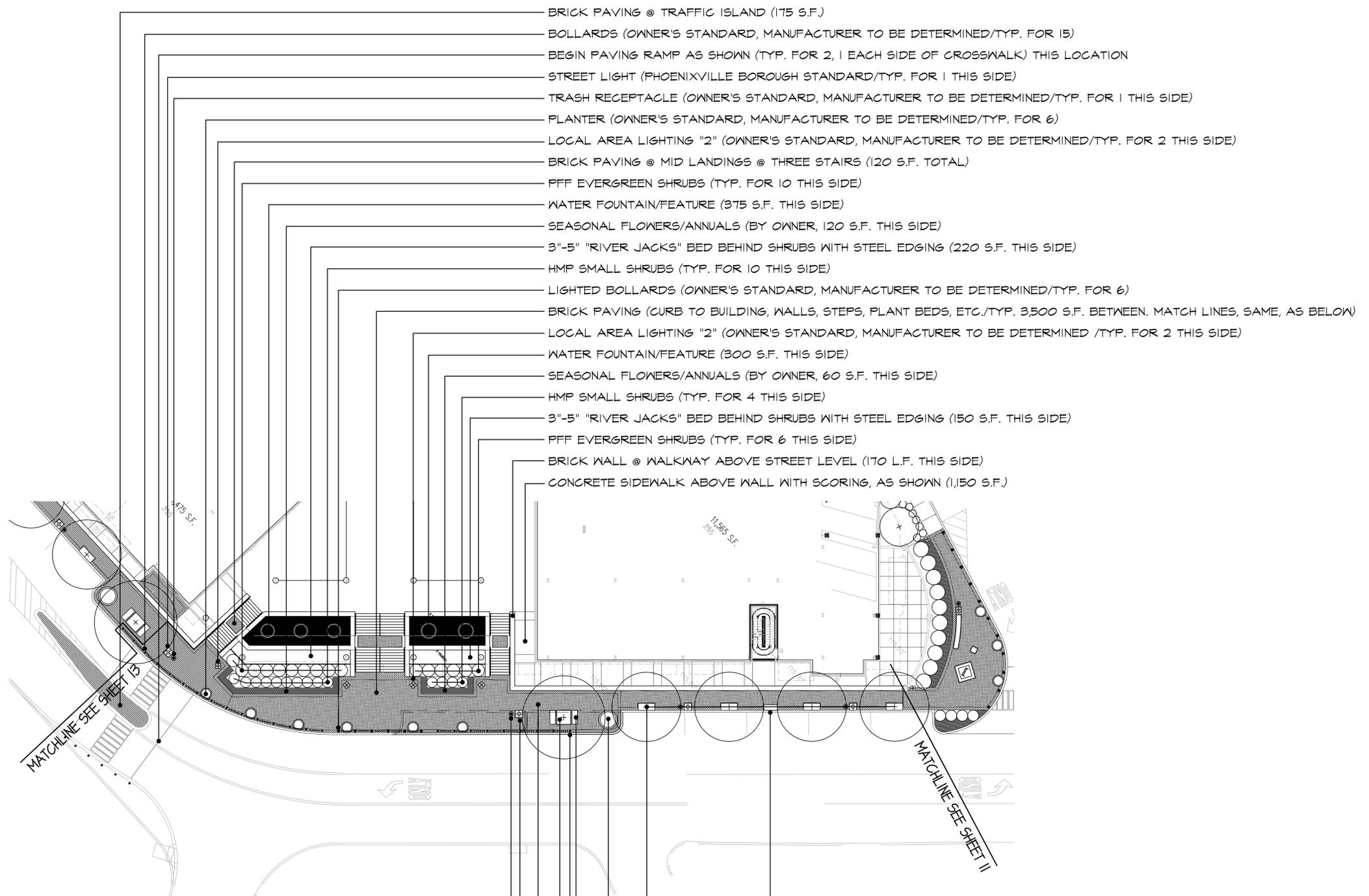
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DRAWN	COMP(BNDY)	COMP(LOTS)	PA ONE CALL DATE	COMPUTER FILE

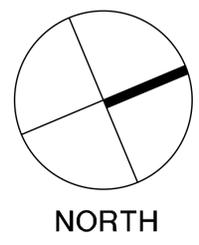
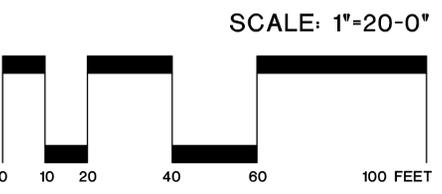
SCALE: 1"=20' TAX MAP PARCEL: _____ DRAWING NUMBER: D-7701520 SHEET 11 OF 30

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- TRASH RECEPTACLE (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1 THIS SIDE).
- STREET LIGHT (PHOENIXVILLE BOROUGH STANDARD/TYP. FOR 3 THIS SIDE)
- BRICK PAVING @ STREET LEVEL (CURB TO BUILDING, WALLS, STEPS, PLANT BEDS, ETC./TYP. 3,500 S.F. BETWEEN MATCH LINES, SAME AS ABOVE)
- ZSV STREET TREE WITH 5' SQUARE GRATE AND TALL SQUARE GUARD (TYP. FOR 1)
- BOLLARD (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 9 THIS SIDE)
- 5' LONG BENCHES @ STREET TREE (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 2)
- LARGE PLANTER @ BRICK PLAZA (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1 THIS SIDE)
- GB STREET TREES @ LINEAR RUNS WITH 2'-6"x6'-0" GRATES AND LOW GUARDS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 4)
- 5' LONG BENCH BETWEEN STREET TREES @ LINEAR RUNS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1)

LANDSCAPE/HARDSCAPE PLAN-3



CEE JAY FREDERICK ASSOCIATES
 DESIGN AND PLANNING CONSULTANTS
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 103 EAST MINER STREET
 WEST CHESTER, PENNSYLVANIA 19382

Approved by: _____ Checked by: C/JF Drawn by: JCJ

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#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

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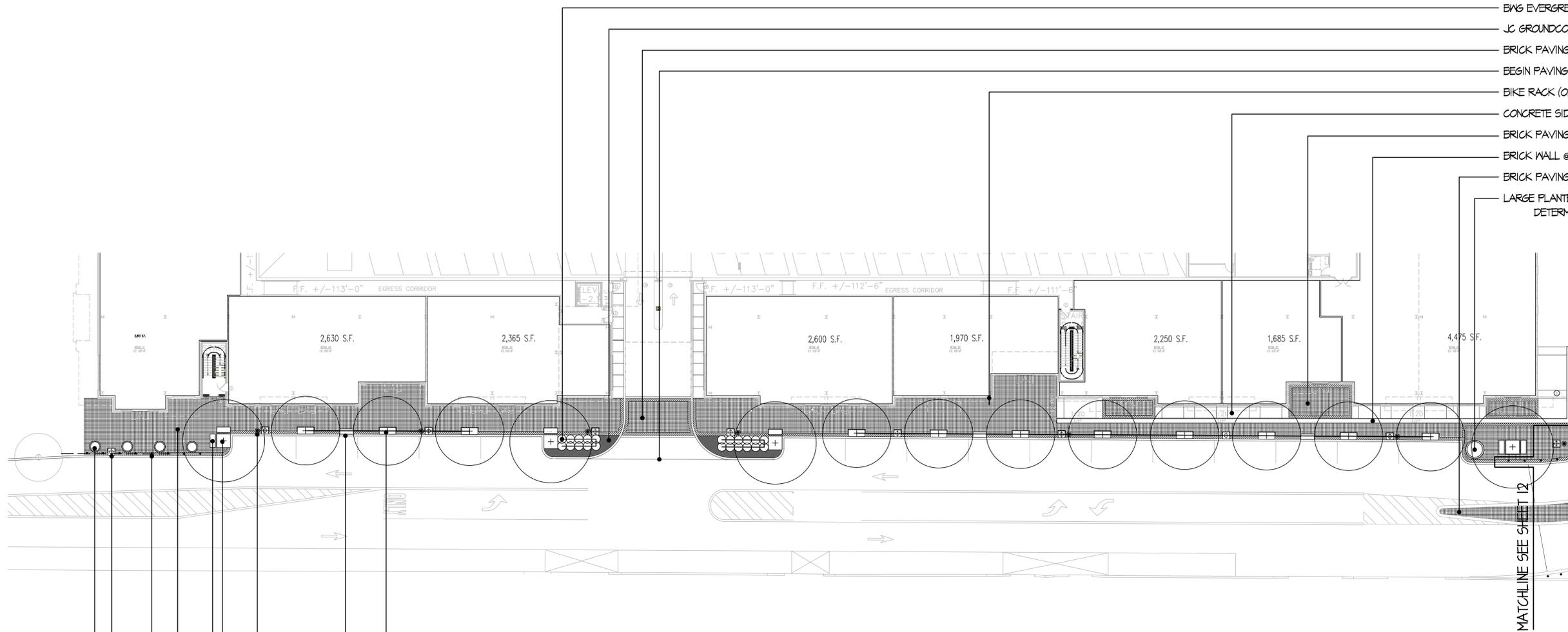
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DRAWN	COMP(BNDY)	COMP(LOTS)	PA ONE CALL DATE	COMPUTER FILE
SCALE	TAX MAP PARCEL	DRAWING NUMBER		
1"=20'		D-7701520	SHEET 12	OF 30

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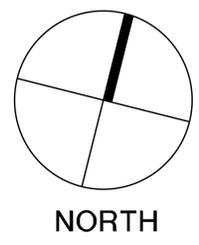
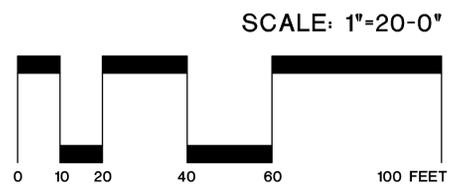


- BAG EVERGREEN SHRUBS BOTH SIDES OF PARKING ENTRY DRIVEWAY/TYP. FOR 22
- JC GROUNDCOVER @ BACK OF CURB (200 S.F.)
- BRICK PAVING ACROSS DRIVEWAY TO PARKING (350 S.F.)
- BEGIN PAVING RAMP @ CURB(S) EXTENT
- BIKE RACK (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1)
- CONCRETE SIDEWALK @ RAMP ABOVE WALL WITH SCORING AS SHOWN (850 S.F.)
- BRICK PAVING @ RETAIL ENTRY PADS ABOVE WALL/TYP. FOR 3 (575 S.F. TOTAL)
- BRICK WALL @ RAMP/WALKWAY ABOVE STREET LEVEL (225 L.F. THIS SIDE)
- BRICK PAVING AT TRAFFIC ISLAND (125 S.F.)
- LARGE PLANTER @ BRICK PLAZA (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 1)

- 6B STREET TREES @ LINEAR RUNS WITH 2'-6"X6'-0" GRATES AND LOW GUARDS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 11)
- 5' LONG BENCHES BETWEEN STREET TREES @ LINEAR RUNS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 3)
- TRASH RECEPTACLE (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 6 THIS SIDE)
- ZSV STREET TREES WITH 5' SQUARE GRATES AND TALL SQUARE GUARDS (TYP. FOR 4)
- 5' LONG BENCHES @ STREET TREES @ ENDS OF LINEAR RUNS (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 6)
- BRICK PAVING @ STREET LEVEL (CURB TO BUILDING, WALLS, STEPS, PLANT BEDS, ETC./TYP. 6,100 S.F.)
- BOLLARD (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 8)
- STREET LIGHT (PHOENIXVILLE BOROUGH STANDARD/TYP. FOR 9)
- PLANTER (OWNER'S STANDARD, MANUFACTURER TO BE DETERMINED/TYP. FOR 4)

MATCHLINE SEE SHEET 12

LANDSCAPE/HARDSCAPE PLAN-4



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 103 EAST MINER STREET
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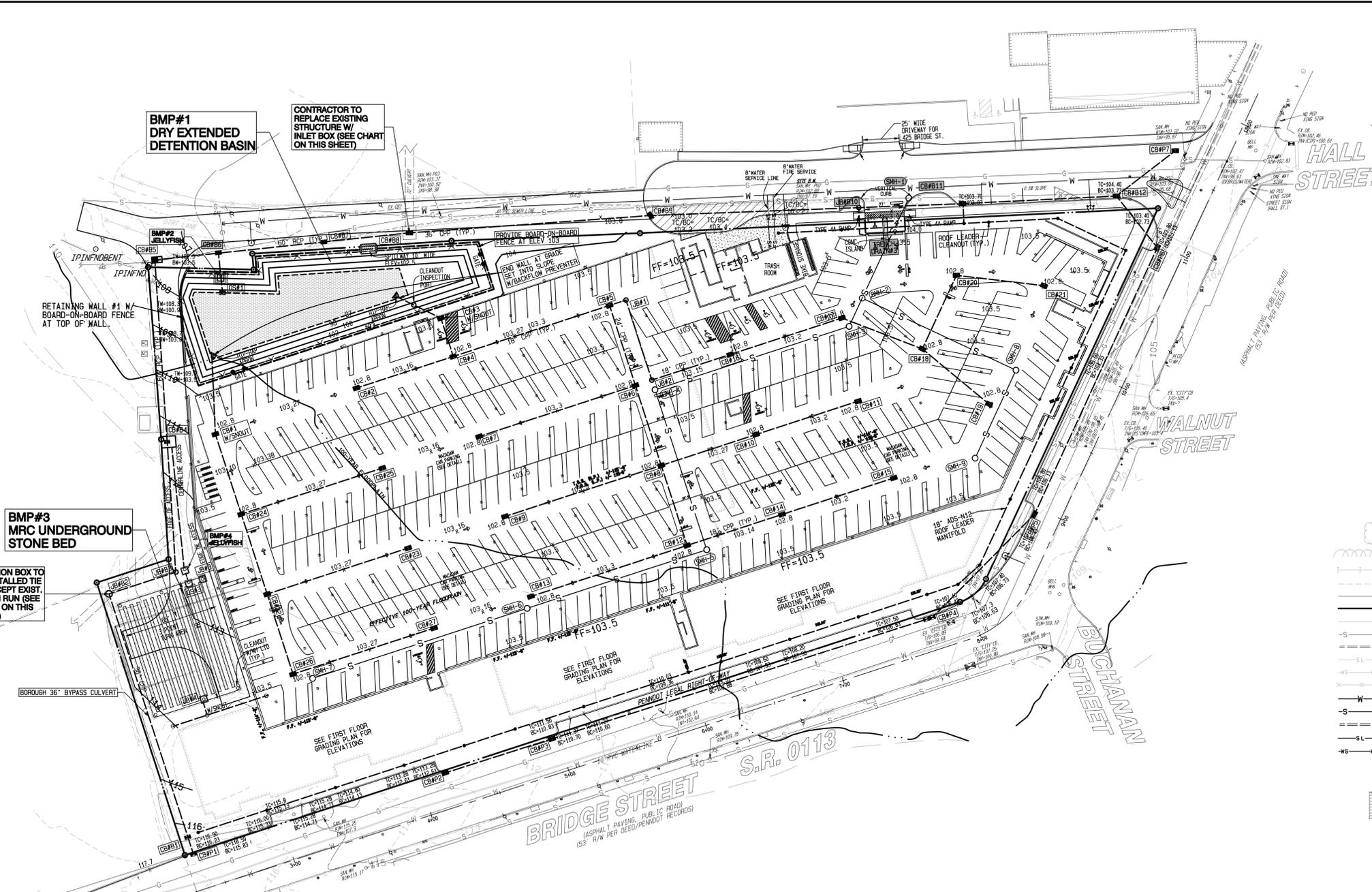
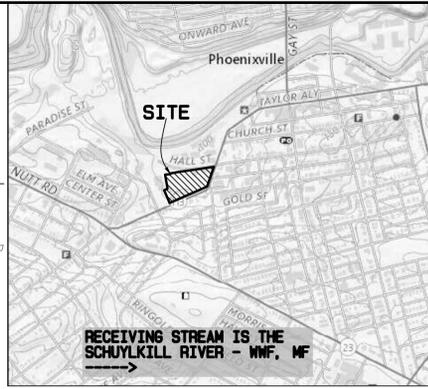
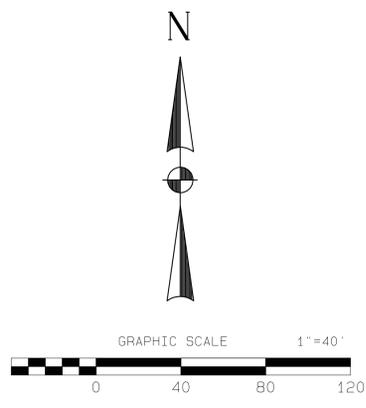
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DRAWN	COMP(BNDY)	COMP(LOTS)	PA ONE	COMPUTER FILE
			CALL DATE	
SCALE	TAX MAP PARCEL	DRAWING NUMBER		
1"=20'		D-7701520	SHEET	13 OF 30

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LEGEND

- M = MAILBOX
- TP = TELEPHONE PEDESTAL
- F = FLAGPOLE
- S = SPOTLIGHT
- P = POST
- EW = EXIST. WELL
- CB = CATCH BASIN-C.B. (DOUBLE)
- SW = SANITARY-SAN W/ OR STORM MANHOLES-SB (AS INDICATED)
- WC = WATER VALVE CAP
- LP = LIGHT POLE
- FH = FIRE HYDRANT
- CO = CLEAN OUT/VENT (C.O.)
- UW = UTILITY POLE W/GUY WIRE
- CTV = CABLE TV
- EB = ELECTRIC BOX
- GV = GAS VALVE
- GM = GAS METER
- SS = STREET SIGN (AS NOTED)
- ET = EXISTING TREES
- WL = WOODS LINE
- GR = GUIDE RAIL
- EC = EXIST. CONTOURS
- EX = EXIST. INDEX CONTOURS
- PC = PROPOSED INDEX CONTOURS
- EL = EXIST. WATERLINE
- ES = EXIST. SANITARY SEWER LINE
- ESL = EXIST. STORM SEWER LINE
- ESL = EXIST. SANITARY LATERAL
- ESL = EXIST. WATER SERVICE LINE
- ESL = EXIST. FENCE LINE
- PL = PROPOSED WATERLINE
- PLS = PROPOSED SANITARY SEWER LINE
- PLS = PROPOSED STORM SEWER LINE
- PLS = PROPOSED SANITARY LATERAL
- PLS = PROPOSED WATER SERVICE LINE
- CM = CONC. MONUMENT (TO BE SET)
- MF = MONUMENT FOUND
- PC = PROPERTY CORNER
- EB = EXISTING BUILDINGS
- RS = DENOTES RETAIL PARKING SPACES

Soils on site are:
 Urb - Urban land, 0-8% slopes
 UrbB - Urban land - Penn complex, 0-8% slopes

SOIL LIMITATIONS	SOIL RESOLUTIONS	Urb	UrbB (Penn soils used)
Outbanks Cave	Layback slopes - follow OSHA rules for safety	---	X
Corrosion to Concrete/Steel	Corrosive resistant concrete - protective barrier between water and the steel - galvanized steel	---	C
Droughty	Compost mix to hold in moisture	---	X
Easily Erodible	Maintain erosion control BMPs	---	---
Flooding	Layback slopes/design for conditions	---	---
Depth to Saturated Zone/Seasonal High Water Table	Pumped water filter, footer drains	---	---
Hydrochloric inclusions	Avoidance, pumped water filter bags, trench plugs	---	X
Low Strength/Landslide Prone	Drainage ditch, pumped water filter bag	---	X
Slow Percolation	Maintain erosion control BMPs	---	---
Piping	Trench plugs	---	X
Poor Source of Topsoil	Avoid reuse as topsoil or amend as necessary	---	X
Frost Action	Construct below frost depths/positive subgrade	---	X
Shrink-Swell	Provide positive drainage	---	---
Potential Sinkhole	Design for conditions - drainage trenches, pumped water filter bag, sump pumps, footer drains	---	---
Ponding	Trench plugs	---	---
Witness	Test to determine depth, design for conditions	---	---
Depth to Restrictive Layer		---	---

Urban lands are not rated for most categories therefore no soil limitations appear. UrbB - Penn complex limitations were determined by Penn soils. However, the following common-sense soil resolution items should be followed.

In the event groundwater is encountered, the contractor shall employ measures of the "pumped water details" as shown on the plan.

If bedrock is encountered, notify Design Engineer immediately. Changes may need to occur to the plan. The conservation district must be informed of any changes.

Excavation walls may be unstable. Contractor shall ensure that proper shoring methods and OSHA safety procedures are utilized to keep workers safe.

Contractor must ensure that areas that have been disturbed will be immediately stabilized with erosion control blanket, stone or whatever is called out in the construction sequence. Keep hay bales in readiness for emergencies.

Soil will require restoration/amendment to obtain optimum vegetative growth.

TOTAL IMPERVIOUS AREA = 201,300 SQ.FT. (ENTIRE SITE)

AREAS NOT PAVED/BUILDING/IMPERVIOUS OR OTHERWISE LANDSCAPED TO BE COVERED WITH 6" OF TOPSOIL AND SEEDED PER EROSION CONTROL NARRATIVE.

CRITICAL STAGES:

A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP#1 DRY EXTENDED DETENTION BASIN AND BMP #2 JELLYFISH WATER QUALITY TREATMENT DEVICE.

A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP #3 MRC UNDERGROUND STONE BED WITH PIPING AND BMP #4 JELLYFISH WATER TREATMENT DEVICE.

NPDES APPLICANT :
 STEELWORKS ACQUISITION, LP
 184 BRIDGE STREET
 PHOENIXVILLE, PA 19460-3348
 PHONE: 610-415-1699

REVISION	DATE	DESCRIPTION
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SITUATE IN:
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 PENNSYLVANIA



POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

STEELWORKS

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SCALE	TAX MAP PARCEL	DRAWING NUMBER
1"=40'		D-7701520 SHEET 14 OF 30

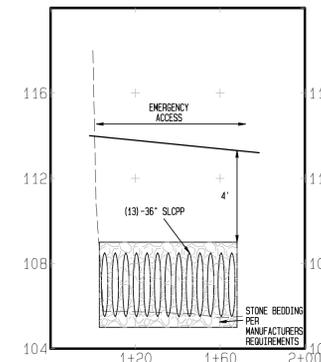
Project: Steelworks - Phase 2 - Stormwater Management Plan - Rev. 01-19-22 - 14 of 30

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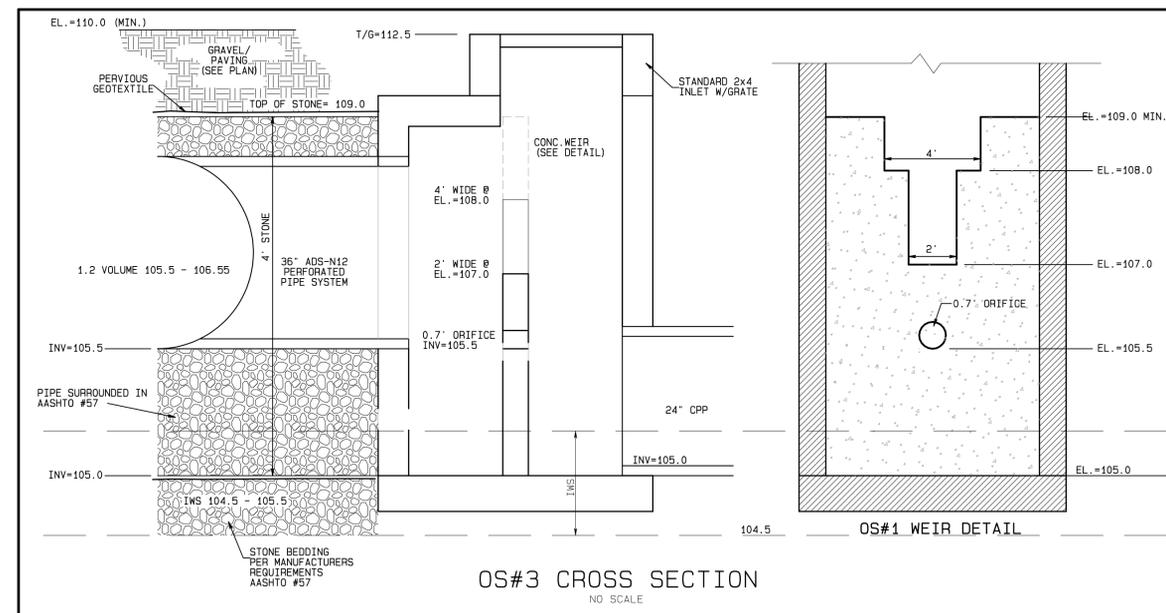
BMP #3 - 65'x84'x4'
MRC UNDERGROUND
STONE BED
TOP ELEV = 109.0
BOTT. ELEV = 105.0
PIPE ELEV = 105.5
BOTT. AREA = 5590 SQ.FT.

NOTE:
WRAP ENTIRE BMP#3 SYSTEM WITH PERVIOUS GEOTEXTILE.



CROSS-SECTION A-A

SCALE: VERT 1"=4'
HORIZ 1"=40'



OS#3 CROSS SECTION

NO SCALE

BMP PLANS and DETAILS - 1

NPDES APPLICANT :

STEELWORKS ACQUISITION, LP
184 BRIDGE STREET
PHOENIXVILLE, PA 19460-3348
PHONE: 610-415-1699

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CHESTER COUNTY,
PENNSYLVANIA



10-30-20
#20203041163

STEELWORKS

Ludgate Engineering Corporation

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ENVIRONMENTAL SCIENTISTS
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10 VANGUARD DRIVE, SUITE 100
READING, PA 19606
PHONE 610/404-7330
FAX 610/404-7371

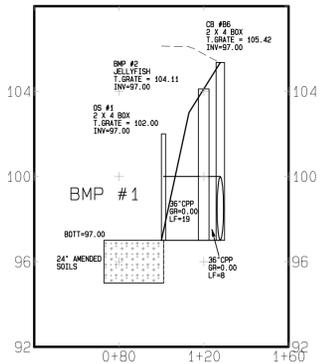
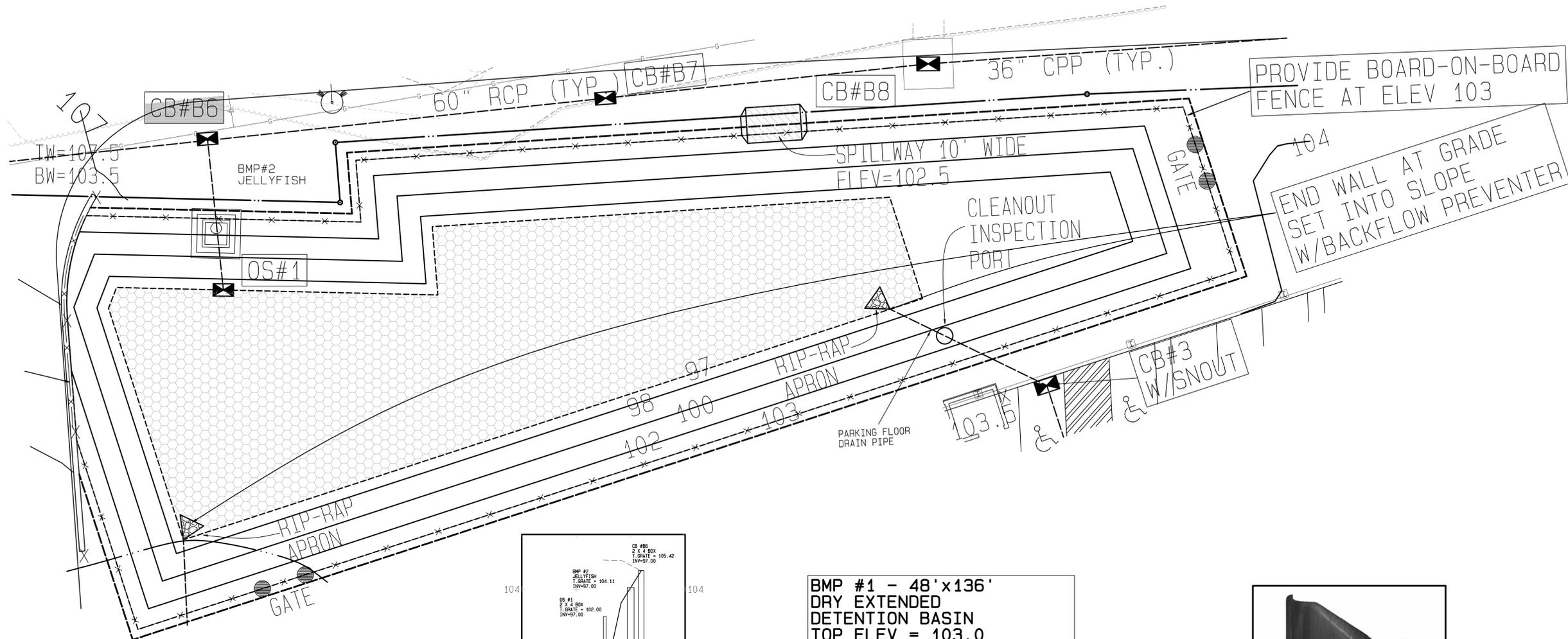
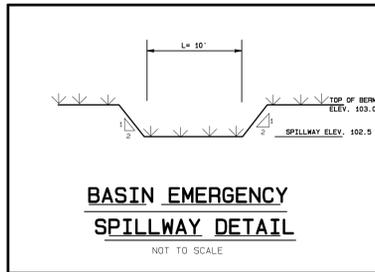
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#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER RVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

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DRAWN	COMP (BNDY)	COMP (LOT)	PA ONE CALL DATE	COMPUTER FILE
TCD				C:\Users\whurd\Desktop
9-25-20				
SCALE	TAX MAP PARCEL		DRAWING NUMBER	
1"=10'			D-7701520	SHEET 15 OF 30

Project: Steel - Path: C:\Users\whurd\Desktop\811\20203041163.dwg PLOT Date/Time: Wed Jan 19, 2022 / 10:55:30

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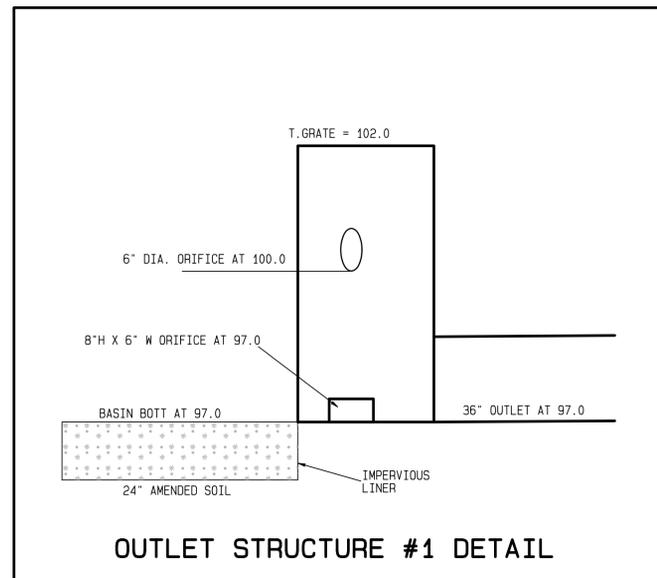
STORM SEWER PROFILE OS#1 TO CB #B6
SCALE: VERT. 1"=4'
HORIZ. 1"=40'

BMP #1 - 48'x136'
DRY EXTENDED
DETENTION BASIN
TOP ELEV = 103.0
BOTT. ELEV = 97.0
BOTT. AREA = 4645 SQ.FT.



STORMWATER BACKFLOW PREVENTOR
(RED VALVE SERIES 35-1)
N.T.S.

NOTE:
WRAP ENTIRE BMP#1 SYSTEM WITH IMPERVIOUS LINER



SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA



10-30-20
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NPDES APPLICANT :

STEELWORKS ACQUISITION, LP
184 BRIDGE STREET
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PHONE: 610-415-1699

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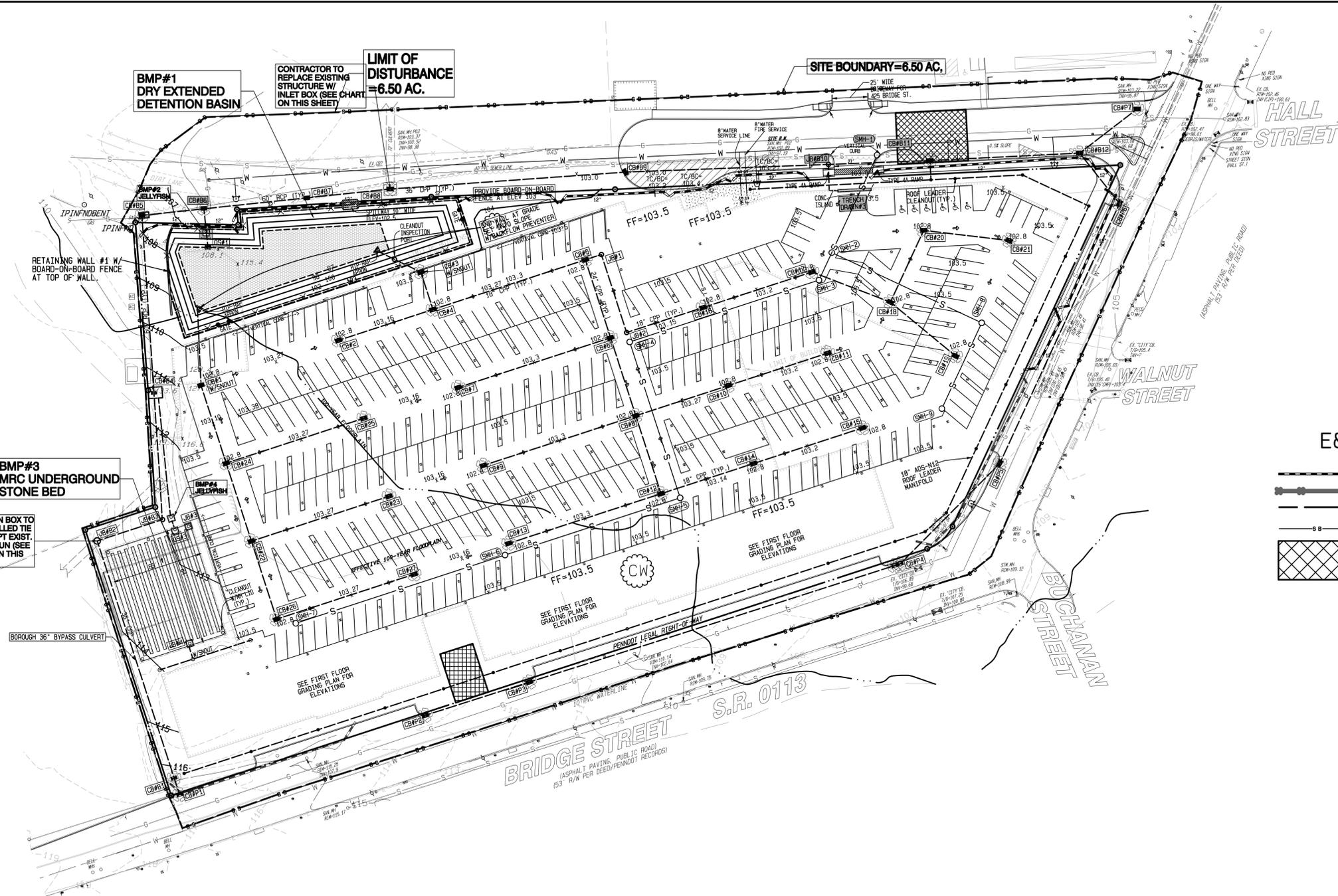
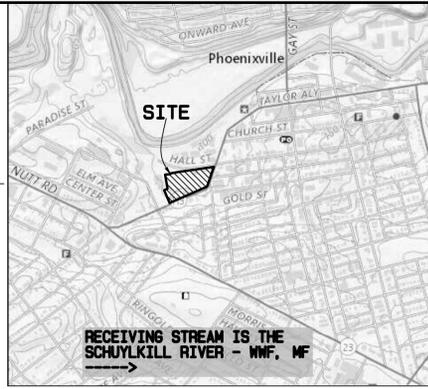
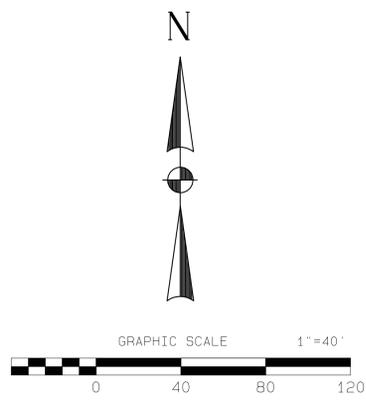
BMP PLANS
and
DETAILS - 2

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SCALE	TAX MAP PARCEL					CALL DATE			
1"=10'									C:\Users\whurd\Desktop
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Soils on site are:
 Urb - Urban land, 0-8% slopes
 UrbB - Urban land - Penn complex, 0-8% slopes

SOIL LIMITATIONS	SOIL RESOLUTIONS	Urb	UrbB (Penn soils used)
Outbanks Cave	Layback slopes - follow OSHA rules for safety	---	X
Corrosion to Concrete/Steel	Corrosive resistant concrete - protective barrier between water and the steel - galvanized steel	---	C
Droughty	Compost mix to hold in moisture	---	X
Easily Erodible	Maintain erosion control BMPs	---	---
Flooding	Layback slopes/design for conditions	---	---
Depth to Saturated Zone/Seasonal High Water Table	Pumped water filter, footer drains	---	---
Hydrochloric inclusions	Avoidance, pumped water filter bags, trench plugs	---	X
Low Strength/Landslide Prone	Drainage ditch, pumped water filter bag	---	X
Slow Percolation	Maintain erosion control BMPs	---	---
Piping	Trench plugs	---	X
Poor Source of Topsoil	Avoid reuse as topsoil or amend as necessary	---	X
Frost Action	Construct below frost depths/positive subgrade	---	X
Shrink-Swell	Provide positive drainage	---	---
Ponding	Design for conditions - drainage trenches, pumped water filter bag, sump pumps, footer drains	---	---
Witness	Trench plugs	---	---
Depth to Restrictive Layer	Test to determine depth, design for conditions	---	---

Urban lands are not rated for most categories therefore no soil limitations appear. UrbB - Penn complex limitations were determined by Penn soils. However, the following common-sense soil resolution items should be followed.

In the event groundwater is encountered, the contractor shall employ measures of the "pumped water details" as shown on the plan.

If bedrock is encountered, notify Design Engineer immediately. Changes may need to occur to the plan. The conservation district must be informed of any changes.

Excavation walls may be unstable. Contractor shall ensure that proper shoring methods and OSHA safety procedures are utilized to keep workers safe.

Contractor must ensure that areas that have been disturbed will be immediately stabilized with erosion control blanket, stone or whatever is called out in the construction sequence. Keep hay bales in readiness for emergencies.

Soil will require restoration/amendment to obtain optimum vegetative growth.

BMP#3 MRC UNDERGROUND STONE BED

JUNCTION BOX TO BE INSTALLED TO INTERCEPT EXIST. STORM RUN (SEE CHART ON THIS SHEET)

LIMIT OF DISTURBANCE = 6.50 AC.

CONTRACTOR TO REPLACE EXISTING STRUCTURE W/ INLET BOX (SEE CHART ON THIS SHEET)

SITE BOUNDARY = 6.50 AC.

NOTE:
 RETAINING WALL DESIGN PLANS AND CALCULATIONS MUST BE PROVIDED FOR REVIEW BY THE BOROUGH ENGINEER PRIOR TO CONSTRUCTION.

CRITICAL STAGES:

A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP#1 DRY EXTENDED DETENTION BASIN AND BMP #2 JELLYFISH WATER QUALITY TREATMENT DEVICE.

A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP #3 MRC UNDERGROUND STONE BED WITH PIPING AND BMP #4 JELLYFISH WATER TREATMENT DEVICE.

NPDES APPLICANT :
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EROSION & SEDIMENTATION POLLUTION CONTROL PLAN

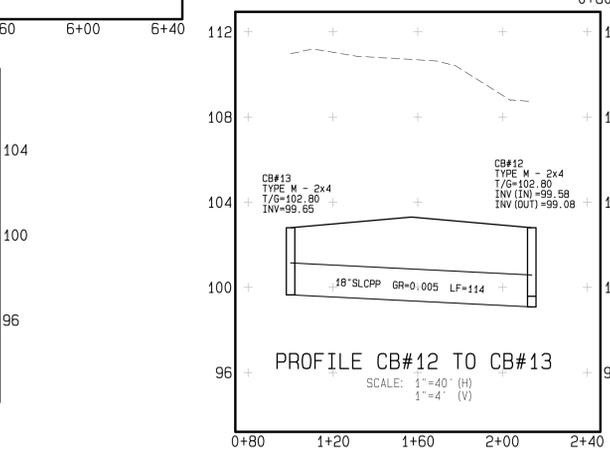
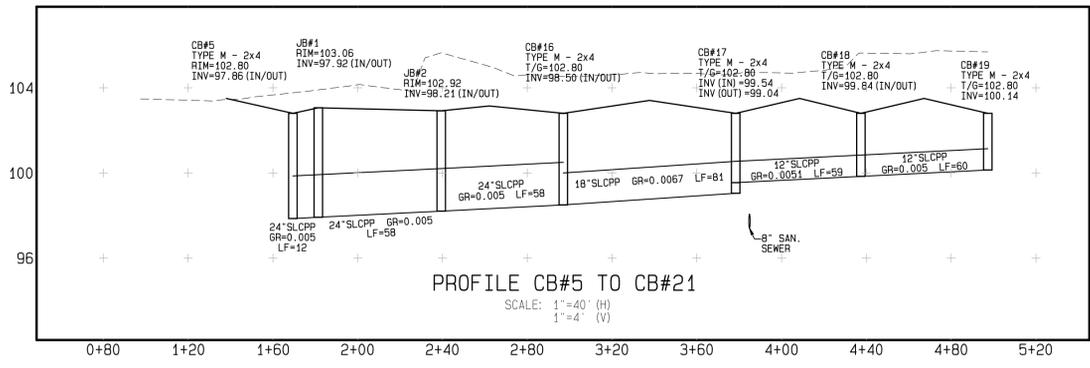
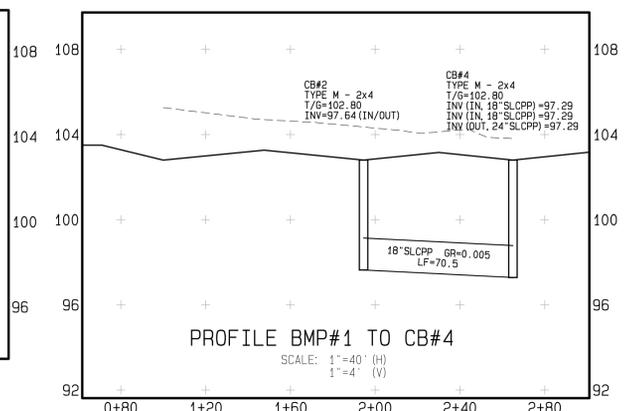
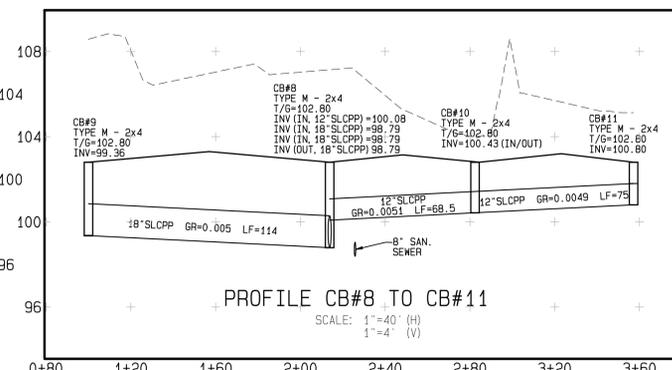
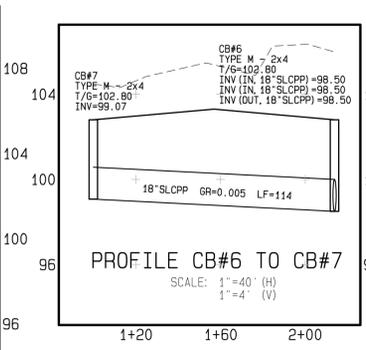
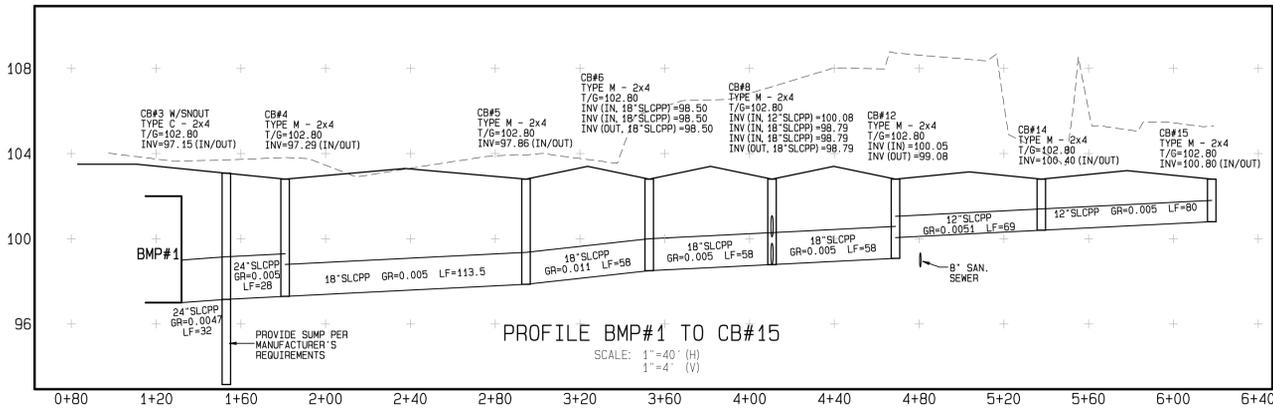
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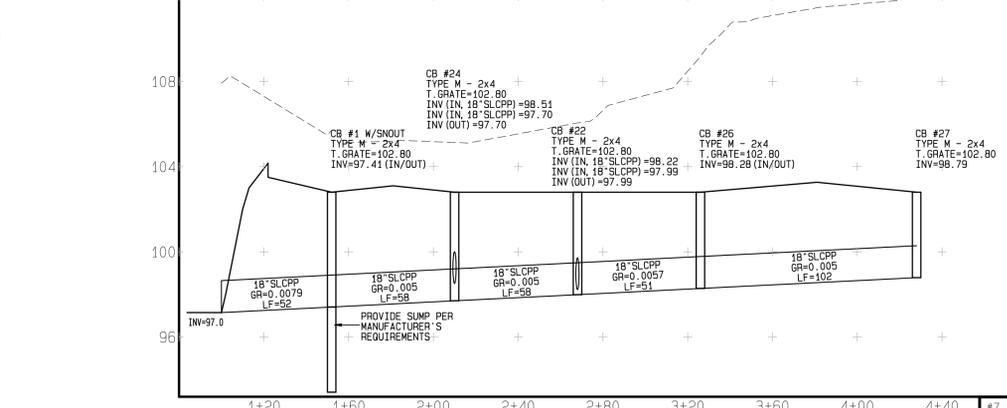
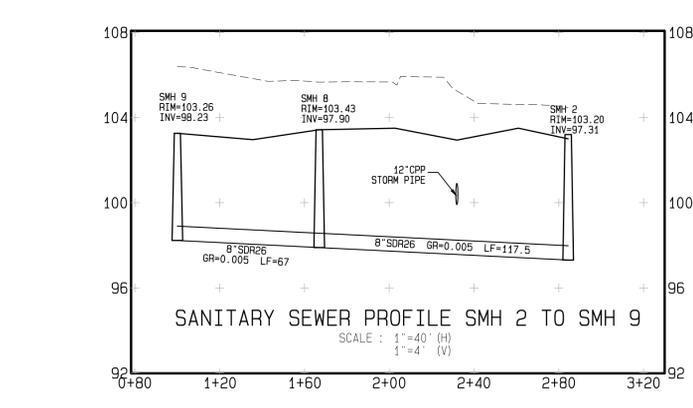
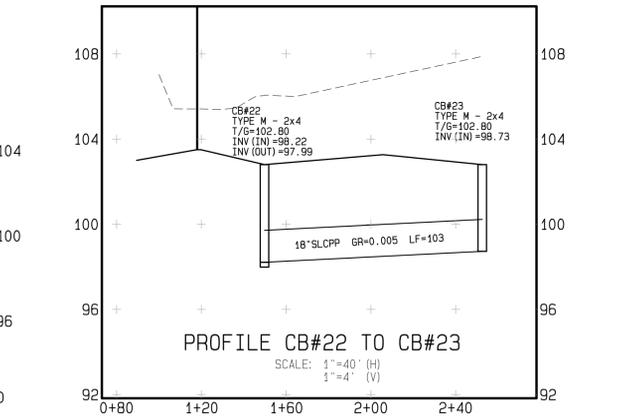
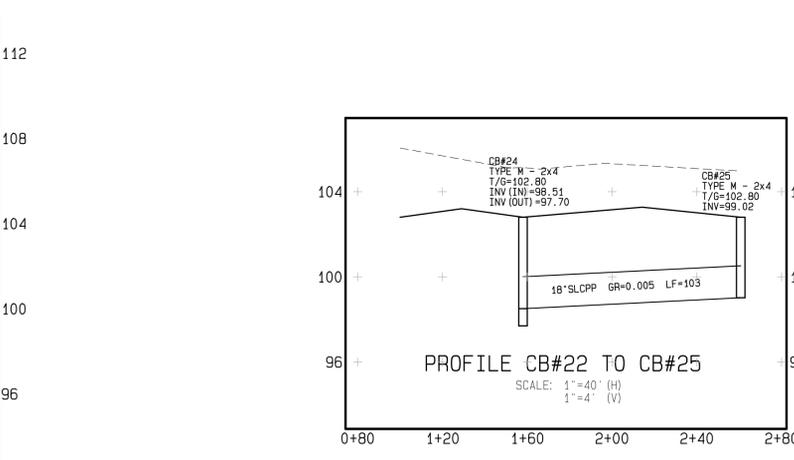
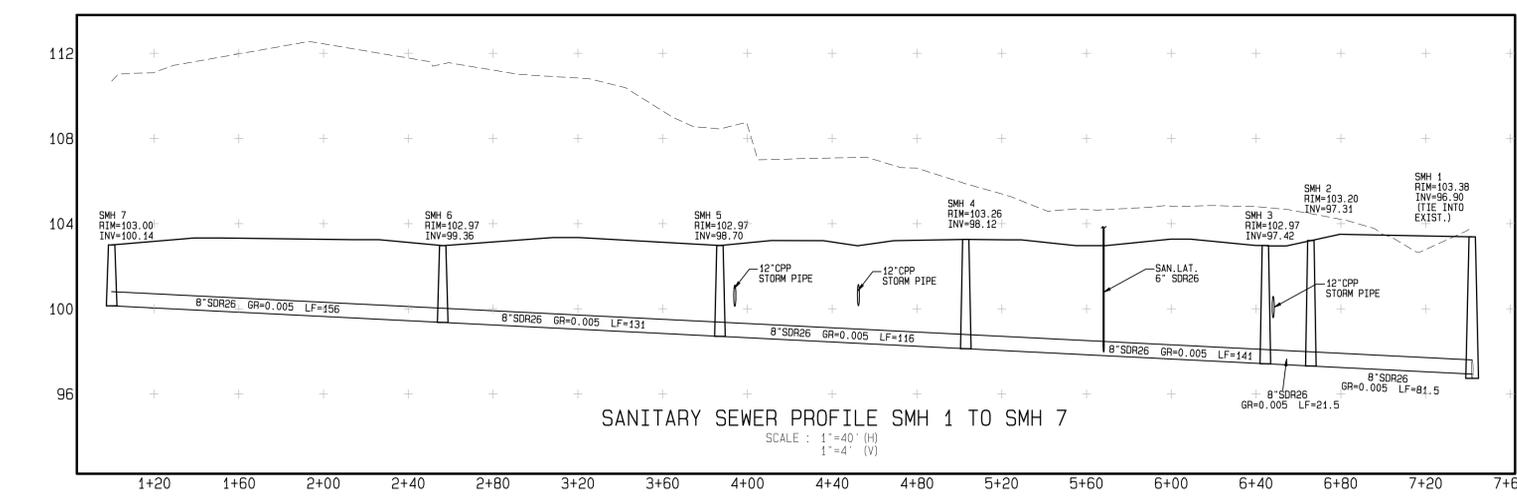
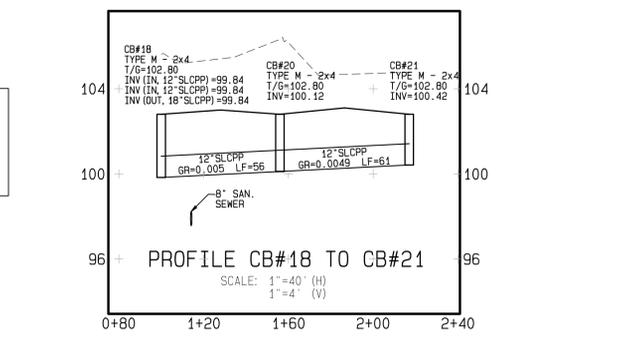
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9-25-20		9-25-20		9-25-20		9-25-20		D-7701520 SHEET 18 OF 30	
SCALE 1"=40'		TAX MAP PARCEL		DRAWING NUMBER		D-7701520 SHEET 18 OF 30			

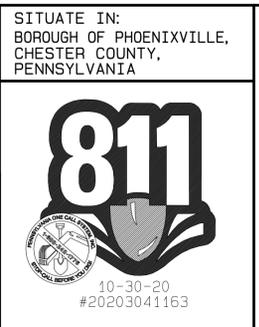
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NOTE:
water mains and gas mains will need to be relocated to facilitate the proposed storm sewer



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SITUATE IN:
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PROFILES - 1

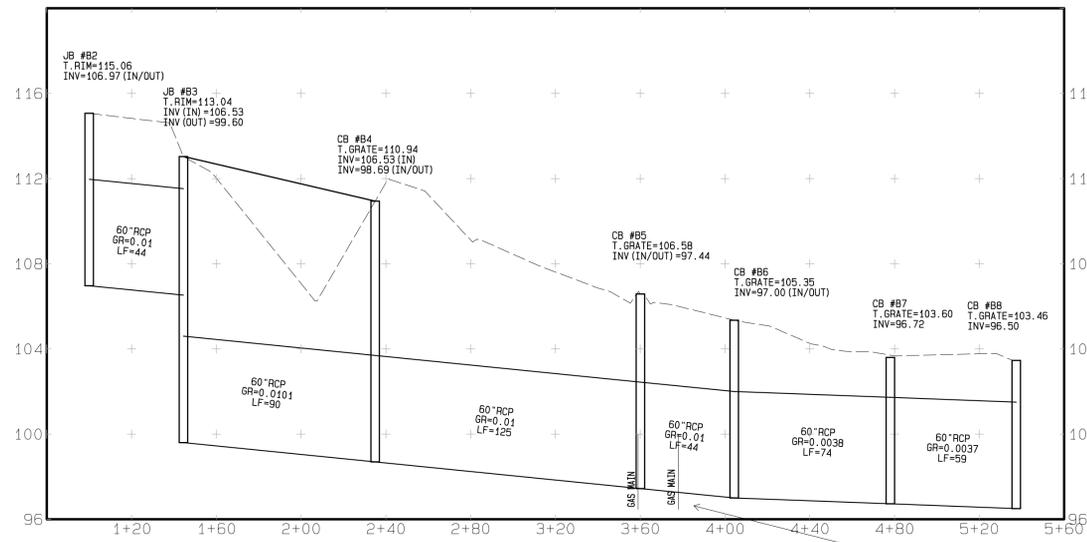
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SCALE 1"=40'	TAX MAP PARCEL	DRAWING NUMBER D-7701520	SHEET 19 OF 30		

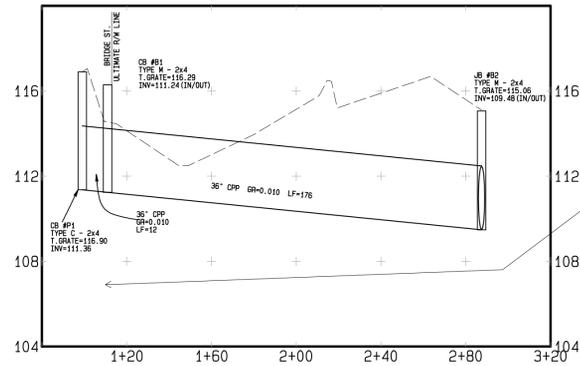
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BY-PASS STORM SEWER PROFILE JB #B2 TO CB #B7

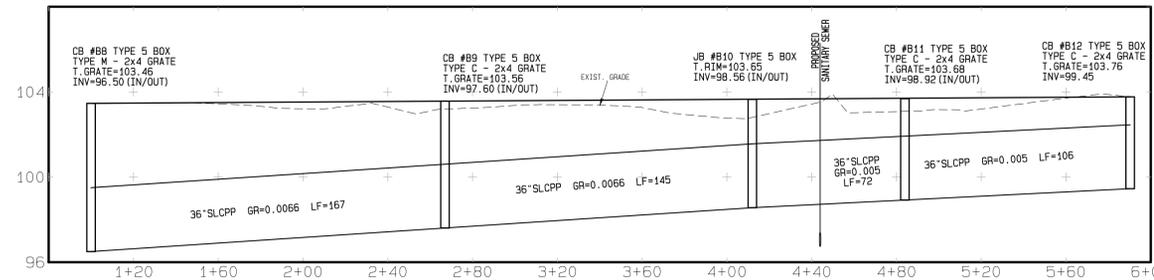
SCALE: VERT 1"=4'
HORIZ 1"=40'

EXISTING GAS AND WATER LINE TO BE RELOCATED; SEE NOTE THIS SHEET



CB #P1 TO JB #B2 PROFILE

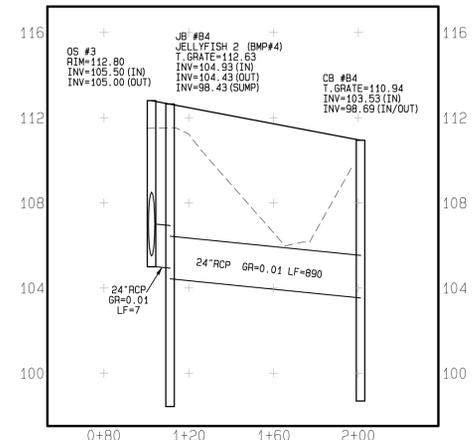
SCALE: 1"=40' (H)
1"=4' (V)



BY-PASS STORM SEWER PROFILE CB #B8 TO CB #B12

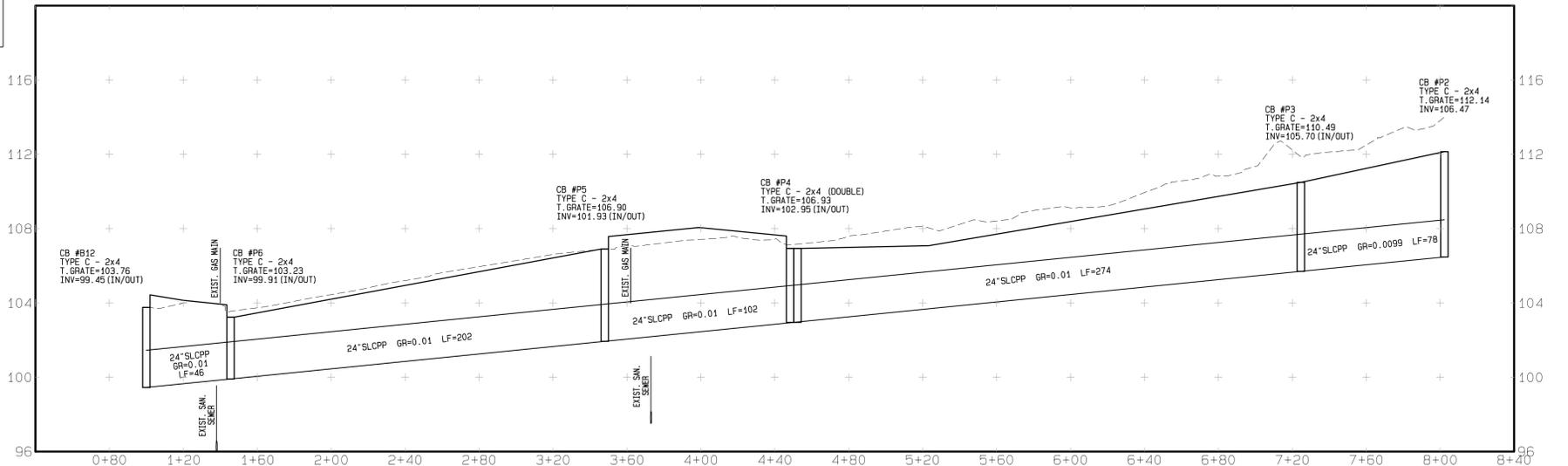
SCALE: VERT 1"=4'
HORIZ 1"=40'

NOTE:
water mains and gas mains will need to be relocated to facilitate the proposed storm sewer



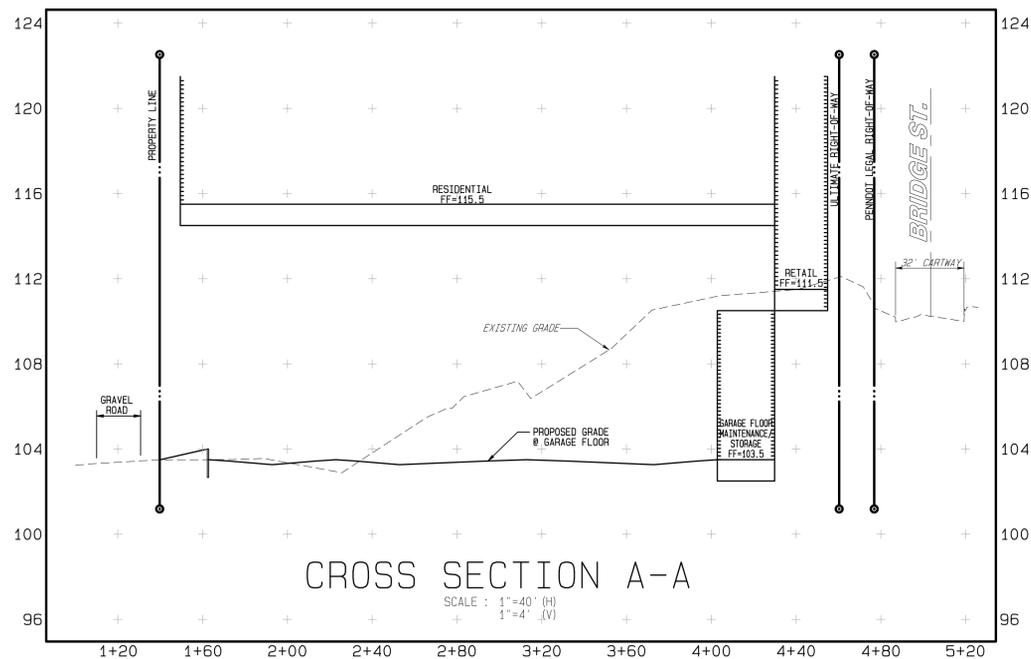
PROFILE OS #3 TO CB #B4

SCALE: VERT 1"=4'
HORIZ 1"=40'



BY-PASS STORM SEWER PROFILE CB #B12 TO CB #P2

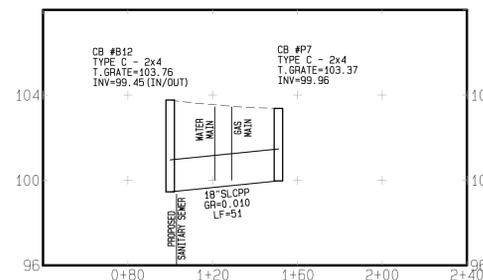
SCALE: VERT 1"=4'
HORIZ 1"=40'



CROSS SECTION A-A

SCALE: 1"=40' (H)
1"=4' (V)

NOTE:
water mains and gas mains will need to be relocated to facilitate the proposed storm sewer



CB #B12 TO CB #P7

SCALE: VERT 1"=4'
HORIZ 1"=40'

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PROFILES - 2

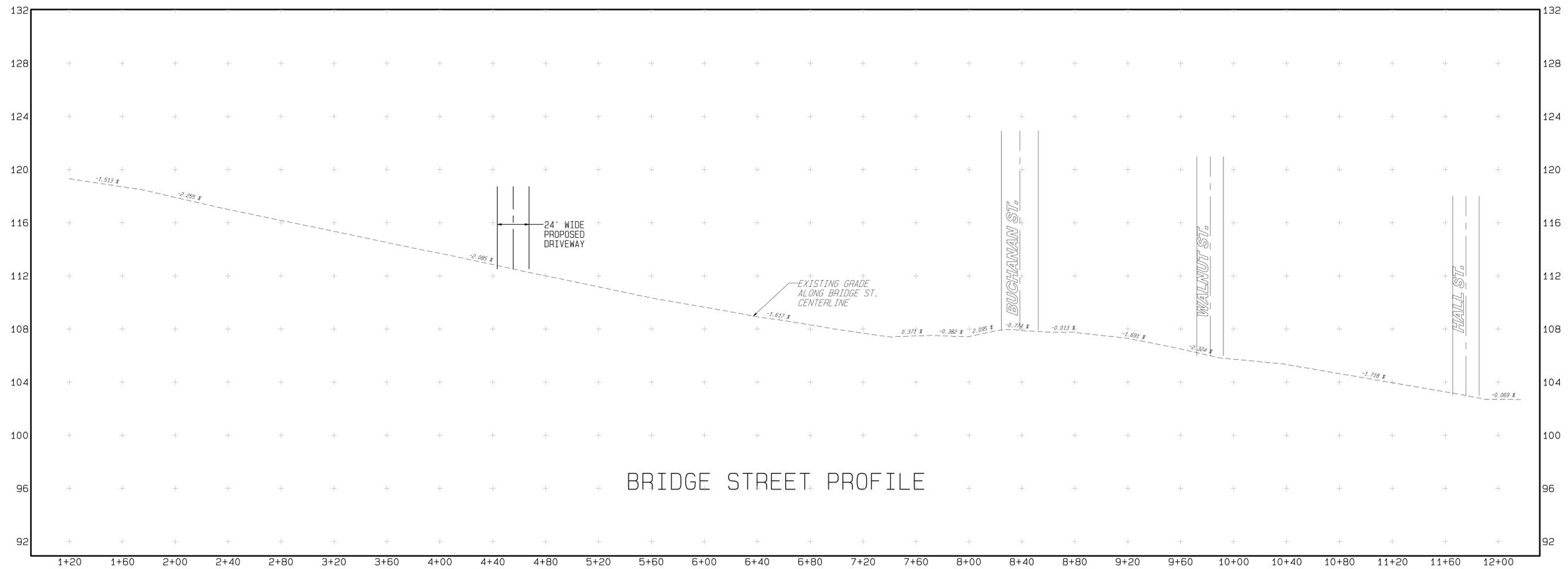
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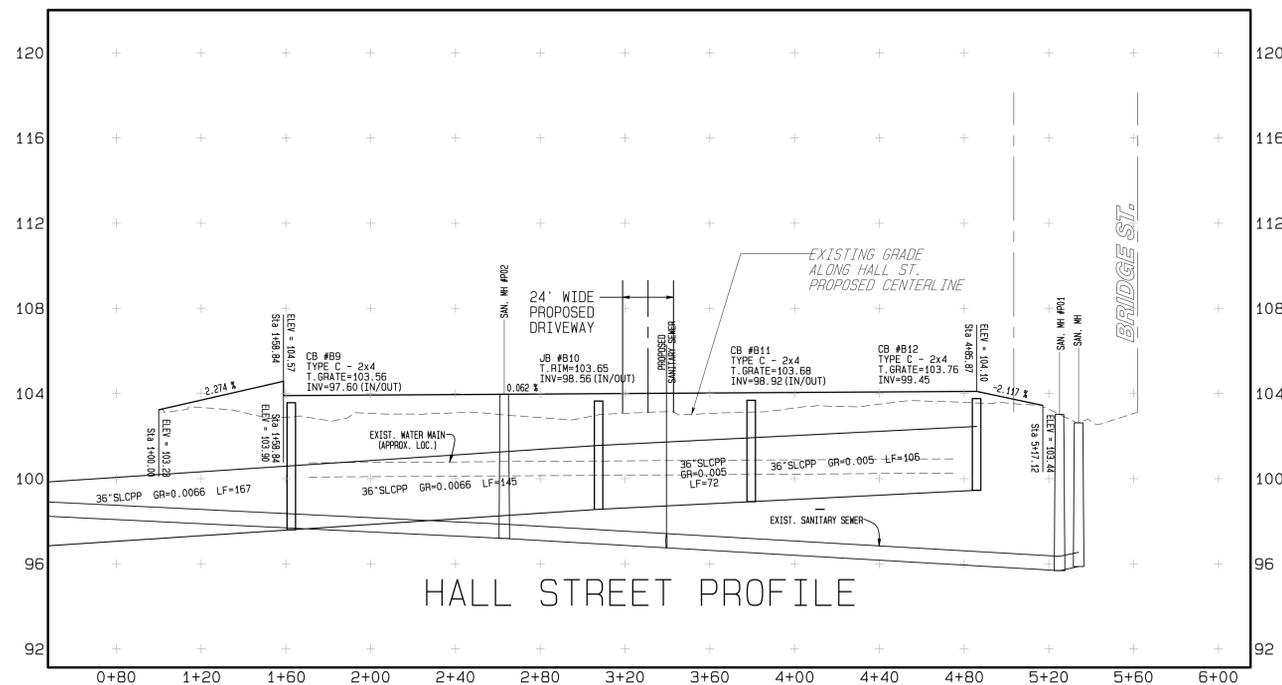
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1"=40'									



BRIDGE STREET PROFILE

NOTE:
water mains and gas mains will need
to be relocated to facilitate the
proposed storm sewer



HALL STREET PROFILE

NPDES APPLICANT :
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PROFILES - 3

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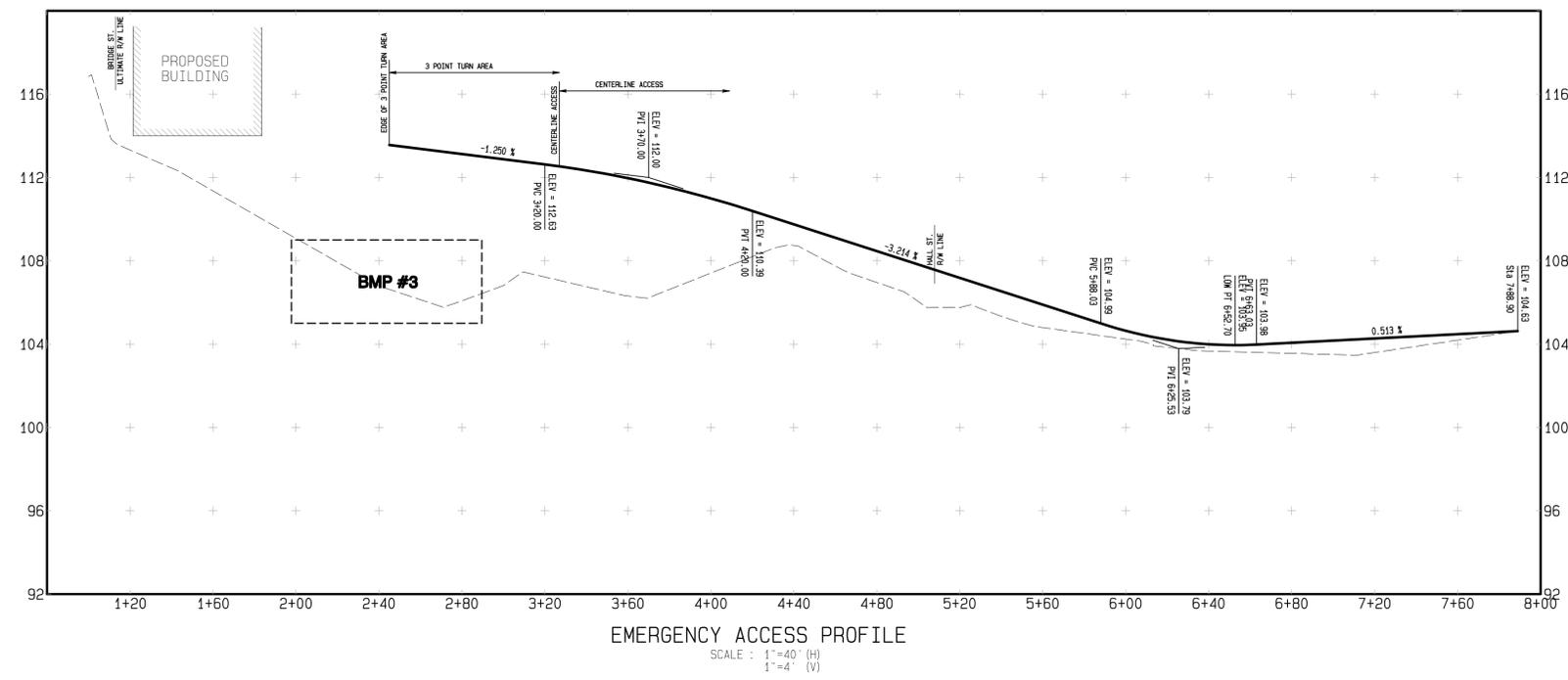
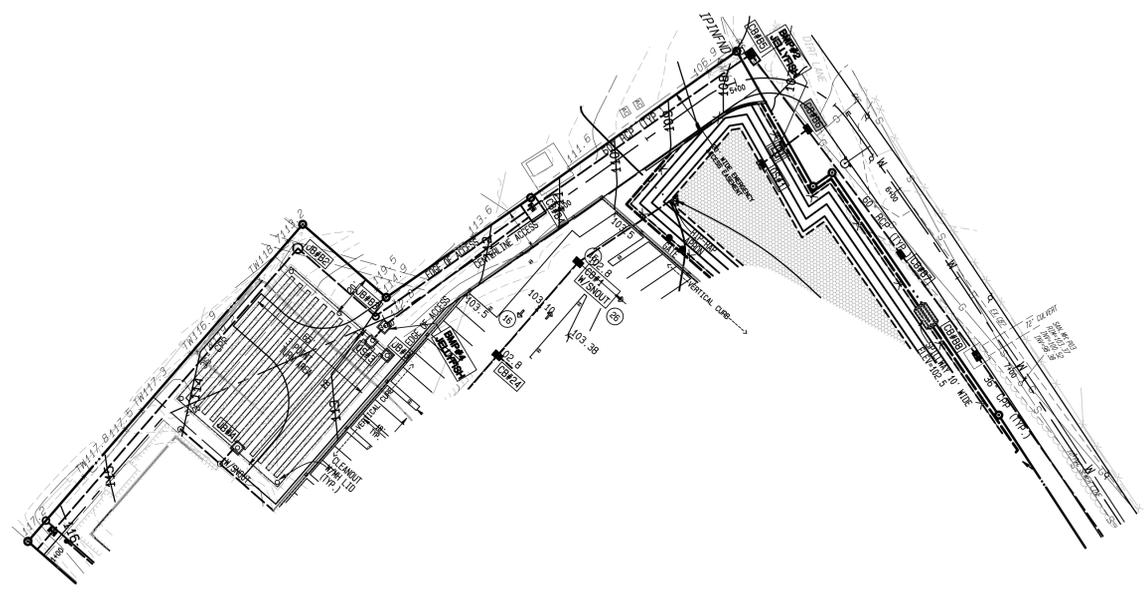
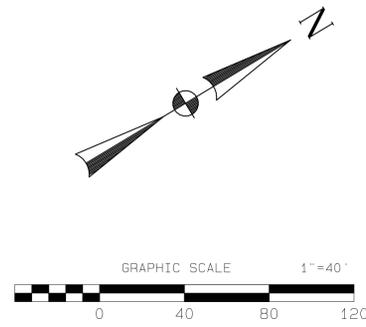
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9-25-20									
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1"=40'									

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EMERGENCY ACCESS PROFILE
 SCALE : 1"=40' (H)
 1"=4' (V)

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 184 BRIDGE STREET
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SCALE 1"=40'	TAX MAP PARCEL	DRAWING NUMBER D-7701520 SHEET 22 OF 30		

R7-8P VAN ACCESSIBLE SIGN

The Van Accessible Sign (R7-8P) may be used as a supplemental sign to indicate that a parking space is available for use by the disabled in accordance with the Americans with Disabilities Act (ADA) and the Department of Transportation's (DOT) regulations regarding the accessibility of public facilities.

One in every eight reserved parking spaces for the disabled, but not less than one, shall be assigned with the R7-8P sign. Where used, the R7-8P sign shall be placed immediately above the Reserved Parking Sign (R7-8).

DIMENSIONS - IN												
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.
12" x 18"	1.4	1.6	0.6	1.0	2.1	4.4	0.4	0.4	0.4	0.4	0.4	BS-1218

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations

R7-8F RESERVED PARKING PENALTIES SIGN

The Reserved Parking Penalties Sign (R7-8F) shall be installed with the Reserved Parking Sign (R7-8). When used, the R7-8F sign shall be placed below the R7-8 sign. In order to improve visibility of signs installed at the front of parking stalls, a standardized height to the bottom of the sign of approximately 3'-6" above the parking stall elevation may be used.

DIMENSIONS - IN													
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.	
12" x 18"	3	10	1	2	3	2.4	2.3	3.6	4.4	4.6	0.4	0.4	BS-1218

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations

R7-8 RESERVED PARKING SIGN

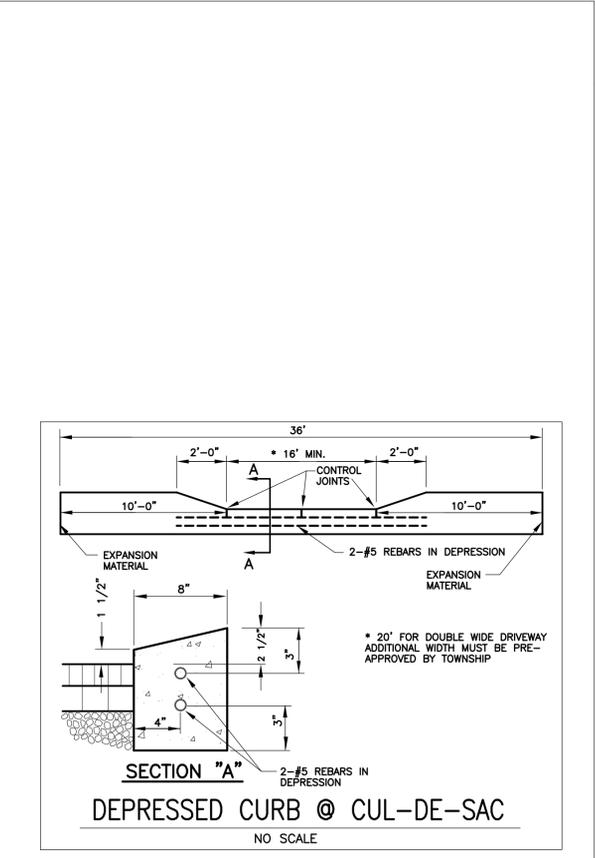
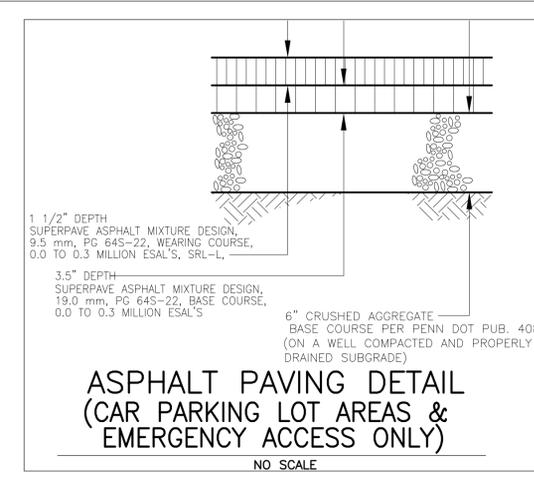
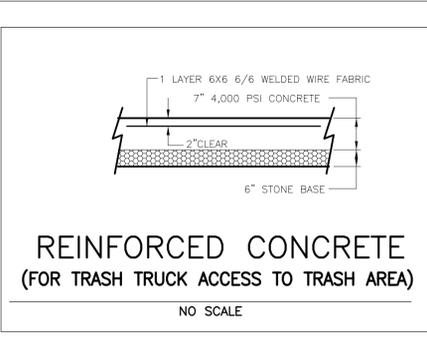
The Reserved Parking Sign (R7-8) is authorized to mark the location of a parking space which is reserved for handicapped persons or severely disabled veterans.

When used, the R7-8 sign should generally be installed at the front of each reserved parking stall except in the case of parallel parking. It should be installed at intervals not exceeding 100' along the side of the stalls. When installed at the front of the parking stalls, the single or double headed arrow may be omitted from the R7-8 sign and the message may be spaced accordingly.

The Reserved Parking Penalties Sign (R7-8F) shall be posted in conjunction with the R7-8 sign. When used, the R7-8F sign shall be placed below the R7-8 sign.

DIMENSIONS - IN														
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.		
12" x 18"	2	20	1	6	1.6	2.4	4.9	4.3	3	0.4	3.8	0.8	0.4	BS-1218

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations



R1-1 STOP SIGN

(a) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection as designated by the Department with reference to State-designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. All intersections where all approaches are controlled by an R1-1 sign, a supplemental ALL-WAY plaque (R1-1P) shall be installed below each R1-1 sign.

(b) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work areas shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.

(c) Size. The standard size R1-1 sign shall be 30" x 30" for single lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" size shall only be used for alleys with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should show within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign installed back-to-back with it remains within the edges of the R1-1 sign.

DIMENSIONS - IN												
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.
30" x 30"	6	60	8	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	BS-24
36" x 36"	10	100	10	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	BS-30
48" x 48"	16	160	16	1.6	1.6	1.6	1.6	1.6	1.6	1.6	1.6	BS-48

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations

R3-1 NO RIGHT TURN SIGN

(a) Justification. The No Right Turn Sign (R3-1) shall be authorized to prohibit right turns.

(b) Placement. The R3-1 sign shall be placed at the near right-hand corner of the intersection. An auxiliary sign with the same message may be used in advance of the intersection.

(c) Size. The standard size of the R3-1 sign for single lane conventional highways shall be 24" x 24" for post-mounted signs and 30" x 30" for overhead installations. The standard size for multi-lane conventional highways and for expressways shall be 36" x 36". See General Notes for additional guidance.

DIMENSIONS - IN												
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.
24" x 24"	10.5	8.5	1.5	2.6	6.4	2.8	7.4	2	0.4	0.6	0.8	BS-24
30" x 30"	13.2	10.6	1.8	3.2	8.2	3.4	9.4	2.6	0.4	0.8	0.8	BS-30
36" x 36"	15.8	12.8	2.2	3.8	9.6	4.1	11.2	3	0.6	1	0.8	BS-36
48" x 48"	21	17	3	5	13	5.5	15	4	0.8	1.2	0.8	BS-48

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations

R3-2 NO LEFT TURN SIGN

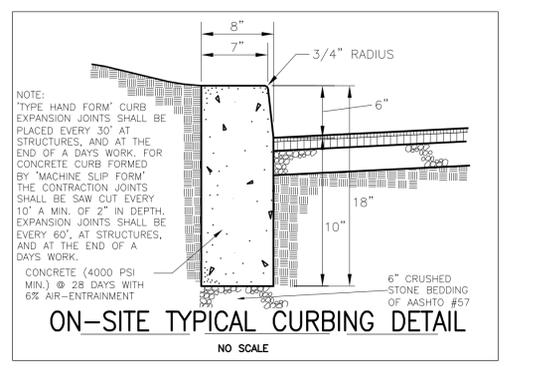
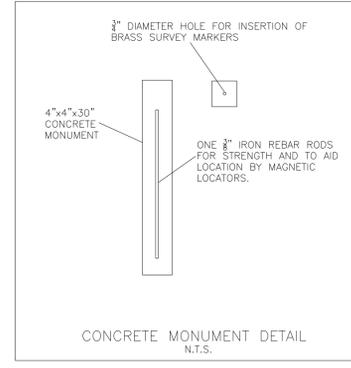
(a) Justification. The No Left Turn Sign (R3-2) shall be authorized for use to prohibit left turns.

(b) Placement. (1) When the R3-2 is used on undivided streets, one sign shall be placed at the near right-hand corner and one at the near left-hand corner. An exception is made when there are overhead traffic signals, in that case the sign on the near right-hand corner shall be eliminated and a sign shall be installed on the roadway near the traffic signal. (2) On divided streets or highways this sign should be placed on both the near side and the far side end of the roadway unless the median width is sufficient to permit the installation of the sign. The signs should then be installed as indicated for undivided streets. When there are overhead traffic signals, the sign on the far side median should be eliminated and a R3-2 sign placed over the roadway near the traffic signal. An auxiliary sign with the same message may be used in advance of the intersection. (3) The R3-2 shall not be used at approaches to roundabouts.

(c) Size. The standard size of the R3-2 sign for single lane conventional highways shall be 24" x 24" for post-mounted signs and 30" x 30" for overhead installations. The standard size for multi-lane conventional highways and expressways shall be 36" x 36". See General Notes for additional guidance.

DIMENSIONS - IN												
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.
24" x 24"	10.5	8.5	1.5	2.6	6.4	2.8	7.4	2	0.4	0.6	0.8	BS-24
30" x 30"	13.2	10.6	1.8	3.2	8.2	3.4	9.4	2.6	0.4	0.8	0.8	BS-30
36" x 36"	15.8	12.8	2.2	3.8	9.6	4.1	11.2	3	0.6	1	0.8	BS-36
48" x 48"	21	17	3	5	13	5.5	15	4	0.8	1.2	0.8	BS-48

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations



R5-1 DO NOT ENTER SIGN

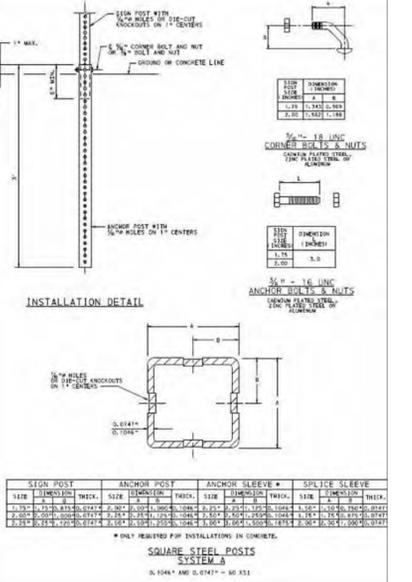
(a) Justification. The Do Not Enter Sign (R5-1) shall be authorized for use to prohibit traffic from entering a restricted road section.

(b) Placement. The R5-1 sign should normally be mounted on the right-hand side of the roadway, facing traffic entering the roadway or ramp in the wrong direction. However, a second sign on the left-hand side of the roadway may be justified, particularly where traffic may be approaching in a turn.

(c) Size. The standard size of the R5-1 sign shall be 30" x 30" for single lane conventional highways, 36" x 36" for multi-lane conventional highways and expressways, and 48" x 48" for freeways.

DIMENSIONS - IN												
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.
30" x 30"	6.6	40	1.9	5	14.6	12.4	9.9	7.9	0.8	0.8	0.8	BS-30
36" x 36"	7.6	50	2.4	6	17.6	15	12.4	9.8	0.8	0.8	0.8	BS-36
48" x 48"	11	60	3	8	23.6	20	14.9	11.8	0.8	0.8	0.8	BS-48

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations

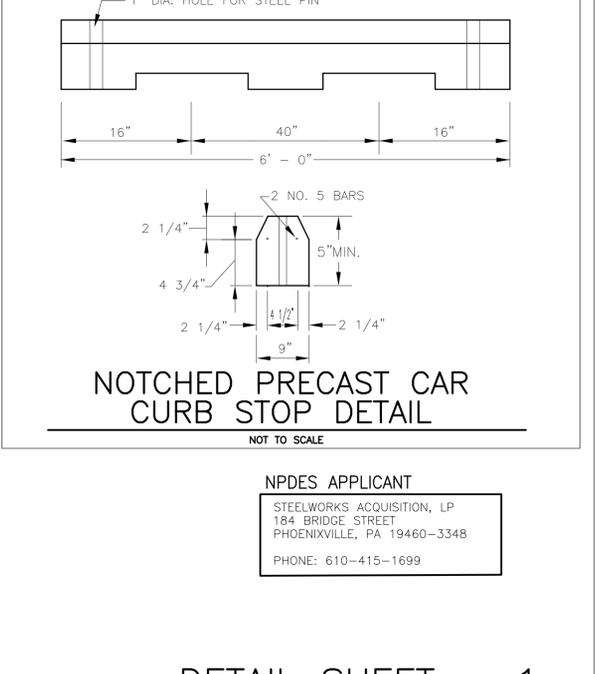
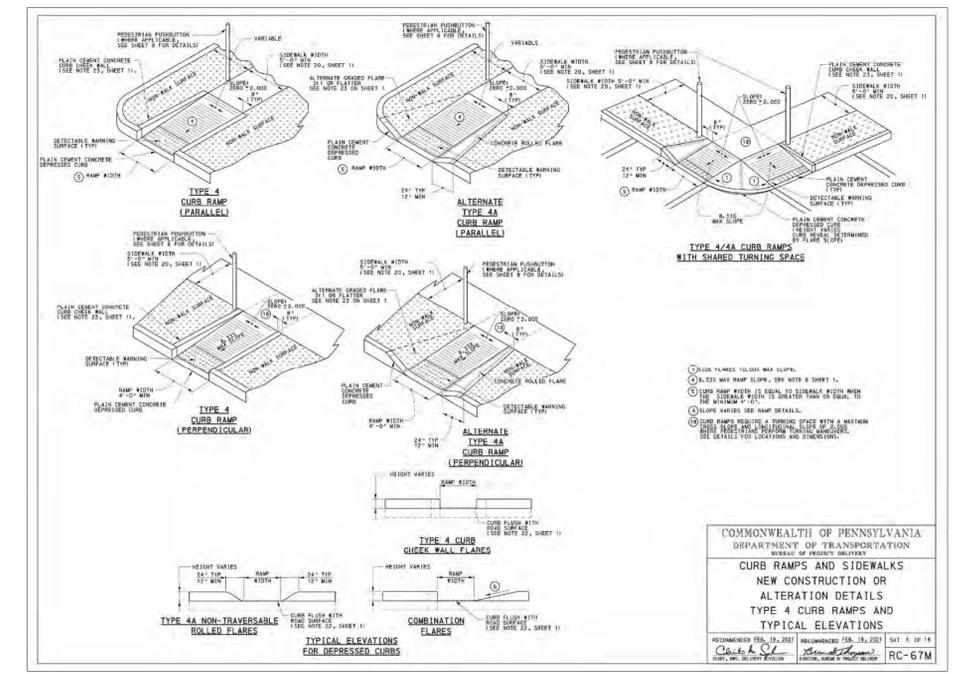


R7-6-1 NO PARKING LOADING ZONE SIGN

The No Parking Loading Zone Sign (R7-6-1) may be used in lieu of a separate No Parking Symbol Sign (R7-6) and a No Parking Loading Zone Plaque (R7-6-1P) to prohibit parking over curb space in relation to loading and unloading commercial vehicles.

DIMENSIONS - IN													
SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	MAX. BORD. DER.	BLANK STD.	
12" x 18"	2	18	1.9	3.8	2.8	0.8	1.4	4.9	1	3.8	2.2	0.4	BS-1218

APPROVED FOR THE SECRETARY OF TRANSPORTATION
By: *C. Reva* Date: 02-29-12
Chief, Traffic Engineering and Permits Section
Bureau of Maintenance and Operations



SQUARE STEEL POSTS SYSTEM

NO. 1: WHITE (REFLECTORIZED)
NO. 2: RED (REFLECTORIZED)
NO. 3: BLACK (NON-REFLECTORIZED)

LEGEND	APPROVED FOR THE SECRETARY OF TRANSPORTATION
NO. 1: WHITE (REFLECTORIZED)	By: <i>C. Reva</i> Date: 02-29-12
NO. 2: RED (REFLECTORIZED)	Chief, Traffic Engineering and Permits Section
NO. 3: BLACK (NON-REFLECTORIZED)	Bureau of Maintenance and Operations

SQUARE STEEL POSTS SYSTEM

NO. 1: WHITE (REFLECTORIZED)
NO. 2: RED (REFLECTORIZED)
NO. 3: BLACK (NON-REFLECTORIZED)

LEGEND	APPROVED FOR THE SECRETARY OF TRANSPORTATION
NO. 1: WHITE (REFLECTORIZED)	By: <i>C. Reva</i> Date: 02-29-12
NO. 2: RED (REFLECTORIZED)	Chief, Traffic Engineering and Permits Section
NO. 3: BLACK (NON-REFLECTORIZED)	Bureau of Maintenance and Operations

SQUARE STEEL POSTS SYSTEM

NO. 1: WHITE (REFLECTORIZED)
NO. 2: RED (REFLECTORIZED)
NO. 3: BLACK (NON-REFLECTORIZED)

LEGEND	APPROVED FOR THE SECRETARY OF TRANSPORTATION
NO. 1: WHITE (REFLECTORIZED)	By: <i>C. Reva</i> Date: 02-29-12
NO. 2: RED (REFLECTORIZED)	Chief, Traffic Engineering and Permits Section
NO. 3: BLACK (NON-REFLECTORIZED)	Bureau of Maintenance and Operations

REVISION	DATE	DESCRIPTION
#7 WAH	1/19/22	
#6 TCD	11-17-21	
#5 TCD	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	7/28/21	PER RVE REVIEW OF 06-03-21
#2 TCD	3/18/21	LAYOUT CHANGES
#1 TCD	11/17/20	LAYOUT CHANGES

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA

DETAIL SHEET - 1

STEELWORKS

Ludgate Engineering Corporation
ENGINEERS SURVEYORS PLANNERS ENVIRONMENTAL SCIENTISTS

THOMAS BRYAN LUDGATE
REGISTERED PROFESSIONAL ENGINEER
PE#76995

LINCOLN CORPORATE CENTER
10 VANGUARD DRIVE, SUITE 100
READING, PA 19606
PHONE 610/404-7330
FAX 610/404-7371

DRAWN	COMP(ENR)	COMP(LOT)	COMPUTER FILE
PSR			C:\USER\TOM\DRAWING\DESKTOP\HOMEWORK 10-20-20\STEELWORK
5-30-17			
SCALE	MAP		DRAWING NUMBER
AS NOTED			0-7701520 SHEET 24 OF 30

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EROSION AND SEDIMENT POLLUTION CONTROL PLAN
1. Objectives
 Phenixville Borough, Chester County, PA
 Ludgate Engineering Corporation
 1000 Reading Drive, Suite 100
 Reading, PA 19606-3763
 Phone: (610)404-7330

Plan prepared by: Ludgate Engineering Corporation
 Pennsylvania College of Technology
 Dates of Attendance: From 2007 to 2011
 Degree received: Bachelor of Science in Civil Engineering

Recent Erosion and Sedimentation Control Plans Prepared:
 Name of Project: Gateway West
 Name of Client: Gateway West
 Municipality: City of Reading

and
 Patricia Follweiler
 Environmental Project Manager, LEED AP
 B.S. Geography
 Shippensburg State College
 E&S/Stormwater services

Recent Erosion and Sedimentation Control Plans Prepared:
 Name of Project: 649W 4th St - Hope Rescue Mission
 Municipality: City of Reading
 County: Berks

Under direct supervision of Thomas B. Ludgate, PE, PLS, LEED AP
 PROJECT NARRATIVE:
 The proposed project is the construction of an apartment/residential complex with parking. Retain will be located on the ground and (375) residential units above retail space.

The Site Boundary is 6.5 acres and the Limit of Disturbance 6.5 acres.
 Land Use: Land use the past 50 years has been industrial and residential. Land use the past 5 years has been as vacant land and residential use. The proposed use is an apartment/retail complex with parking.

E&S BMPs to be used:
 1. Temporary siltation fences – will be used to reduce tracking of sediment onto roadways by construction vehicles.
 2. Compost socks will be used to control sediment drainage of temporary topsoil stockpiles and downslope of all earth-moving activity. These will filter sediment-laden surface runoff prior to its discharge from the site.

3. Temporary topsoil stockpiles – each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter. Topsoil from stockpiles is to be used to complete the finish grading of all exposed areas that are to be stabilized by vegetation.

4. Concrete washouts – this provides a dedicated place to conduct washouts from concrete trucks and wheel washers as well as paint equipment, etc. – no discharge into stormwater facilities, wetlands or streams. When work is completed, concrete washout will need to be removed and contents disposed of properly.
 5. A Pumped Water Filter Bag – this may be required if water appears where it is not wanted. The pumped water filter bag will collect the water and reuse it over a vegetated area to empty the ecovetted area.

6. Inlet Protection – used to protect storm sewer inlets whenever the sewer system does not discharge into a functioning sediment basin or trap. Inlet protection should be maintained until all earthwork within the tributary drainage area has been completed and stabilized.
 7. Riprap Pad – placed at end of pipes to dissipate flow strength, reducing erosion and surface erosion protection from erosion thereby reducing sediment pollution.

8. Erosion control blankets – rolls of natural and artificial materials that are placed on slopes and within swales/ditches to protect disturbed soil from erosion and sediment pollution. Blankets are distributed so that erosion control contact with the soil.

9. Rock Filter – Rock Filters are used to address problems with concentrated stormwater to sediment basins. It is also used when a sediment barrier has failed due to an unanticipated concentrated flow.

10. Drainage construction fencing, staking and flagging – this is not a true BMP but it does serve to delineate the work area boundary and keep construction equipment from accessing areas that are to be protected.

MANAGED RELEASE CONCEPT: Managed Release Concept (MRC) is a post-construction stormwater management (PCSM) strategy that comprises the collection, management, and filtration of captured runoff through best management practices (BMPs) that prevent sedimentation and includes release of a portion of the captured runoff through an infiltration with the BMP. The MRC is intended to be used for project areas or subareas where infiltration is considered not feasible to meet regulatory requirements under 8102a.6(g)(2). If the MRC BMP is not vegetated, then pretreatment is required to meet water quality requirements.

PCSM BMP #1 – Dry Extended Detention Basin
 BMP #2 – Wetland Filter Stormwater Treatment Device
 BMP #3 – MRC Underground Stone Bed with Piping
 BMP #4 – Jellyfish Filter Stormwater Treatment Device

1. Dry Extended Detention Basin – an earth structure that provides temporary storage of runoff and functions hydrologically to attenuate stormwater runoff peaks.
 2. MRC Underground Stone Bed with Piping – an underground structure that provides temporary storage of runoff and functions hydrologically to attenuate stormwater runoff peaks and reduce erosion.
 3. Jellyfish Filter Stormwater Treatment Device – a stormwater device that filters and collects stormwater until the stormwater reaches a certain level prior to releasing.

Maintenance of each BMP – Inspection Schedule and Log File
 Maintenance shall include inspections of all erosion and sediment BMPs conducted weekly, and within 24 hours after each measurable rainfall event of 0.25 inch per 24 hours throughout the duration of construction.

All preventative and remedial maintenance work, including clean out, repair, replacement, re-mulching and re-planting, must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications to those installed will be required.

A log showing dates that E&S BMPs were inspected, as well as any deficiencies found, and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.

E&S Plan minimizes the extent and duration of earth disturbance. We have sequenced the construction with appropriate temporary stabilization methods to minimize the duration of the earth disturbance.
 In no case shall an area exceeding 15,000 square feet, which is to be stabilized by vegetation, reach final grade without being seeded and mulched.

Immediately after earth disturbance activities cease in any area or subarea of the project for a period exceeding 4 days, the operator shall stabilize all disturbed areas. The site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not of finished grade, which will be reworked within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reworked within 1 year shall be stabilized in accordance with the permanent stabilization specifications.

Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S Plan.

The entire limit of disturbance boundary must be identified and made visible with stakes, flagging or orange construction fencing prior to beginning work. All work and equipment must remain inside this boundary.

E&S Plan minimizes soil compaction. The entire limit of disturbance boundary must be identified and made visible with stakes, flagging or orange construction fencing prior to beginning work. All work and equipment must remain inside this boundary.

E&S Plan utilizes other measures or controls that prevent or minimize generation of increased stormwater runoff. Immediately after earth disturbance activities cease in any area or subarea of the project for a period exceeding 4 days, the operator shall stabilize all disturbed areas. The site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation pending future earth disturbance activities. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not of finished grade, which will be reworked within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reworked within 1 year shall be stabilized in accordance with the permanent stabilization specifications.

Install rock construction entrance, compost socks, erosion control blankets and inlet protection as shown on plan.
 Anticipated construction wastes:
 Anticipated construction wastes are existing asphalt/concrete materials as well as normal construction materials that are to be disposed of.

Anticipated construction wastes are normal construction materials during building.

E&S Plan minimizes soil compaction. The entire limit of disturbance boundary must be identified and made visible with stakes, flagging or orange construction fencing prior to beginning work. All work and equipment must remain inside this boundary.

building.
 During clearing and grubbing, limbs, wood, etc. can be chipped & placed within the limit of disturbance for future use. If not required for an emergency E&S problem, wood chips can be used later.
 Topsoil should be placed on its own stockpile for later use.
 Construction wastes include concrete which accumulates in concrete washout (cleans-out) bins. The concrete washout will be handled as required.
 Wood used as concrete forms, etc. will need to be disposed of properly.
 Also dispose of bricks, possibly at a clean fill site. Check with the conservation district first.
 All trash must be removed from the site and properly disposed.
 Plastics/papers removed from stacks of materials, etc., must be disposed of properly. Steel banding must be separated and recycled.

A PFC (Preparation, Prevention and Contingency) Plan should be prepared by contractor. Workers on site must be aware of the PFC plan and the items that should be followed to avoid or minimize spill of workers and downstream, especially wetways and the general public.
 All BMPs should be checked on a regular basis as well as after 1" rain events.
 Equipment should be checked for oil leakage and/or other contaminants.

Recycling or disposal of materials:
 All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 271.1 and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged of the site.
 Construction wastes include, but are not limited to, excess soil materials, building materials, concrete wash water, sanitary wastes, etc. that could otherwise impact water quality. Steel banding must be separated and recycled.
 Recycling of waste materials must be done where feasible. This includes housekeeping items, materials management and filter cloth. It is important to keep recyclable items out of landfills.
 Building materials and wastes or unused building materials should be recycled.

Wood chips can be spread on site. Wooden boards and leftover materials can be recycled, re-used or properly disposed. Metal items can be recycled. Paper and plastic must be disposed of properly. Concrete washout must also be disposed of properly. Also dispose of bricks, possibly at a clean fill site. Check with the conservation district first. Remove all trash.

Geology/soil conditions addressed:
 There are no known naturally occurring geologic formations or soil conditions that may have the potential to cause pollution during earth disturbance activities. Should any conditions be discovered during construction, the design engineer, the Borough of Phenixville and the Chester County Conservation District shall be notified immediately.

Where potential for pollution identified, measures provided to avoid/minimize or mitigate:
 Curbstone Concrete/Steel – use Corrosive resistant concrete – protective barrier
 Droughty – between water and the steel – galvanized steel
 Easily Erode – Maintain erosion control BMPs
 Hydrolytic Inclusions – Avoidance, pump water filter bags, trench plugs
 Low Strength/Landslide Form – Landscape slopes/design for conditions
 Poor Source of Topsoil – Avoid reuse as topsoil or amend as necessary
 Slurry-Swirl – Avoid use of clay soils in building areas

Findings – Landscape slopes/design for conditions
 Depth to Saturated Zone/Seasonal High Water Table – Pumped water filter, sump pumps, holder drains
 Findings – Landscape slopes/design for conditions
 Depth to Saturated Zone/Seasonal High Water Table – Pumped water filter, sump pumps, holder drains
 First Action – Construct below fresh depths/positive subsidence

Thermal impacts addressed:
 In the E&S stage Compost socks, erosion control blankets and inlet protection will be used. A pumped water filter bag will also be used if required.

In the PCSM stage, an MRC underground stone bed with piping BMP and a dry extended detention basin will be used. Plantings of trees and shrubs in amended soil will also mitigate the thermal impact.

Where potential for thermal impacts exists, measures provided to avoid/minimize or mitigate:
 In the E&S stage, use compost socks, erosion control blankets and inlet protection. A pumped water filter bag will also be used if required.
 In the PCSM stage, an MRC underground stone bed with piping BMP and a dry extended detention basin will be used. Plantings of trees and shrubs in amended soil will also mitigate the thermal impact.

Thermal impacts addressed:
 In the E&S stage Compost socks, erosion control blankets and inlet protection will be used. A pumped water filter bag will also be used if required.

In the PCSM stage, an MRC underground stone bed with piping BMP and a dry extended detention basin will be used. Plantings of trees and shrubs in amended soil will also mitigate the thermal impact.

Where potential for thermal impacts exists, measures provided to avoid/minimize or mitigate:
 In the E&S stage, use compost socks, erosion control blankets and inlet protection. A pumped water filter bag will also be used if required.
 In the PCSM stage, an MRC underground stone bed with piping BMP and a dry extended detention basin will be used. Plantings of trees and shrubs in amended soil will also mitigate the thermal impact.

STREAM CLASSIFICATION:
 The receiving stream is the Schuylkill River and is classified as WF, MF – Warm Water Fishery, Marginal Fishery in the PA Code Chapter 93.

SOIL CLASSIFICATION:
 The soils on site are:
 US – Urban land, 0-8% slopes
 UVB – Urban land – Perm complex, 0-8% slopes

SOIL	SOIL	UVB	UVB
Cultivars/Gene	Leaky/slopes – follow OSHA rules for safety	Composite – concrete – protective barrier between water and the steel – galvanized steel	Composite mix to add structure
Consistent to Concrete/Steel	Composite – concrete – protective barrier between water and the steel – galvanized steel	Composite mix to add structure	Composite mix to add structure
Droughty	Composite mix to add structure	Composite mix to add structure	Composite mix to add structure

SOIL	SOIL	UVB	UVB
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6. Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
 7. All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in compacted bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be stabilized according to the standards of this plan.
 8. An erosion control blanket shall be installed on all disturbed slopes 3:1 or steeper, all areas of concentrated flow, and sediment areas within 50' of a surface water.
 9. Diversion channels, sedimentation basins, sediment traps and stockpiles must be stabilized immediately.

DUST CONTROL MEASURES:
 1. Dust control measures should be implemented on all construction sites where there will be major soil disturbances or heavy construction activity, such as clearing, excavation, demolition, etc.
 2. The owner, operator and contractors are responsible for dust control at a site and will need to determine which practices serve their needs based on specific site and weather conditions.
 3. Sprinkling/Irrigation – sprinkling the ground surface with water until it is moist.
 4. Negative cover – in areas not expected to handle vehicle traffic, vegetative stabilization of disturbed soil is desirable.
 5. Muck – a quick and effective means of dust control for a recently disturbed area.
 6. Wind breaks – barriers (either natural or constructed) that reduce wind velocity through the site. Wind breaks can be trees or shrubs left in place during site clearing or constructed through windbreak fences, tarp curtains, hay bales, crude wall or sediment wall.
 7. Tillage – Deep tillage in large open areas brings soil clods to the surface where they rest of top of dirt, preventing from becoming airborne.
 8. Stone – water can be an effective dust abatement for construction roads and entrances, or as a muck in areas where vegetation cannot be established.

SOIL AMENDMENT AND RESTORATION:
 1. Use soil amendment media. Soil amendment media usually consists of compost, but can include mulch, manures, sand, and manufactured microbial products.
 2. Compost should be added at a rate of 2.1 (soil composition). If a fertilizer product is used, the manufacturer's instructions should be followed in terms of mixing and application rate.
 3. Soil restoration should not take place within the drip line of a tree to avoid damaging the root system.
 4. On-site soil with an organic content of at least 5% percent can be properly stockpiled (to maintain organic content) and reuse.
 5. Spread 3" of approved compost on top of existing soil. Till added soil in existing soil with a rotary tiller set at a depth of 6 inches. Add an additional 4 inches of engineered soil to bring the area up to grade.
 6. After permanent planting/seedling, 2-3 inches of compost blanket will be applied to all areas not covered by vegetation.

7. If additional information is required, refer to the Pennsylvania Stormwater Best Management Practices Manual at <http://www.ehrlibrary.dep.state.pa.us>
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STORMWATER MANAGEMENT REPORT
CONSTRUCTION MANAGEMENT PLAN
 Streets
 Phoenixville Borough, Chester County, PA
 Ludgate Engineering Corporation
 10 Vanguard Drive, Suite 100
 Reading, PA 19606-3763
 Phone: (610)464-1330
 Plan prepared by: Ludgate Engineering Corporation
 Julie Parish
 Pennsylvania College of Podiatry
 Degree received: From 2007 to 2011
 Degree received: Bachelor of Science in Civil Engineering
 Recent Erosion and Sedimentation Control Plans Prepared:
 Name of Project: Gateway West
 County: Berks
 Municipality: City of Reading
 and

building materials and wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
 Construction wastes include, but are not limited to, excess soil materials, building materials, concrete wash water, sanitary wastes, etc. that could adversely impact water quality. Steel banding must be separated and recycled.
 Recycling of waste materials must be done where feasible. This includes housekeeping items, materials management and litter control. It is important to keep recyclable items out of landfills.
 Building materials and wastes or unused building materials should be analyzed.
 Wood chips can be spread on site. Wooden boards and leftover materials can be recycled, re-used or properly disposed. Metal items can be recycled. Paper and plastic must be properly recycled. Concrete washout must also be disposed of properly. Also dispose of bricks, remove all of a clean fill site. Check with the conservation district first. Remove all trash.

All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 27.1 and 28.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
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and/or regional office of the Department. Stockpiles of wood chips, hay bales, crushed stone or other materials shall be held in readiness to be immediately removed if required by the Department.
 5. Until the site achieves final stabilization, all erosion and sediment BMPs shall be maintained properly. The operator shall assure that the best management practices (BMPs) are implemented, operated, and maintained properly and completely. Contracted retaining walls as needed for all erosion and sediment BMPs after each runoff event and on a weekly basis. All the above preventative and remedial work shall be maintained as established by replacement, repairing, re-excavating, re-mulching or re-netting must be performed immediately. The contractor shall be responsible for the maintenance of BMPs, or modifications of those installed will be required. Only after disturbed areas are stabilized with a 70% uniform perennial growth shall the contractor be permitted to remove any erosion control structures.
 6. A log showing dates that E&S BMPs were inspected, as well as any deficiencies found, and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of the inspection.
 7. Sediment must be removed from stormwater inlet protection after each storm event, or when the distance between the grate and the sediment level is equal to 18".
 8. Stormwater inlets, which do not discharge to sediment traps or basins, must be protected until the tributary areas are stabilized.

BORROW/WASTE AREAS/FILL
 1. All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being utilized.
 2. The contractor is responsible for ensuring that any material brought on site is Clean Fill. Form FP-001 must be retained by the property owner for all material affected by a spill or release of a regulated substance but qualifying as Clean Fill due to analytical testing.
 3. If the site will need to import or export material from another site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the contractor. The permittee shall be responsible for the clean fill. The permittee shall be responsible for the clean fill. The permittee shall be responsible for the clean fill.
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PERMANENT SEEDING
 Permanent Seeding – The disturbed areas, drainage channels and swales shall be permanently seeded (stabilized) as follows:
 1. Fertilization – The following shall be spread and worked into topsoil to a depth of 3 to 4 inches:
 Agricultural Lime: 6 tons per acre, 240 lb. per 1,000 sq. ft. or 10–20–20 Fertilizer: 1,000 lb. per acre, 25 lb. per 1,000 sq. ft. or 20 lb. per 1,000 sq. ft.
 2. Temporary Seeding (or mulching in winter) shall be done immediately. Areas that shall be undisturbed for one year shall be permanently seeded. A Grass Seeding Schedule (GSS) shall be prepared and submitted to the County. The GSS shall be prepared and submitted to the County. The GSS shall be prepared and submitted to the County.
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MULCHING SPECIFICATIONS
 1. Seeded areas shall be mulched or barked to minimize potential for failure to establish adequate vegetative cover.
 2. Mulching may also be used as a temporary stabilization of some disturbed areas in non-germinating seasons.
 3. Mulches should be applied as follows:
 1. Straw – 3 tons per acre, 140 lbs. per 1,000 sq. ft. or 1,240 lbs. per 1,000 sq. ft. either whole or cut straw, free of weeds, not chipped or finely broken.
 2. Hay – 3 tons per acre, 140 lbs. per 1,000 sq. ft. or 1,240 lbs. per 1,000 sq. ft. – Timothy, mixed clover and timothy, or other native warm season grasses.
 3. Wood Chips – 4 to 6 tons per acre, 180–275 lbs. per 1,000 sq. ft. or 180–275 lbs. per 1,000 sq. ft. – 2 to 4 inch diameter, free of nails, free of grasses and grubs.
 4. Hydrumix™ – 1 ton per acre, 47 lbs. per 1,000 sq. ft. or 415 lbs. per 1,000 sq. ft.
 5. Straw and hay must be anchored or fastened immediately after application to prevent being windrowed. A tractor-drawn implement may be used to "tine" the straw into the soil – about 2 inches. This method should be limited to slopes no steeper than 3:1V. The machinery should be operated on the contour. Note: Crimping of hay or straw by running over with a roller or heavy machinery is not recommended.
 6. Synthetic biodegradable, or chemical binders, may be used as recommended by the manufacturer to anchor mulch provided sufficient documentation is provided to show they are non-toxic to native plant and animal species.
 7. Mulch on slopes of 8% or steeper should be held in place with netting. Lightweight plastic, fiber, or paper nets may be stapled over the netting according to manufacturer's recommendations.
 8. Shredded paper hydramulch should not be used on slopes steeper than 5:1V. The application rate for any hydramulch should be 2,000 lbs./acre at a minimum.
 9. Where excessive soil erosion, trampling or blowing of sediment is evident or anticipated, a minimum of 4" of crushed stone shall be placed within the affected area and stabilized until permanent stabilization is achieved. Crushed stone shall conform to ASTM designation M43, Size No. 21/2"–2/1"–1/2".
 10. Maintenance – Mulched areas shall be checked periodically and immediately re-seeded or re-mulched as needed. Damaged portions of the mulch or straw/woodchips shall be replaced as soon as discovered.

NOTICE OF TERMINATION
 Upon permanent stabilization of the earth disturbance activity in accordance with the permit conditions and the PCSM BMPs in accordance with § 102.4 and 102.8 (relating to erosion and sediment control requirements) and PCSM requirements), the permittee or co-permittee shall submit a Notice of Termination to the Department or conservation district.
 The Notice of Termination must include:
 1. The facility name, address and location of the disturbed area.
 2. The permit number and address.
 3. The permit number.
 4. The date of termination.
 5. Identification of the persons who have agreed to and will be responsible for long-term maintenance of the PCSM BMPs in accordance with § 102.8(a) and proof of compliance with § 102.8(b)(2).
 Prior to accepting the NOI, the Department and/or conservation district staff will perform a final inspection and approve or deny the Notice of Termination.
 NPDES NOTES:
 The permittee and co-permittee must ensure that visual site inspections are conducted weekly, and after each measurable precipitation event by qualified personnel trained and experienced in erosion and sediment control, to ascertain that the E&S BMPs are operational and effective in preventing erosion. The permittee and co-permittee shall submit a report of each inspection shall be made and include: (1) a summary of site conditions, E&S BMPs, and compliance and (2) the date, time, and name of the person conducting the inspection.
 Upon reduction, loss or failure of the BMPs, the permittee and co-permittee shall take immediate action to restore the BMPs or provide an alternative method of treatment.
 Where E&S BMPs are found to be inoperative or ineffective during construction activity that is authorized by this permit, the permittee shall immediately contact the local County Conservation District, by phone or personal contact, followed by the submission of a written report within 24 hours of the initial contact. The Non-compliance report shall include the following information: (1) any condition on the project site which endangers public health, safety, or the environment, or involve incidents such as erosion or shoreline pollution; (2) the period of non-compliance, including exact dates and times and/or anticipated time when the activity will return to compliance; (3) all steps being taken to reduce, eliminate or prevent recurrence of the non-compliance, and (4) the date or schedule of dates, and identifying remedies for correcting non-compliance conditions.
 Notice of Termination – Where all stormwater discharge associated with construction activity that is authorized by this permit are eliminated, and BMPs identified in the Post-Construction Stormwater Management (PCSM) Plan have been installed, operated, and maintained in accordance with the permit, the permittee or co-permittee shall submit a Notice of Termination (NOT) form that is signed in accordance with Part B.1.c. (Signature Requirements) of this permit to the local County Conservation District.
 The permittee and co-permittee shall retain records of all monitoring information including copies of all monitoring and inspection reports required by this permit, and records of data used to complete the Notice of Intent for this permit, for a period of three years from the date of termination of coverage under this permit.
 PA Code Title 25, Chapter 102.2 requires this chapter requires permittees proposing or conducting earth disturbance activities to develop, implement, and maintain BMPs to minimize the potential for accelerated erosion and sedimentation. The BMPs shall be undertaken to protect, maintain, reclaim, and restore water quality and the existing and designated uses of waters of the Commonwealth.
 NPDES APPLICANT
 STEELWORKS ACQUISITION, LP
 184 BRIDGE STREET
 PHOENIXVILLE, PA 19460-3348
 PHONE: 610-415-1699

Patricia Gallagher
 Environmental Project Manager, LEED AP
 B.A. Geography
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 E&S Stormwater services
 Recent Erosion and Sedimentation Control Plans Prepared:
 Name of Project: 645 N. 6th St. – Hope Rescue Mission
 Municipality: City of Reading
 County: Berks
 Under direct supervision of Thomas B. Ludgate, PE, PLS, LEED AP

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PROJECT NARRATIVE:
 The proposed project is the construction of an apartment/retail complex with parking, located on the ground and (275) residential units above retail. The site boundary is 6.5 acres on the limited and residential use. The site boundary is 6.5 acres on the limited and residential use.

SOIL CLASSIFICATION:
 The soils on site are:
 URB – Urban, C-DR, Slopes
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SOIL LIMITATIONS	SOIL RESOLUTIONS	URB	URB (Permit table read)
Cultivates Care	NO/RESOLUTIONS		X
Corrosion to Concrete/Steel	NO/RESOLUTIONS		X
Depth to Saturated Zone/High Water Table	NO/RESOLUTIONS		X
Hydrologic Hazards	NO/RESOLUTIONS		X
Low Permeability	NO/RESOLUTIONS		X
Phragmites	NO/RESOLUTIONS		X
Poor Source of Topsoil	NO/RESOLUTIONS		X
Frost Action	NO/RESOLUTIONS		X
Shrink/Swell	NO/RESOLUTIONS		X
Potential Sinkholes	NO/RESOLUTIONS		X
Drainage	NO/RESOLUTIONS		X
Windiness	NO/RESOLUTIONS		X
Other/Restrictive Layer	NO/RESOLUTIONS		X

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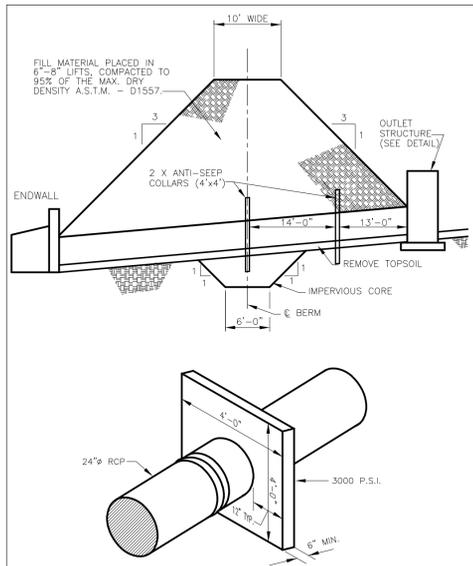
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Frost Action	NO/RESOLUTIONS		X
Shrink/Swell	NO/RESOLUTIONS		X
Potential Sinkholes	NO/RESOLUTIONS		X
Drainage	NO/RESOLUTIONS		X
Windiness	NO/RESOLUTIONS		X
Other/Restrictive Layer	NO/RESOLUTIONS		X

MANAGED RELEASE CONCEPT: Managed Release Concept (MRC) is a post-construction stormwater management (PCSM) strategy that comprises the collection, management, and filtration of captured runoff through best management practices (BMPs) to reduce sediment and other pollutants. A portion of the captured runoff through an underdrain within the BMP. This MRC is intended to be used for project areas or subareas where infiltration is considered not feasible to meet regulatory requirements under § 102.2 (g)(2). If the MRC BMP is not vegetated, then pretreatment is infiltration quality requirements.
 PCSM BMPs to be used:
 BMP #1 – Dry Extended Detention Basin
 BMP #2 – Jellyfish Filter Stormwater Treatment Device
 BMP #3 – JELLYFISH WATER QUALITY TREATMENT DEVICE
 1. Dry Extended Detention Basin – an earth structure that provides temporary storage of runoff and functions hydrologically to attenuate runoff peaks.
 2. MRC Underground Stone Bed with Piping – an underground structure that provides temporary storage of runoff and functions hydrologically to attenuate stormwater runoff peaks – usually containing piping and rocks.
 3. Jellyfish Filter Stormwater Treatment Device – a stormwater device that filters and collects stormwater until the stormwater reaches a certain level prior to releasing.
 Maintenance of each BMP – Inspection Schedule and Log Info:
 Maintenance shall include inspection of erosion and sediment BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance shall be performed as needed. Inspections shall be performed, re-excavating, re-mulching and re-netting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications to those installed will be required.
 A log showing dates that E&S BMPs were inspected, as well as any deficiencies found, and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
 Preserve the integrity of stream channels and maintain and protect the physical, biological and chemical qualities of erosion and sediment BMPs. The Co-1 is being met and downstream watercourses will not be degraded. The Co-2 is being met and downstream watercourses will not be degraded. Compost socks are installed and will collect sediment from stormwater flow.
 Prevent an increase in the rate of stormwater runoff:
 A Dry Extended Detention Basin and an MRC Underground Stone Bed with Piping will prevent an increase in the rate of runoff.
 The previous cover was asphalt, concrete and buildings this is on permanent.
 Minimize any increase in stormwater runoff volume:
 A Dry Extended Detention Basin and an MRC Underground Stone Bed with Piping will prevent an increase in the rate of runoff.
 The previous cover was asphalt, concrete and buildings this is on permanent.
 Minimize impervious areas:
 There will be no increase in impervious areas.
 Maximize the protection of existing drainage structures and existing vegetation:
 No work will take place outside of the limit of disturbance. There currently are no drainage structures on site and scrub and weeds that have come up between brown pavement, etc.
 Minimize land clearing and grading:
 How we sequenced the construction with appropriate temporary stabilization methods to minimize the duration of the earth disturbance.
 In no case should an area exceeding 15,000 square feet, which is to be stabilized by vegetation, reach final grade without being seeded and mulched.
 Immediately after earth disturbance activities cease in any area or subarea of the project for a period exceeding 4 days, the operator shall stabilize all disturbed areas. The site shall be protected from accelerated erosion and sedimentation pending future earth disturbance activities. During non-permanent stabilization, best management practices shall be applied as described in the plan. Areas not of finished grade, which will be re-vegetated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be re-vegetated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
 Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage or phase have been installed and are functioning as described in this E&S plan.
 The entire limit of disturbance boundary must be identified and made visible with stakes, flagging or orange construction fencing prior to beginning work. All work and equipment must remain inside this boundary.
 Minimize soil compaction:
 The entire limit of disturbance boundary must be identified and made visible with stakes, flagging or orange construction fencing prior to beginning work. All work and equipment must remain inside this boundary.
 The site has already been compacted so scarifying and amended soil will need to be used in some areas so planted areas can be successful.
 Utilize other structural or non-structural BMPs that prevent or minimize changes in stormwater runoff:
 Immediately after earth disturbance activities cease in any area or subarea of the project for a period exceeding 4 days, the operator shall stabilize all disturbed areas. The site shall be protected from accelerated erosion and sedimentation pending future earth disturbance activities. During non-permanent stabilization, best management practices shall be applied as described in the plan. Areas not of finished grade, which will be re-vegetated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be re-vegetated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
 The dry extended detention basin and the MRC underground stone bed with piping will minimize volume of flow during rain events.
 Thermal impacts will be minimized by the dry extended detention basin, the MRC underground stone bed with piping and the flow directed to underground pipes prior to turning to the receiving stream.
 Type of Cover:
 Currently the site is covered with various buildings, concrete and asphalt as well as some houses to be removed.
 Critical Stages of BMP Installation:
 A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP#1 DRY EXTENDED DETENTION BASIN AND BMP #2 JELLYFISH WATER QUALITY TREATMENT DEVICE.
 A LICENSED PROFESSIONAL OR HIS DESIGNEE MUST BE ON SITE TO OVERSEE THE INSTALLATION OF THE BMP #3 MRC UNDERGROUND STONE BED WITH PIPING AND BMP #4 JELLYFISH WATER TREATMENT DEVICE.
 Protection provided for infiltration BMPs until drainage areas completely stabilized:
 There are no infiltration BMPs.
 Recycling or disposal of materials:
 All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.



ANTI-SEEP COLLAR/BERM DETAIL
BMP# 5
NO SCALE

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIMENSIONS	12" x 18"	12" x 24"	12" x 24"	12" x 24"	12" x 24"
MESH OPENING	1/2"	1/2"	1/2"	1/2"	1/2"
TENSILE STRENGTH	26 psi	26 psi	26 psi	44 psi	202 psi
ULTRAVIOLET STABILITY	23% at 1000 hr.	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
MINIMUM FUNCTIONAL LONGEVITY	6 months	9 months	6 months	1 year	2 years

TWO-PLY SYSTEMS

SYSTEM	HDPE BIAXIAL NET	HDMP
INNER CONTAINMENT NETTING	CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES	COMPOSITE POLYPROPYLENE FABRIC (NONWOVEN LAYER AND NONWOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
OUTER FILTRATION MESH	1/2" x 1/2" MAX. APERTURE SIZE	1/2" MAX. APERTURE SIZE

COMPOST SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

COMPOST SHOULD BE A WELL COMPOSTED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, SLUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE ADEQUATELY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE FOLLOWING STANDARDS. THE STANDARDS CONTAINED IN THE PENNDOT PUB. 408 ARE AN ACCEPTABLE ALTERNATIVE.

COMPOST STANDARDS	DOES - 100% (BY WEIGHT BASIS)
ORGANIC MATERIAL CONTENT	FIBROUS AND ELONGATED
ORGANIC PORTION	5.5 - 8.0
pH	7.5 - 8.5
MOISTURE CONTENT	75% - 85%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 mg/l (mmhos/cm) MAXIMUM

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

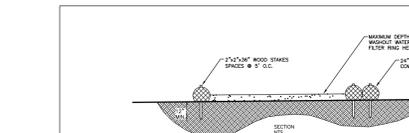
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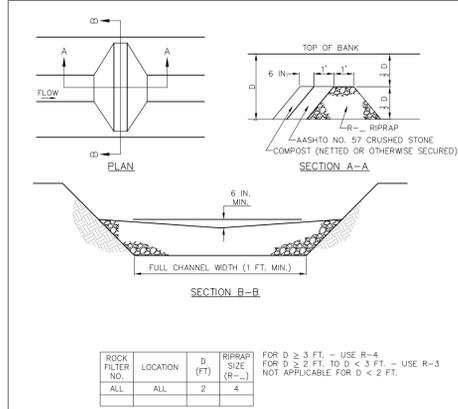
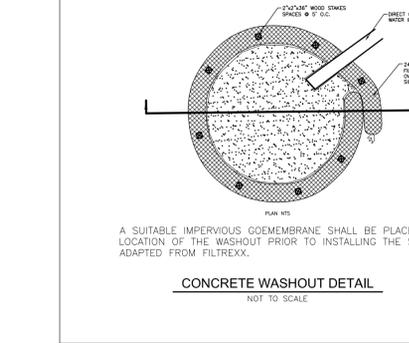
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CONCRETE WASHOUT DETAIL
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #4-14
ROCK FILTER
NOT TO SCALE

ROCK FILTER

ROCK FILTER NO.	LOCATION	D (FT)	RIPRAP SIZE (R-)
ALL	ALL	2	4

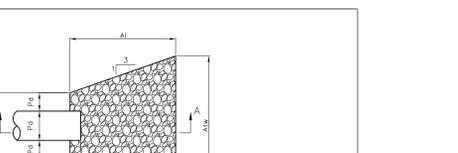
FOR D ≥ 3 FT. - USE R-4
FOR D ≥ 2 FT. TO D < 3 FT. - USE R-3
NOT APPLICABLE FOR D < 2 FT.



STANDARD CONSTRUCTION DETAIL #4-15
COMPOST FILTER SOCK
NOT TO SCALE

COMPOST FILTER SOCK

PROPERTY	TEST METHOD	MINIMUM STANDARD
GRAV TENSILE	ASTM D-4884	60 LB/IN
PUNCTURE	ASTM D-4833	110 LB
WELD BURST	ASTM D-3786	300 PSI
UV RESISTANCE	ASTM D-4305	70%
AGE 30 SETBACK	ASTM D-4751	60 SECS



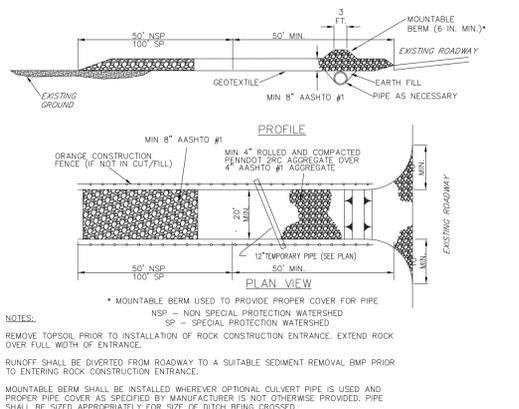
STANDARD CONSTRUCTION DETAIL #6-16
PUMPED WATER FILTER BAG
NOT TO SCALE

COMPOST FILTER SOCK

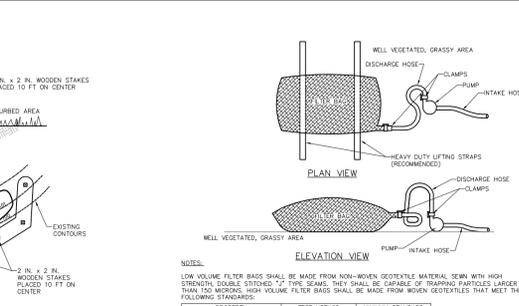
OUTLET NO.	PIPE DIA (IN)	RIPRAP SIZE (R-)	THICK. (IN)	LENGTH (FT)	APRON WIDTH (FT)	TERMINAL WIDTH (FT)
ES-2A1	36	4	18	11	9	13.4
ES-2A2	18	3	9	9	4.5	8.1
ES-3A3	18	3	9	9	4.5	8.1
ES-4B1	18	4	18	9	4.5	8.1
ES-4B2	18	3	9	9	4.5	8.1
ES-4C1	18	4	18	9	4.5	8.1
ES-5	36	3	9	11	9	13.4

COMPOST FILTER SOCK

REVISION	DATE	DESCRIPTION
#7 WAH	1/19/22	
#6 TCD	11-17-21	
#5 TCD	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	7/28/21	PER RVE REVIEW OF 06-03-21
#2 TCD	3/18/21	LAYOUT CHANGES
#1 TCD	11/17/20	LAYOUT CHANGES



ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



CHANNEL INSTALLATION
NOT TO SCALE

CHANNEL INSTALLATION

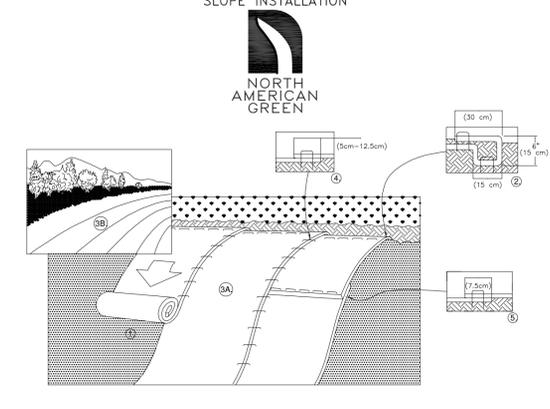
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WELD BURST	ASTM D-3786	300 PSI
UV RESISTANCE	ASTM D-4305	70%
AGE 30 SETBACK	ASTM D-4751	60 SECS

CHANNEL INSTALLATION

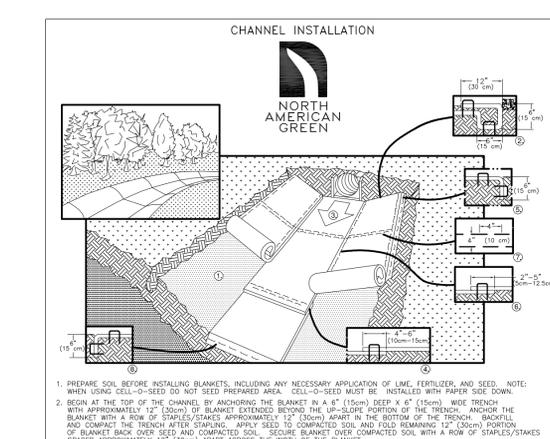
PROPERTY	TEST METHOD	MINIMUM STANDARD
GRAV TENSILE	ASTM D-4884	60 LB/IN
PUNCTURE	ASTM D-4833	110 LB
WELD BURST	ASTM D-3786	300 PSI
UV RESISTANCE	ASTM D-4305	70%
AGE 30 SETBACK	ASTM D-4751	60 SECS

CHANNEL INSTALLATION

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SLOPE INSTALLATION
NOT TO SCALE



CHANNEL INSTALLATION
NOT TO SCALE

CHANNEL INSTALLATION

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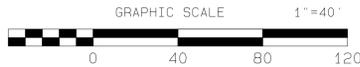
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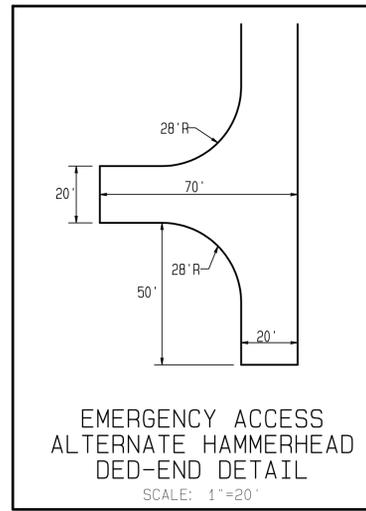
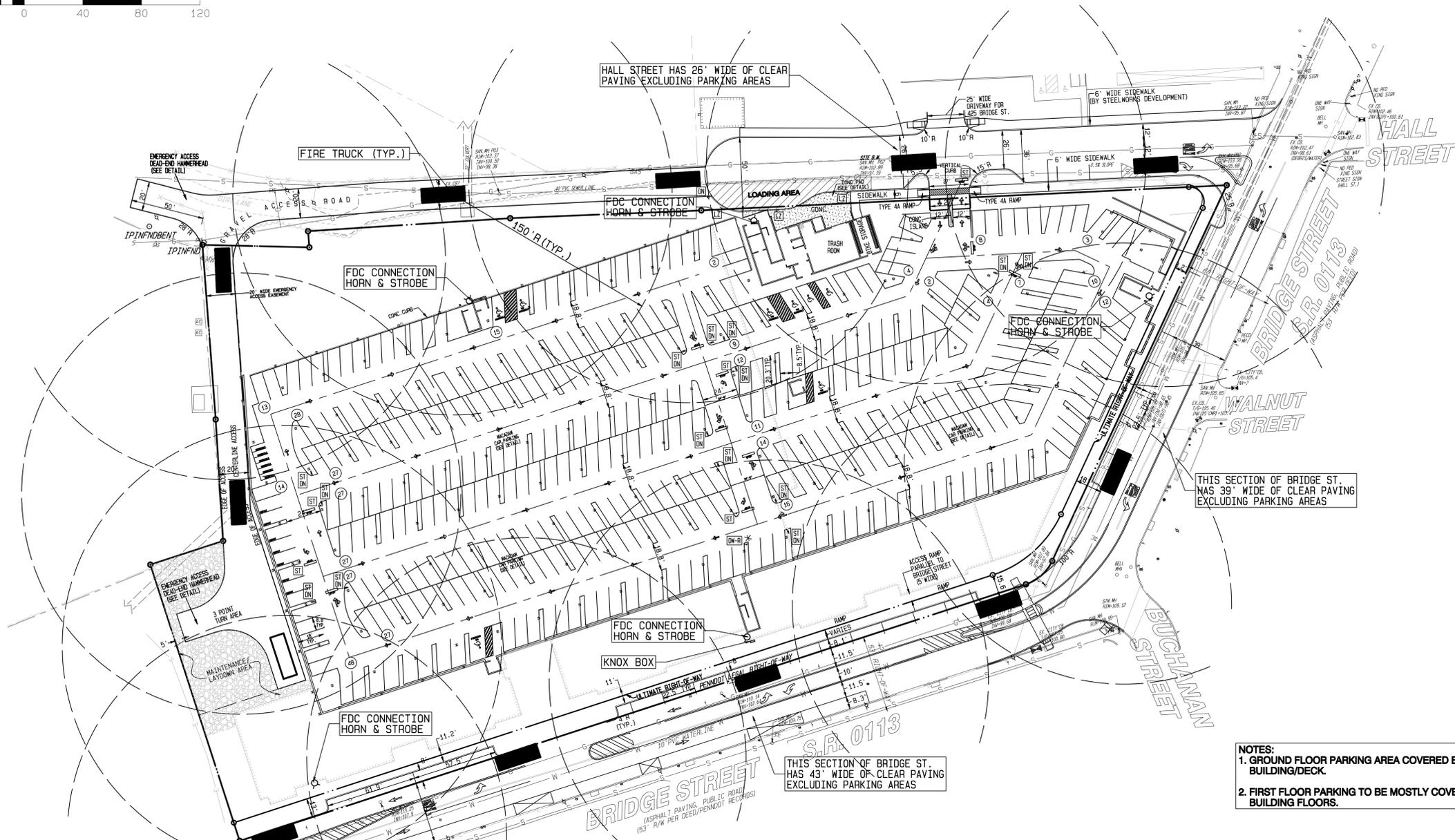
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N



LEGEND

- ⊞ MAILBOX
- ⊞ TELEPHONE PEDESTAL
- ⊞ FLAGPOLE
- ⊞ SPOTLIGHT
- ⊞ POST
- ⊞ EXIST. WELL
- ⊞ CATCH BASIN-C.B. (DOUBLE)
- ⊞ SANITARY-SAN MI OR STORM MANHOLES-B (AS INDICATED)
- ⊞ WATER VALVE CAP
- ⊞ LIGHT POLE
- ⊞ FIRE HYDRANT
- ⊞ CLEAN OUT/VENT (C.O.)
- ⊞ UTILITY POLE W/GUY WIRE
- ⊞ CABLE TV
- ⊞ ELECTRIC BOX
- ⊞ GAS VALVE
- ⊞ GAS METER
- ⊞ STREET SIGN (AS NOTED)
- ⊞ EXISTING TREES
- ⊞ WOODS LINE
- ⊞ GUIDE RAIL
- ⊞ EXIST. CONTOURS
- ⊞ EXIST. INDEX CONTOURS
- ⊞ PROPOSED INDEX CONTOURS
- ⊞ EXIST. WATERLINE
- ⊞ EXIST. SANITARY SEWER LINE
- ⊞ EXIST. STORM SEWER LINE
- ⊞ EXIST. SANITARY LATERAL
- ⊞ EXIST. WATER SERVICE LINE
- ⊞ EXIST. FENCE LINE
- ⊞ PROPOSED WATERLINE
- ⊞ PROPOSED SANITARY SEWER LINE
- ⊞ PROPOSED STORM SEWER LINE
- ⊞ PROPOSED SANITARY LATERAL
- ⊞ PROPOSED WATER SERVICE LINE
- ⊞ CONC. MONUMENT (TO BE SET)
- ⊞ MONUMENT FOUND
- ⊞ PROPERTY CORNER
- ⊞ EXISTING BUILDINGS
- ⊞ DENOTES RETAIL PARKING SPACES



NOTES:

- GROUND FLOOR PARKING AREA COVERED BY FIRST FLOOR BUILDING/DECK.
- FIRST FLOOR PARKING TO BE MOSTLY COVERED BY UPPER BUILDING FLOORS.

FIRE ACCESS PLAN

STEELWORKS

Ludgate Engineering Corporation



LINCOLN CORPORATE CENTER
10 VANGUARD DRIVE, SUITE 100
READING, PA 19606
PHONE 610/404-7330
FAX 610/404-7371

SITUATE IN:
BOROUGH OF PHOENIXVILLE,
CHESTER COUNTY,
PENNSYLVANIA



REVISION	DATE	DESCRIPTION
#7 WAH	01-19-22	
#6 TCD	11-17-21	
#5 WAH	10-21-21	PER RVE REVIEW OF 10-08-21
#4 WAH	09-02-21	PER RVE REVIEW OF 09-03-21
#3 WAH	07-28-21	PER RVE REVIEW OF 06-03-21
#2 TCD	3-18-21	LAYOUT CHANGES
#1 TCD	11-17-20	LAYOUT CHANGES

DRAWN	COMP (BNG)	COMP (LOT)	PA ONE CALL DATE	COMPUTER FILE
TCD				C:\Users\whurd\Desktop\
9-25-20				
SCALE 1"=40'	TAX MAP PARCEL	DRAWING NUMBER		
		D-7701520 SHEET 30 OF 30		

Project: Steel - Path: C:\Users\whurd\Desktop\Steel\0113\0113.dwg
 PLOT: Date: 10/19/22, Time: 10:44:23 AM
 Plotter: HP DesignJet T1100e