

SITE DATA

348 BRIDGE STREET, PHOENIXVILLE PA 19460
 DEED GRANTEE: THOMAS A CLARK, JR.
 DEED REFERENCE: DBV 8930 PG 1902
 TAX MAP: BLOCK 15-9-173 & 15-9-260
 TOTAL AREA: 21,801 S.F.
 NUMBER OF LOTS: 2
 SEWER: PUBLIC
 WATER: PUBLIC

GENERAL NOTES

- PROPERTY SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, AND RESTRICTIONS OF RECORD.
- THIS BOUNDARY AND TOPOGRAPHIC SURVEY PLAN WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT. B.I.A. ASSUMES NO LIABILITY FOR ITEMS DISCLOSED IN A TITLE REPORT OR OTHER DOCUMENTS/PRIVATE RECORDS NOT DISCLOSED AT THE TIME OF THIS SURVEY.
- THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. B.I.A., INC. HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
- CERTIFICATION FROM A REGISTERED PROFESSIONAL WILL BE REQUIRED FOR THE PROPOSED BUILDING WITHIN THE FLOOD PLAIN TO SHOW IT IS ADEQUATELY DESIGNED TO WITHSTAND THE PRESSURES, VELOCITIES, IMPACT AND UPLIFT FORCES ASSOCIATES WITH THE BASE FLOOD. DESCRIPTIONS OF THE TYPE AND EXTENT OF FLOOD PROOFING MEASURES WHICH HAVE BEEN INCORPORATED INTO THE DESIGN WILL BE REQUIRED.
- PLANS WILL BE REQUIRED TO SHOW PROPOSED MEASURES TO ANCHOR STRUCTURES, MINIMIZE FLOOD DAMAGE, BUILDING MATERIALS ARE FLOOD RESISTANT, BUILDING EQUIPMENT AND SYSTEMS ARE DESIGNED AND LOCATED TO PREVENT WATER ENTRY OR ACCUMULATIONS WHERE LOCATED WITHIN THE FLOODPLAIN.

FEMA

ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 42029C0060G, EFFECTIVE DATE 9/29/2017, THE SITE LIES WITHIN SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (ACF)

ZONE AE - BASE FLOOD ELEVATIONS DETERMINED
 1% ACF AT NORTHEAST SIDE OF SITE = 108.3'

DATUM

HORIZONTAL DATUM IS NAD1983 AND VERTICAL DATUM IS NAVD1988 BASED UPON GPS OBSERVATIONS AT THE SITE.

PARKING SPACE TABULATION	
TYPE	QUANTITY
PROPOSED	
LOWER LEVEL	27
UPPER LEVEL	28
TOTAL	55

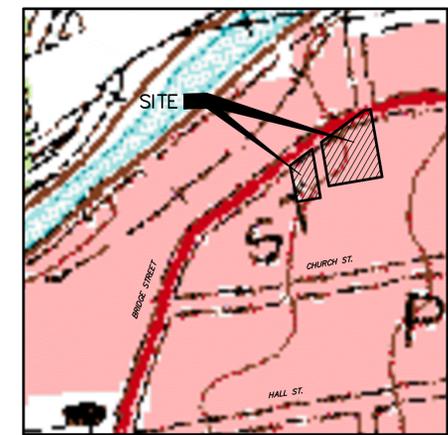
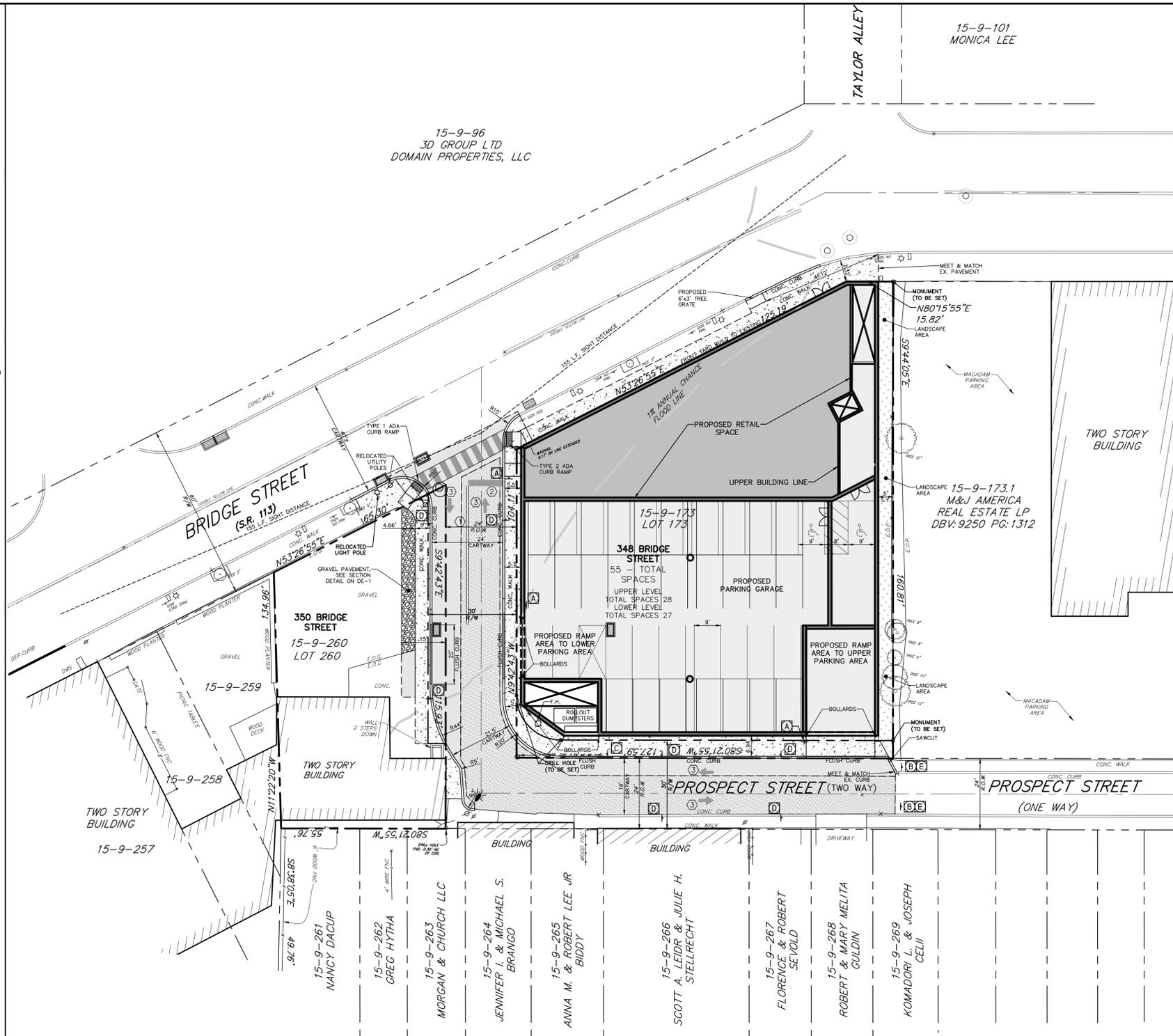
NOTE: PARKING SPACES PROVIDED SHALL BE FOR RESIDENCES OF THE BUILDING ONLY, NO PUBLIC PARKING WILL BE PROVIDED.
 RETAIL PARKING = AVG. RATE 1.95 X 5.4KSF = 11 SPACES
 BREWERY PARKING = AVG. RATE 9.3 X 2.2KSF = 21 SPACES

PROPOSED BUILDING	
TYPE	QUANTITY
PROPOSED	
1 BEDROOM UNITS	15
2 BEDROOM UNITS	17
TOTAL UNITS	32
COMMERCIAL/RETAIL	7,600 SF
RESIDENTIAL	33,720 SF

NOTE: 80%/20% RESIDENTIAL/COMMERCIAL SPLIT BY GROSS FLOOR AREA

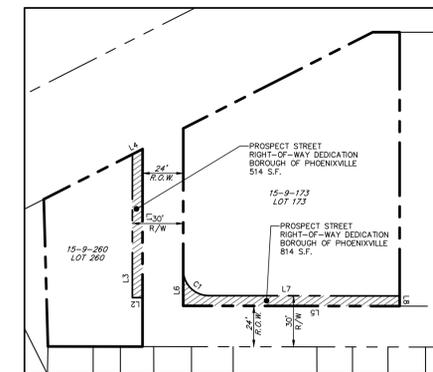
FLOOD CERTIFICATION NOTE

THE PROPOSED IMPROVEMENTS WILL NOT RESULT IN AN INCREASE IN THE BASE FLOOD ELEVATION IN EXCESS OF 1 FOOT AT ANY POINT WITHIN THE COMMUNITY.



LOCATION MAP

SCALE: 1"=200'
 SOURCE: PHOENIXVILLE QUADRANGLE



ROW DEDICATION MAP

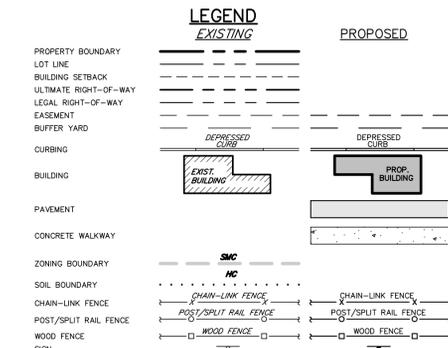
SCALE: 1"=50'

LINE DATA		
SEGMENT	DIRECTION	LENGTH
L1	S9° 42' 43"W	87.17
L2	S80° 17' 17"W	6.00
L3	N9° 42' 43"W	84.13
L4	N53° 26' 55"E	6.72
L5	S80° 21' 55"W	127.59
L6	N9° 42' 43"W	20.98
L7	N80° 21' 55"E	112.61
L8	S9° 44' 05"E	6.00

PROSPECT STREET RIGHT-OF-WAY DEDICATION

THE STRIP OF ADDITIONAL RIGHT-OF-WAY ALONG THE WEST AND NORTH SIDE OF PROSPECT STREET, AS SHOWN ON THE SITE DEVELOPMENT PLAN (SP-1), IS PERPETUALLY AND IRREVOCABLY OFFERED FOR DEDICATION TO THE BOROUGH OF PHOENIXVILLE.

CURVE DATA					
SEGMENT	RADIUS	DELTA	LENGTH	CHD.	CHD. LENGTH
C1	15.00	89°55'22"	23.54	S54°40'24"E	21.20



ZONING DATA

OBTAINED FROM THE PHOENIXVILLE ZONING 27 ATTACHMENT 1 [ORD. NO. 2227, 12/10/2013 AS AMENDED BY ORD. 2014-2235, 7/8/2014; BY ORD. NO. 2015-2251, 5/12/2015; BY ORD. NO. 2016-2266, 11/1/2016; BY ORD. NO. 2016-2284, 10/9/2016; AND BY ORD. NO. 2016-2303, 5/14/2016.]

AREA AND BULK REGULATIONS:	TC - TOWN CENTER DISTRICT		NATIONAL REGISTER HISTORIC DISTRICT		DOWNTOWN HISTORIC DISTRICT (HARB)	
	(MID RISE)	LOT 173	LOT 173	(ATTACHED)	LOT 260	LOT 260
MINIMUM REQUIREMENTS	REQUIRED	EXISTING	PROVIDED	REQUIRED	EXISTING	PROVIDED
MIN. LOT AREA:	4,000 S.F.	17,343 S.F.	16,530 S.F.+	2,000 S.F.	5,785 S.F.	5,271 S.F.+
MIN. LOT WIDTH:	40'	>40' (127.55')	>40'	20'	58.27'	49'
MAX. IMPERVIOUS COVERAGE:	90%	99.6%	96%	100%	97.25%	93%
MIN. YARD SETBACKS:						
FRONT YARD:	BUILD TO EXISTING**	N/A	0-1'	BUILD TO EXISTING**	42'	42'
SIDE YARDS:	10'***	N/A	5'	5'***	N/A	N/A
REAR YARDS:	10'	N/A	N/A	0'	2.75'	27'
MIN. BUILDING SPACING:	30'	N/A	30'	10'	30'	30'
MAX. BUILDING HEIGHT:	60	N/A	48'-60'	35'	25'	25'

** THE FRONT BUILD-TO-LINE SHALL BE WITHIN THE RANGE OF FRONT BUILD-TO-LINES OF EXISTING BUILDINGS ON THE SAME STREET FRONTAGE OF THE BLOCK. IF THERE ARE NO BUILDINGS ON THE BLOCK, THE BUILD-TO-LINE SHALL BE WITHIN THE RANGE OF EITHER OF THE TWO ADJACENT BLOCKS. SEE SEC. 27-301.

*** 10' REQUIRED "SIDE YARD" IF ADJACENT TO A ZERO SIDE YARD BUILDING. OTHERWISE SIDE YARD SHALL BE WHATEVER IS NEEDED TO ACHIEVE A BUILDING SEPARATION AS SPECIFIED BY THE "BUILDING SPACING" REQUIREMENT PER 27 ATTACHMENT 1-4.

+ AREA AFTER RIGHT-OF-WAY DEDICATION

SIGNING SCHEDULE			
SYMBOL	MUTCD / PENNDOT SERIES	SIZE	REMARKS
A	R1-1	30"x30"	STOP SIGN
B	R5-1	30"x30"	DO NOT ENTER SIGN
C	W1-103	30"x30"	HIDDEN ENTRANCE
D	R7-302	12"x8"	NO PARKING
E	R6-7	24"x30"	END ONE WAY

PAVEMENT MARKINGS	
LABEL	DESCRIPTION
①	4" DOUBLE YELLOW LINE
②	STOP BAR (24" WHITE LINE)
③	60" STRAIGHT WHITE ARROW

NOTE: APPLY TWO COATS OF PAINT FOR ALL MARKINGS

NOTE: SEE HOP PLANS PREPARED BY BARRY ISETT AND ASSOCIATES FOR DESIGN AND DETAILS FOR PROSPECT STREET IMPROVEMENTS.



Know what's below.
 Call before you dig.

SITE SERIAL #20190202637

BY	DATE	REVISIONS
MTG	07/23/2020	1. BOROUGH SUBMISSION
JHH	09/10/2020	2. BOROUGH RESUBMISSION



610.935.2175
 baryisett.com
 1003 Egypt Road
 Phoenixville, PA 19460



SITE DEVELOPMENT PLAN
 BRIDGE STREET RESIDENCE - EAST
 APPLIANCE ALLIANCE
 BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
SCALE:	1" = 20'	CHK:	KJL
DRAWN:	MTG	APPRD:	KJL
JOB:	1044719.000	P MGR:	PTS

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SHEET: 2 OF 13

SP-1

DEMOLITION PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH COLEBROOKDALE TOWNSHIPS' CODES, ORDINANCES, STANDARDS, AND SPECIFICATIONS.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER CAN NOT VERIFY THE ACCURACY BETWEEN VISIBLE OR MARKED POINTS OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. NO USE OF EXPLOSIVES OR BURNING OF MATERIAL, DEBRIS OR TRASH ON-SITE OR OFF-SITE WILL BE ALLOWED EXCEPT WHEN ALLOWED BY THE GOVERNING AUTHORITY AND THE OWNER. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE REGULATORY PROCEDURES WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND GAS ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRIC, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IF NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES ETC., TO THE BEST PRACTICES.
- PRIOR TO SITE DISTURBANCES, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. SEE EROSION AND SEDIMENTATION CONTROL PLANS.
- CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION FROM THE OWNER, AND/OR THE APPROPRIATE GOVERNMENT AGENCY.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTABLE SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIALS.
- ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
- IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A MINIMUM OF 24" OF EARTH COVER OVER PIPES DURING CONSTRUCTION.
- IF A SINKHOLE IS ENCOUNTERED ON THE PROJECT SITE, PRIOR TO REPAIRING ANY SINKHOLE, THE CLIENT SHALL CONTACT A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING SO AS TO REPAIR THE SINKHOLE IN ACCORDANCE WITH THE PROFESSIONAL'S SPECIFIC RECOMMENDATIONS. THE REMEDIATION PLAN CHOSEN BY THE PROFESSIONAL ENGINEER SHOULD BE BASED ON THE CHARACTERISTICS OF THE SINKHOLE, THE LOCATION OF THE SINKHOLE ON THE SITE AND THE PLANNED OR POSSIBLE FUTURE DEVELOPMENT AT THE SINKHOLE LOCATION.
- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. TEMPORARY MEASURES SHALL BE PROVIDED TO AVOID DISRUPTION OF SERVICES.

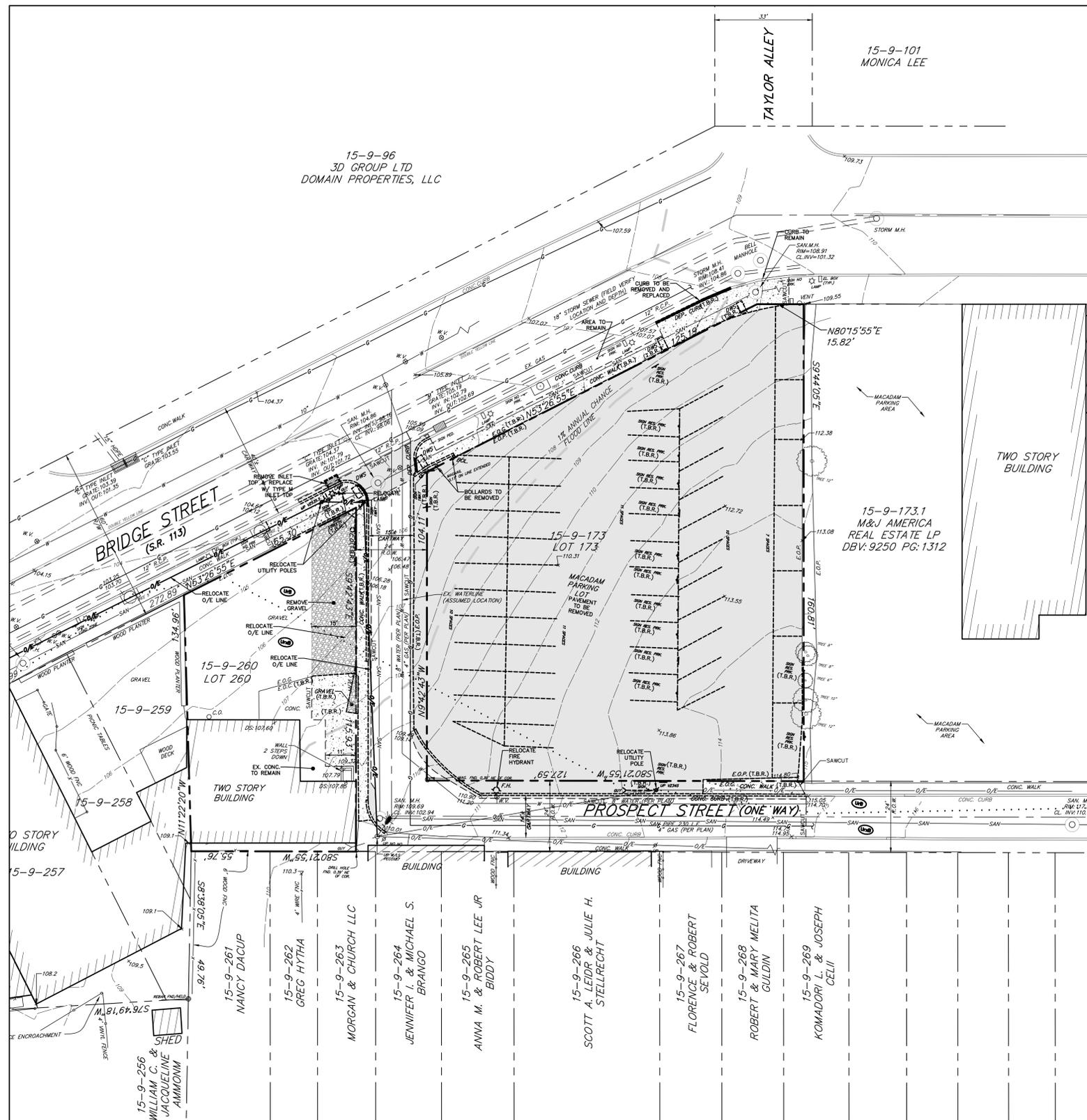
NOTES

- THERE ARE NO SLOPES GREATER THE 15% LOCATED ON SITE.



Know what's below.
Call before you dig.

NOTE:
PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).
THE SITE SERIAL NUMBER IS 20192002637.



DATUM

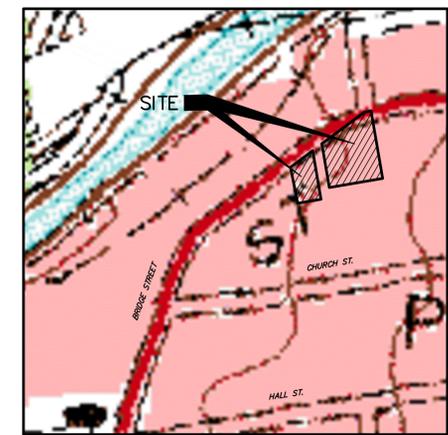
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SURVEY NOTES

- ANY DISCREPANCIES FOUND DURING THE RECONCILIATION OF RECORD INFORMATION WITH FIELD MEASUREMENTS SHOWN ON THIS SURVEY ARE DUE TO THE PROFESSIONAL EVALUATION OF SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, DEED CALLS, LOCATIONS OF CORNER MONUMENTATION, LOCATIONS OF LONG STANDING POSSESSION LINES OR OTHER BOUNDARY LINE EVIDENCE, CART WAY LOCATIONS (ROADS), INTENT OF ORIGINAL SURVEY, SENIORITY OF TITLE, AND ERROR IN RECORD MEASUREMENTS/CLOSURES.
- THE DIRECTION OF BRIDGE STREET AND PROSPECT STREET WAS BASED UPON THE LOCATION AND ANALYSIS OF CURB LINES AND BUILDING FACADES RECONCILED WITH DEED DIRECTIONS.
- THE FIELD WORK FOR THIS SURVEY WAS PERFORMED IN JULY OF 2019.

GENERAL NOTES

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LOCATION MAP

SCALE: 1"=200'
SOURCE: PHOENIXVILLE QUADRANGLE

SITE DATA

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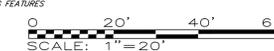
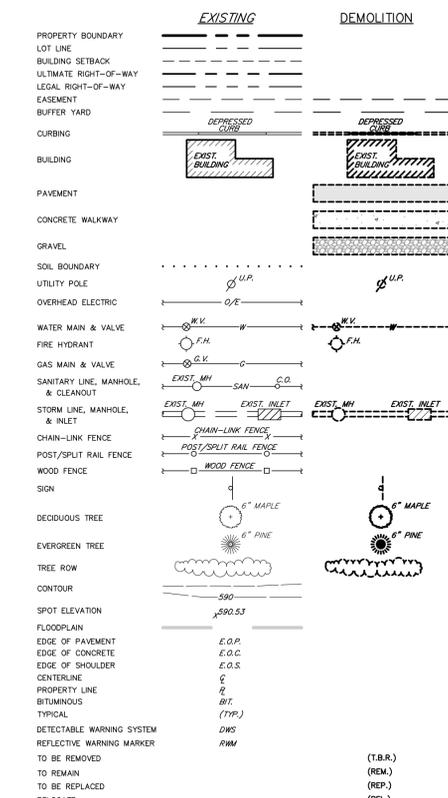
ZONE AE - BASE FLOOD ELEVATIONS DETERMINED
1/2 ACF AT NORTHEAST SIDE OF SITE =108.3'

WETLAND NOTE

NO WETLANDS ARE LOCATED WITHIN SITE BOUNDARIES.

SOIL CLASSIFICATIONS

- URB URBAN LAND, 0 TO 8 PERCENT SLOPES
- URbB URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES



BY	MTG
DATE	07/23/2020
	09/10/2020
REVISIONS	
1. BOROUGH SUBMISSION	
2. BOROUGH RESUBMISSION	



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BARRY ISETT & Associates
INC. PROFESSIONAL ENGINEERS AND CONSULTANTS

EXISTING FEATURES & DEMOLITION PLAN
BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
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JOB:	1044719.000	P MGR:	PTS

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SHEET: 3 OF 13

EF-1

GRADING NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
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3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
4. ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
5. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
6. ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
7. IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
8. IF A SINKHOLE IS ENCOUNTERED ON THE PROJECT SITE, PRIOR TO REPAIRING ANY SINKHOLE, THE CLIENT SHALL CONTACT A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING SO AS TO REPAIR THE SINKHOLE IN ACCORDANCE WITH THE PROFESSIONAL'S SPECIFIC RECOMMENDATIONS. THE REMEDIATION PLAN CHOSEN BY THE PROFESSIONAL ENGINEER SHOULD BE BASED ON THE CHARACTERISTICS OF THE SINKHOLE, THE LOCATION OF THE SINKHOLE ON THE SITE AND THE PLANNED OR POSSIBLE FUTURE DEVELOPMENT AT THE SINKHOLE LOCATION.
9. A MINIMUM COVER OF 4 FEET SHALL BE MAINTAINED OVER ALL WATERLINES.
10. BOTTOM OF WALL ELEVATIONS ARE FINISHED GRADE AT BOTTOM OF WALL, NOT BOTTOM OF FOOTING.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL STORM INLETS.

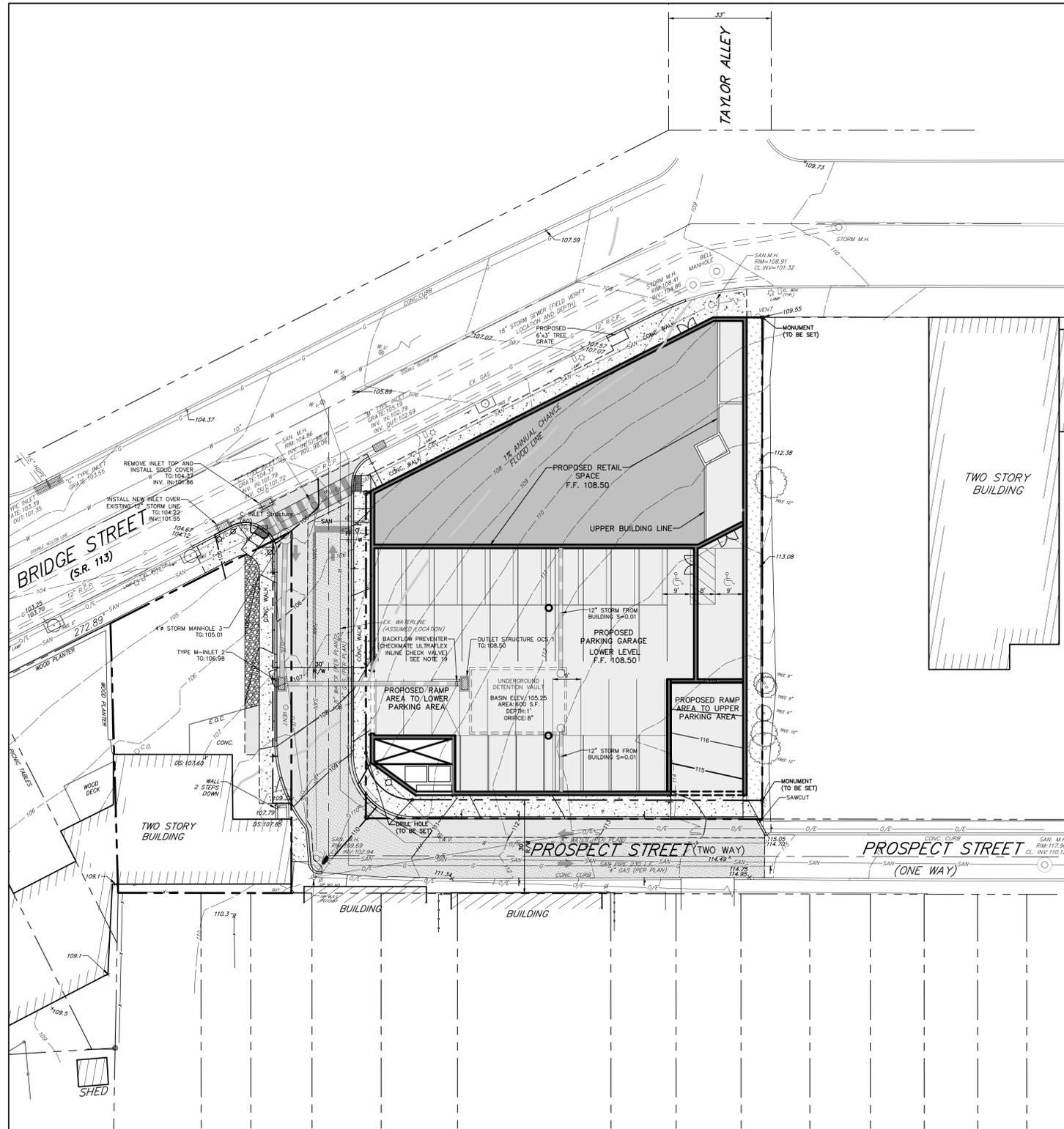
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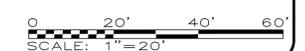
ZONE AE - BASE FLOOD ELEVATIONS DETERMINED
1% ACF AT NORTHEAST SIDE OF SITE =108.3'

**WETLAND NOTE
DATUM**

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BASED UPON GPS OBSERVATIONS AT THE SITE.



	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
ULTIMATE RIGHT-OF-WAY	---	---
LEGAL RIGHT-OF-WAY	---	---
EASEMENT	---	---
BUFFER YARD	---	---
CURBING	---	---
BUILDING	EXIST. BUILDING	PROP. BUILDING
PAVEMENT	---	---
CONCRETE WALKWAY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	U.P.	U.P.
OVERHEAD ELECTRIC	O/E	O/E
WATER MAIN & VALVE	W.V.	W.V.
FIRE HYDRANT	F.H.	F.H.
GAS MAIN & VALVE	G.V.	G.V.
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH SAN	PROP. MH SAN
STORM LINE, MANHOLE, & INLET	EXIST. MH SAN	PROP. MH SAN
CHAIN-LINK FENCE	CHAIN-LINK FENCE	CHAIN-LINK FENCE
POST/SPLIT RAIL FENCE	POST/SPLIT RAIL FENCE	POST/SPLIT RAIL FENCE
WOOD FENCE	WOOD FENCE	WOOD FENCE
SIGN	---	---
DECIDUOUS TREE	6" MAPLE	1" M
EVERGREEN TREE	6" PINE	1" P
TREE ROW	---	---
CONTOUR	590	590
SPOT ELEVATION	590.53	590.53
FLOODPLAIN	---	---
EDGE OF PAVEMENT	E.O.P.	E.O.P.
EDGE OF CONCRETE	E.O.C.	E.O.C.
EDGE OF SHOULDER	E.O.S.	E.O.S.
CENTERLINE	C	C
PROPERTY LINE	P.L.	P.L.
BITUMINOUS	BIT.	BIT.
TYPICAL	(TYP.)	(TYP.)
DETECTABLE WARNING SYSTEM	DWS	DWS
REFLECTIVE WARNING MARKER	RWM	RWM
TO BE REMOVED	(T.B.R.)	(T.B.R.)
TO REMAIN	(REM.)	(REM.)
TO BE REPLACED	(REP.)	(REP.)
RELOCATE	(REL.)	(REL.)
FINISHED FLOOR	F.F.	F.F.
DOOR SILL	D.S.	D.S.
NOTE:	VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES	



BY	MTG
DATE	07/23/2020
DATE	09/10/2020
REVISIONS	1. BOROUGH SUBMISSION 2. BOROUGH RESUBMISSION



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Phoenixville, PA 19340



GRADING PLAN

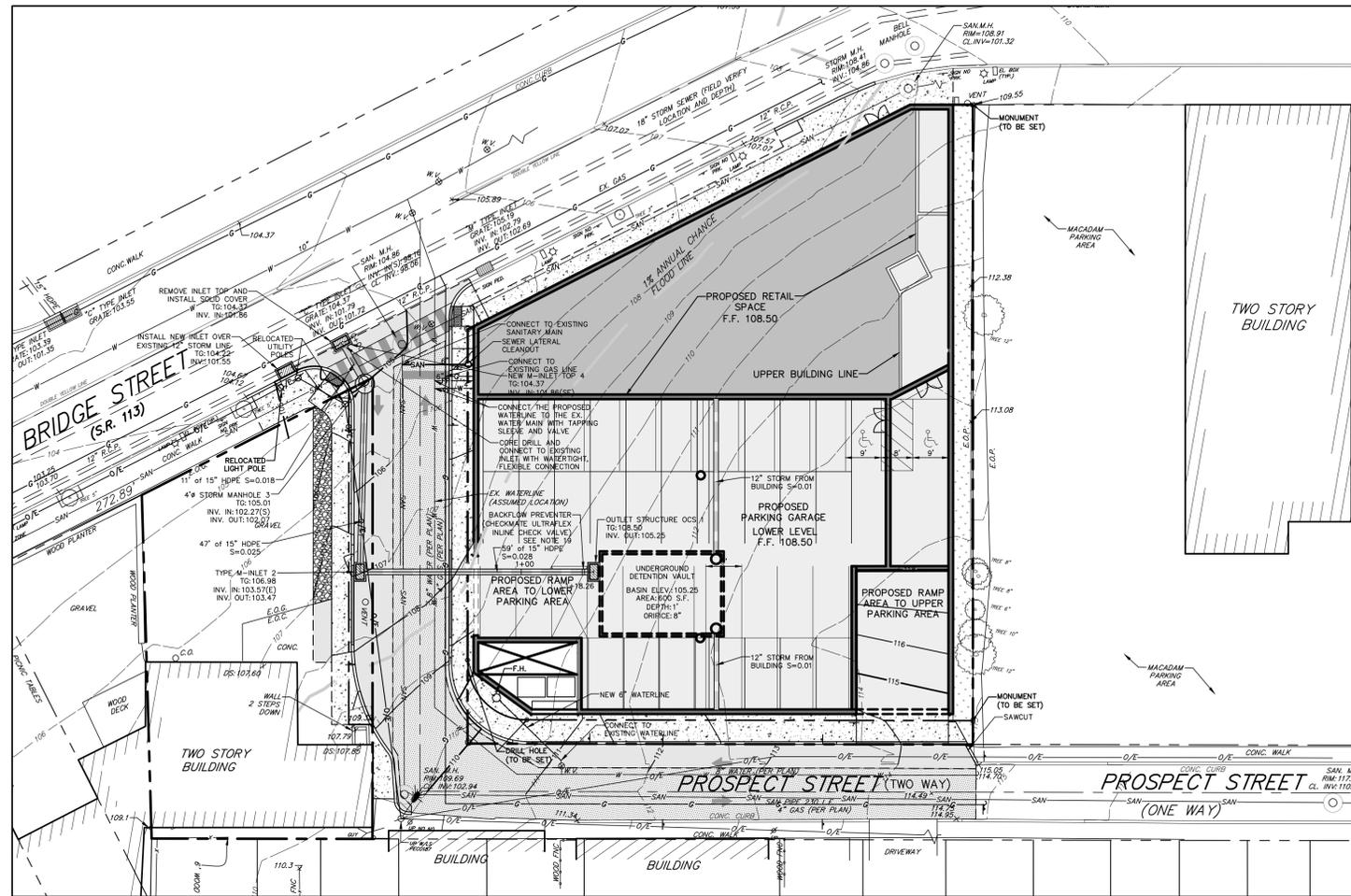
BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
SCALE:	1" = 20'	CHK:	KJL
DRAWN:	MTG	APPRD:	KJL
JOB:	1044719.000	P MGR:	PTS

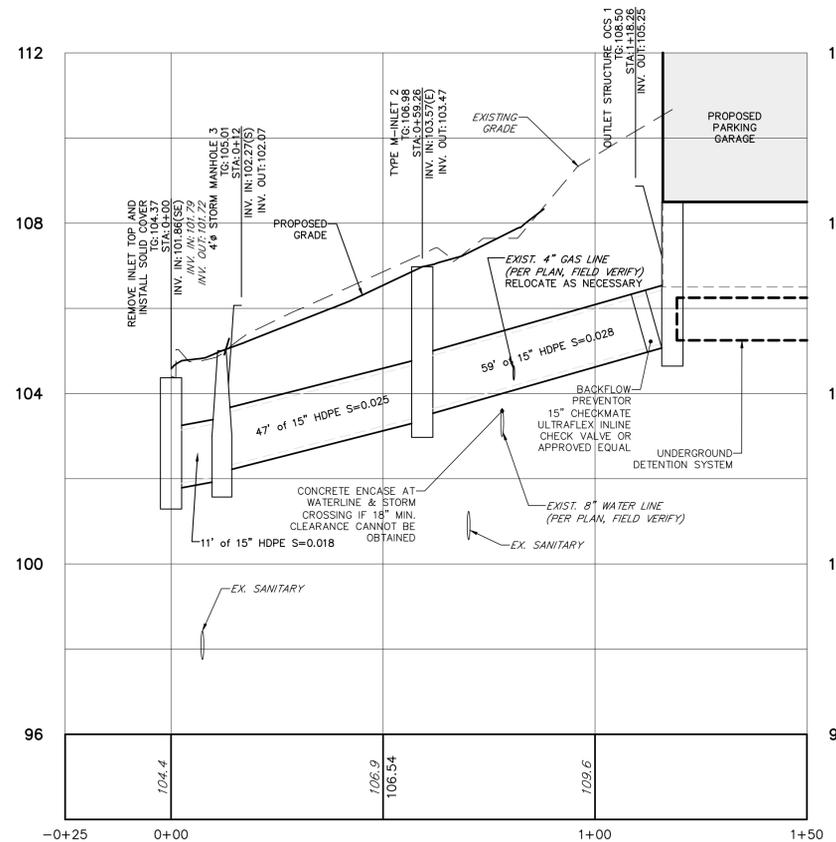
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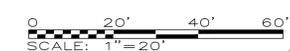


PLAN VIEW
SCALE: 1"=20'



PROPOSED STORM SEWER PROFILE
SCALE: 1"=20'(H), 1"=2'(V)

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
ULTIMATE RIGHT-OF-WAY	---	---
LEGAL RIGHT-OF-WAY	---	---
EASEMENT	---	---
BUFFER YARD	---	---
CURBING	---	---
BUILDING	---	---
PAVEMENT	---	---
CONCRETE WALKWAY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	---	---
OVERHEAD ELECTRIC	---	---
WATER MAIN & VALVE	---	---
FIRE HYDRANT	---	---
GAS MAIN & VALVE	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---
STORM LINE, MANHOLE, & INLET	---	---
CHAIN-LINK FENCE	---	---
POST/SPLIT RAIL FENCE	---	---
WOOD FENCE	---	---
SIGN	---	---
DECIDUOUS TREE	---	---
EVERGREEN TREE	---	---
TREE ROW	---	---
CONTOUR	---	---
SPOT ELEVATION	---	---
FLOODPLAIN	---	---
EDGE OF PAVEMENT	---	---
EDGE OF CONCRETE	---	---
EDGE OF SHOULDER	---	---
CENTERLINE	---	---
PROPERTY LINE	---	---
BITUMINOUS	---	---
TYPICAL (TYP.)	---	---
DETECTABLE WARNING SYSTEM	---	---
REFLECTIVE WARNING MARKER	---	---
TO BE REMOVED	---	---
TO REMAIN	---	---
TO BE REPLACED	---	---
RELOCATE	---	---
FINISHED FLOOR	---	---
DOOR SILL	---	---
NOTE:	---	---
VERTICAL TEXT INDICATES PROPOSED FEATURES	---	---
SLANTED TEXT INDICATES EXISTING FEATURES	---	---



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1003 Egypt Road
Phoenixville, PA 19460

BARRY ISSETT & Associates
INC. PROFESSIONAL ENGINEERS AND CONSULTANTS

PLAN AND PROFILES

BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

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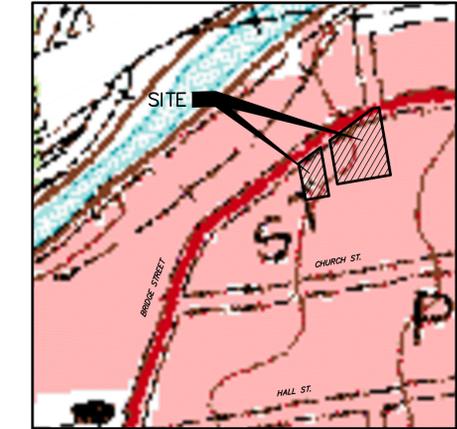
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PP-1



GENERAL NOTES

1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER CAN NOT VERIFY THE ACCURACY BETWEEN VISIBLE OR MARKED POINTS OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
4. ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
5. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
6. ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
7. IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
8. IF A SINKHOLE IS ENCOUNTERED ON THE PROJECT SITE, PRIOR TO REPAIRING ANY SINKHOLE, THE CLIENT SHALL CONTACT A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING SO AS TO REPAIR THE SINKHOLE IN ACCORDANCE WITH THE PROFESSIONAL'S SPECIFIC RECOMMENDATIONS. THE REMEDIATION PLAN CHOSEN BY THE PROFESSIONAL ENGINEER SHOULD BE BASED ON THE CHARACTERISTICS OF THE SINKHOLE, THE LOCATION OF THE SINKHOLE ON THE SITE AND THE PLANNED OR POSSIBLE FUTURE DEVELOPMENT AT THE SINKHOLE LOCATION.
9. A MINIMUM COVER OF 4 FEET SHALL BE MAINTAINED OVER ALL WATERLINES.
10. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
11. ALL PROPOSED PIPE SLOPES ARE MEASURED IN FT/FT, UNLESS NOTED OTHERWISE BY PERCENTAGE.
12. ALL HDPE SHALL BE SMOOTH BORE INTERIOR, CORRUGATED HIGH DENSITY POLYETHYLENE PIPING WITH WATER-TIGHT BELL AND SPIGOT JOINTS MEETING THE TEST CRITERIA OUTLINED BY ASTM D-3212.
13. ALL RCP SHALL BE NEW CLASS III REINFORCED CONCRETE PIPING W/0" RING MEETING OR EXCEEDING ASTM C76 REQUIREMENTS. PIPING SHALL BE SAW CUT AT ENDS, AS NEEDED, AND NOT HAMMERED OR BROKEN.
14. TRAFFIC CONTROL SIGNS MUST BE POSTED ON PENNDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MORE RECENT VERSION OF THE TO-8700 SERIES IN PENNDOT PUBLICATION 111M.
15. ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSION OF PENNDOT PUBLICATION 236M, "HANDBOOK OF APPROVED SIGNS."
16. ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:
 - i. PENNDOT DESIGN MANUAL 2, CHAPTER 6
 - ii. PENNDOT DESIGN STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M.RC-67M
 - iii. U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG)
17. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION.



LOCATION MAP
SCALE: 1"=200'
SOURCE: PHOENIXVILLE QUADRANGLE

PCSM LEGEND

LIMIT OF DISTURBANCE	LOD
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
BUFFER YARD	---
CURBING	---
BUILDING	---
PAVEMENT	---
CONCRETE WALKWAY	---
SOIL BOUNDARY	---
UTILITY POLE	---
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WATER MAIN & VALVE	---
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SANITARY LINE, MANHOLE, & CLEANOUT	---
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WOOD FENCE	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
TREE ROW	---
CONTOUR	---
SPOT ELEVATION	---
FLOODPLAIN	---
EDGE OF PAVEMENT	---
EDGE OF CONCRETE	---
EDGE OF SHOULDER	---
CENTERLINE	---
PROPERTY LINE	---
BITUMENOUS	---
TYPICAL	---
DETECTABLE WARNING SYSTEM	---
REFLECTIVE WARNING MARKER	---
TO BE REMOVED	---
TO BE REPLACED	---
RELOCATE	---
FINISHED FLOOR	---
DOOR SILL	---
NOTE:	---
VERTICAL TEXT INDICATES PROPOSED FEATURES	---
SLOANED TEXT INDICATES EXISTING FEATURES	---

I, PAUL SCHMOLL, ON THIS DATE _____ HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BOROUGH OF PHOENIXVILLE ORDINANCE NO. 2239, STORM MANAGEMENT.

PAUL SCHMOLL, P.E. DATE _____
BARRY ISETT & ASSOCIATES
1003 EGYPT ROAD
PHOENIXVILLE, PA 19460

I, _____ ON THIS DATE _____ ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED STORMWATER MANAGEMENT SITE PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

DATE _____



Know what's below.
Call before you dig.

SITE SERIAL #20192002637

RECEIVING WATERS FRENCH CREEK
TRIBUTARY TO SCHUYLKILL RIVER,
TSF-MF

LIMIT OF DISTURBANCE: 0.62 ACRES

UTILITY NOTE:
CONTRACTOR SHALL VERIFY ALL
EXISTING UNDERGROUND UTILITIES
PRIOR TO COMMENCEMENT OF WORK

PLAN PREPARER: PAUL T. SCHMOLL, PE.
BARRY ISETT & ASSOCIATES
85 SOUTH ROUTE 100
ALLENTOWN, PA 18106
610-398-0904
PSCHMOLL@BARRYSISETT.COM

0 20' 40' 60'
SCALE: 1"=20'

BY	MTG
DATE	07/23/2020
REVISIONS	1. BOROUGH SUBMISSION 2. BOROUGH RESUBMISSION



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POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
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BACKFLOW PREVENTER OPERATIONS AND MAINTENANCE

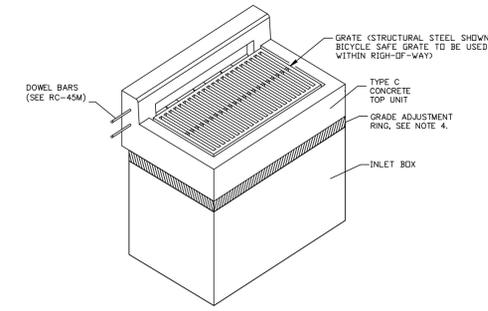
1. THE VALVE SHOULD BE INSPECTED FOR DAMAGE, WEAR, AND BUILDUP OF DEBRIS QUARTERLY THE FIRST YEAR AND THEN YEARLY AFTER THAT.

UNDERGROUND DETENTION SYSTEM OPERATIONS AND MAINTENANCE

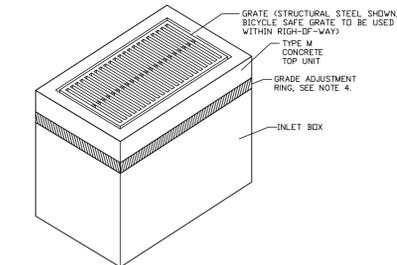
1. SYSTEM SHOULD BE INSPECTED AT LEAST QUARTERLY DURING THE FIRST YEAR IN SERVICE AND YEARLY AFTER THAT. INSPECTIONS SHOULD ALSO BE PERFORMED AFTER MAJOR STORM EVENTS TO ENSURE PROPER FUNCTION.
2. FLUSHING SHOULD BE PERFORMED IF SEDIMENT FILLS THE LESSER OF 6" OR 15% OF THE SYSTEM HEIGHT.
3. FLUSHING SHOULD BE PERFORMED BY PUMPING WATER INTO THE TANKS AND VACUUMING SEDIMENT LADEN WATER OUT OF THE SYSTEM EITHER THROUGH THE OUTLET STRUCTURE OR THROUGH THE FLUSH PORT.

UNDERGROUND DETENTION SYSTEM INSTALLATION SEQUENCE

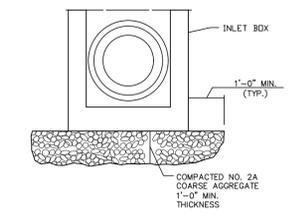
- INSTALL ALL TEMPORARY EROSIONS AND SEDIMENTATION CONTROLS.
- PREPARE SITE FOR EXCAVATION.
 - ALL EXISTING VEGETATION SHOULD REMAIN IF FEASIBLE AND SHOULD BE REMOVED IS NECESSARY FOR CONSTRUCTION.
 - IF EXCAVATION IS REQUIRED, CLEAR THE AREA TO BE EXCAVATED OF ALL VEGETATION. REMOVE ALL TREE ROOTS, ROCKS, AND BOULDERS ONLY IN EXCAVATION AREA.
- EXCAVATE BOTTOM OF BASIN TO DESIRED ELEVATION.
- INSTALL SYSTEM PIPE, INLET AND OUTLET CONTROL STRUCTURES.
- GRADE SUBSOIL IN BOTTOM OF BASIN, TAKING CARE TO PREVENT COMPACTION. COMPACT SURROUNDING EMBANKMENT AREAS AND AROUND INLET AND OUTLET STRUCTURES.
- APPLY AND GRADE PLANTING SOIL.
- APPLY GEOTEXTILES AND OTHER EROSION CONTROL MEASURES.
- SEED, PLANT AND MULCH ACCORDING TO PLANTING PLAN.



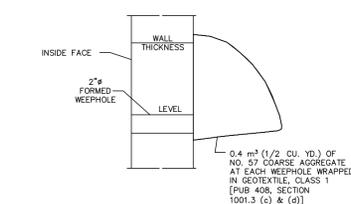
CONCRETE TOP UNIT - TYPE C



CONCRETE TOP UNIT - TYPE M



INLET BOX SUBBASE PREPARATION DETAIL



WEEPHOLE DETAIL

TYPICAL TOP UNIT INLET DETAILS

(SEE PD02T RC-45M & RC-46M, LATEST EDITION, FOR ADDITIONAL NOTES & REQUIREMENTS)

NOTES:

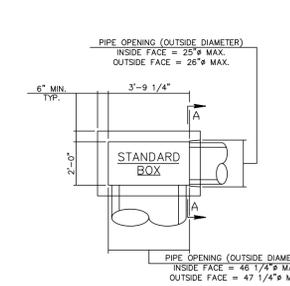
1. SEE RC-45M & RC-46M FOR ADDITIONAL NOTES & REQUIREMENTS.
2. STANDARD INLET BOXES SHOWN. PROVIDE TOP SLABS FOR OTHER INLET BOX TYPES.
3. SEE RC-45M FOR DETAILS FOR THE CONCRETE TOP UNITS, FRAMES, AND GRATES.
4. PROVIDE GRADE ADJUSTMENT RINGS WHEN REQUIRED. SEE RC-45M FOR DETAILS.
5. INLETS MUST INCLUDE "NO DUMPING, DRAINS TO RIVER" PLACARD.

TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS

SPECIFICATIONS: THE DEPARTMENT RECOMMENDS THE USE OF THE PENN STATE PUBLICATION, "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND", AS THE STANDARD TO USE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING, AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM PENN DOT'S PUBLICATION # 408, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT. UPON SELECTION OF A REFERENCE, THAT REFERENCE SHOULD BE USED TO PROVIDE ALL SPECIFICATIONS FOR SEEDING, MULCHING, AND SOIL AMENDMENTS. THE FOLLOWING SPECIFICATION WILL BE USED FOR THIS PROJECT:

(TEMPORARY)	(PERMANENT)	(PERMANENT - STEEP SLOPE)
SPECIES: ANNUAL RYEGRASS	SPECIES: KENTUCKY BLUEGRASS + TURF TYPE PERENNIAL RYEGRASS	SPECIES: FESTUCA RUBRA COMMUNATA + FESTUCA OVINA CLAUSA
APPLY RATE: 40 LB./ACRE	APPLY RATE: 2000 LBS./ACRE TOTAL	APPLY RATE: 250 LB./ACRE
FERTILIZER TYPE: 10-10-10 (X-X-X)	FERTILIZER TYPE: 10-20-20	FERTILIZER TYPE: 10-20-20
FERTILIZER APPL. RATE: 500 LB./ACRE	FERTILIZER APPL. RATE: 1000 LB./ACRE	FERTILIZER APPL. RATE: 1000 LB./ACRE
LIMING RATE: 1 T./ACRE	LIMING RATE: 6 T./ACRE	LIMING RATE: 6 T./ACRE
MULCH TYPE: STRAW	MULCH TYPE: STRAW	MULCH TYPE: STRAW
MULCHING RATE: 3 T./ACRE	MULCHING RATE: 3 T./ACRE	MULCHING RATE: 3 T./ACRE
	ANCHOR MATERIAL: NON-ASPHALTIC CON TACK TACKIFIER	ANCHOR MATERIAL: METAL STAPLES
	ANCHORING METHOD: BY SPRAYING EQUIPMENT	ANCHORING METHOD: SEE PD02T PUB 408 SECTION 806.3(A)
	RATE OF ANCHOR MATERIAL APPL.: 50 LB./ACRE	RATE OF ANCHOR MATERIAL APPL.: SEE PD02T PUB 408 SECTION 806.3(A)
	SEEDING SEASON DATES: MARCH 15 - MAY 15	SEEDING SEASON DATES: MARCH 15 - MAY 15
	SEEDING SEASON DATES: AUGUST 16 - OCTOBER 15	SEEDING SEASON DATES: AUGUST 16 - OCTOBER 15

NOTE: IF ANY REVISIONS TO THE SEEDING SPECIFICATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT THE CONSERVATION DISTRICT TO OBTAIN GUIDANCE ON ALTERNATIVE SEEDING SPECIFICATIONS.



NOTES:

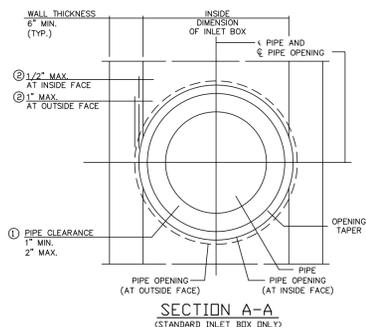
1. FOR ADDITIONAL NOTES, SEE SHEETS 1-3, RC-46M
2. FOR PIPE LOCATION AND PIPE OPENING NOTES, SEE SHEET 2, RC-46M

INLET BOX SCHEMATIC

LEGEND
OUTSIDE FACE - OUTSIDE FACE OF INLET BOX WALL
INSIDE FACE - INSIDE FACE OF INLET BOX WALL

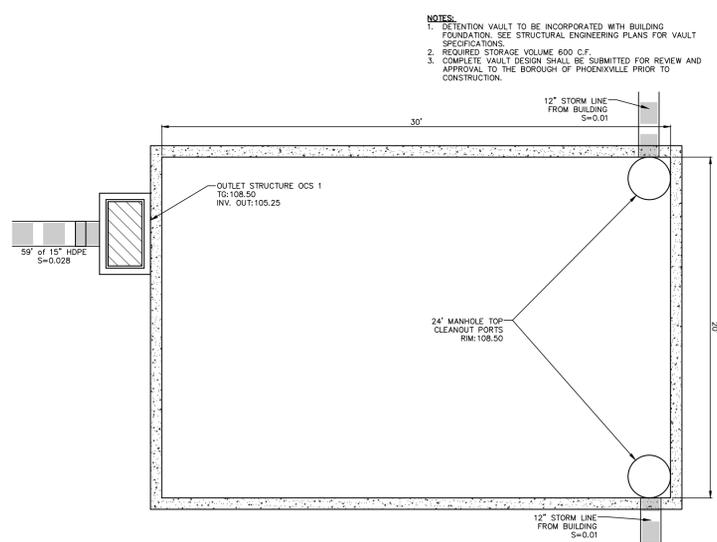
PLAN VIEW STANDARD INLET BOX DETAIL

(SEE PD02T RC-46M, LATEST EDITION FOR ADDITIONAL NOTES & REQUIREMENTS)

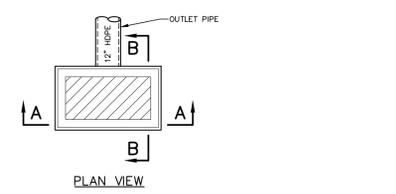


SOILS INFORMATION FACT SHEET														
SOIL										DATE: 6/1/2020				
SYMBOL NAME	TEXTURE	SLOPE %	HYDRO. SOIL GROUP	HYDRIC (INCLUSIONS)	HYDRIC COMPONENT	ERODIBILITY K	DEPTH OF WATER TABLE (Table 6)	DEPTH TO BEDROCK (FT) (Table 6)	WINTER GRADING YES/NO (Table 7)	FROST HEAVING LOW/HIGH (Table 7)	WATERWAYS (Table 7)	BUILDING SITE (Table 7)	ROADFILL (Table 7)	TOPSOIL (Table 7)
UrB	Urban land	0-8%	B	-	-	0.2 to 6.0	>6.5'	>3'						Poor
UrB	Urban land-Penn Complex	0-8%	B	-	-	0.2 to 6.0	>6.5'	>3'						Poor

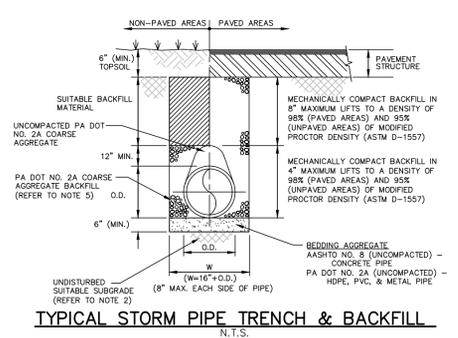
SOILS LIMITATIONS & RESOLUTIONS SHEET			
Project Name: BRIDGE STREET RESIDENT - EAST PROJECT			
CHARACTERISTICS		LIMITATIONS	RESOLUTIONS
DEPTH TO BEDROCK	POOR	RESERVOIR AREAS DIVERSIONS - WATERWAYS TERRACES UTILITIES BUILDING SITES	REVISE DESIGN - RELOCATE NOT ALWAYS POSSIBLE
ROAD FILL	POOR	ROADWAYS	SELECT FILL MATERIAL FROM OTHER AREA OF SITE IMPORT BORROW MATERIAL FROM OFFSITE REVISE DESIGN - RELOCATE ROADWAY GEOTECHNICAL TESTING
TOPSOIL	POOR	VEGETATIVE STABILIZATION EMBANKMENTS HIGH ACIDITY LOW FERTILITY EXCESSIVE DRYNESS EXCESSIVE WETNESS	IMPORT TOPSOIL FOR USE IN PERVIOUS AREAS
FERTILITY	Low		SOIL TESTS SELECT TOLERANT SPECIES SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES
ERODIBILITY	K > 0.36	DIVERSIONS - WATERWAYS TERRACES GRASSES WATERWAYS SLOPES LANDSCAPING	TEMPORARY CHANNEL LINING GRASSES WITH GREATER RETARDANCE PERMANENT LINING REVISE CHANNEL GEOMETRY (SLOPE, WIDTH) SLOPE PROTECTION LIMIT TIME OF EXPOSURE SEE CHANNEL WORKSHEET CALCULATIONS SEE DETAIL SHEET SEE DETAIL SHEET SEE CONSTRUCTION SCHEDULE



UNDERGROUND DETENTION VAULT



OUTLET STRUCTURE OCS 1



TYPICAL STORM PIPE TRENCH & BACKFILL

- NOTES:**
1. EXCAVATE TRENCH BOX AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES.
 2. IF UNSUITABLE MATERIAL IS FOUND, UNDERCUT AS DIRECTED BY THE ENGINEER AND BACKFILL WITH SUITABLE MATERIAL TO BOTTOM OF BEDDING ELEVATION.
 3. KEEP EXCAVATIONS DRY AND FREE OF WATER. INTERCEPT AND DIVERT SURFACE DRAINAGE AWAY FROM EXCAVATIONS. DEWATER ANY PRECIPITATION AND SUBSURFACE WATER FROM EXCAVATIONS.
 4. DO NOT ADVANCE TRENCHING OPERATIONS MORE THAN 200 FEET AHEAD OF COMPLETED PIPELINE.
 5. ALL TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH FULL DEPTH PA DOT NO. 2A COARSE AGGREGATE.

BY	MTG
DATE	JJH
07/23/2020	09/10/2020
REVISIONS	
1. BOROUGH SUBMISSION	
2. BOROUGH RESUBMISSION	



610.935.2175
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1003 Egypt Road
Phoenixville, PA 19460



POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

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- ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
- IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
- IF A SINKHOLE IS ENCOUNTERED ON THE PROJECT SITE, PRIOR TO REPAIRING ANY SINKHOLE, THE CLIENT SHALL CONTACT A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING SO AS TO REPAIR THE SINKHOLE IN ACCORDANCE WITH THE PROFESSIONAL'S SPECIFIC RECOMMENDATIONS. THE REMEDIATION PLAN CHOSEN BY THE PROFESSIONAL ENGINEER SHOULD BE BASED ON THE CHARACTERISTICS OF THE SINKHOLE, THE LOCATION OF THE SINKHOLE ON THE SITE AND THE PLANNED OR POSSIBLE FUTURE DEVELOPMENT AT THE SINKHOLE LOCATION.
- A MINIMUM COVER OF 4 FEET SHALL BE MAINTAINED OVER ALL WATERLINES.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- ALL PROPOSED PIPE SLOPES ARE MEASURED IN FT/FT, UNLESS NOTED OTHERWISE BY PERCENTAGE.
- ALL HOPE SHALL BE SMOOTH BORE INTERIOR, CORRUGATED HIGH DENSITY POLYETHYLENE PIPING WITH WATER-TIGHT BELL AND SPIGOT JOINTS MEETING THE TEST CRITERIA OUTLINED BY ASTM D-3212.
- ALL RCP SHALL BE NEW CLASS III REINFORCED CONCRETE PIPING W/10" RING MEETING OR EXCEEDING ASTM C76 REQUIREMENTS. PIPING SHALL BE SAW CUT AT ENDS, AS NEEDED, AND NOT HAMMERED OR BROKEN.
- TRAFFIC CONTROL SIGNS MUST BE POSTED ON PENNDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH THE MORE RECENT VERSION OF THE TO-8700 SERIES IN PENNDOT PUBLICATION 111M.
- ALL TRAFFIC CONTROL SIGNS SHALL BE POSTED IN ACCORDANCE WITH THE 2009 MUTCD AND THE MOST RECENT VERSION OF PENNDOT PUBLICATION 236M, "HANDBOOK OF APPROVED SIGNS".
- ALL PROPOSED PEDESTRIAN FACILITIES REFLECTED ON THESE PLANS SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING STANDARDS:
 - I PENNDOT DESIGN MANUAL 2, CHAPTER 6
 - I PENNDOT DESIGN STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72M.RC-67M
 - III U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG)
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION.

RECEIVING WATERS FRENCH CREEK
TRIBUTARY TO SCHUYLKILL RIVER,
TSF-MF

LIMIT OF DISTURBANCE: 0.62 ACRES

UTILITY NOTE:
CONTRACTOR SHALL VERIFY ALL
EXISTING UNDERGROUND UTILITIES
PRIOR TO COMMENCEMENT OF WORK

SOIL CLASSIFICATIONS

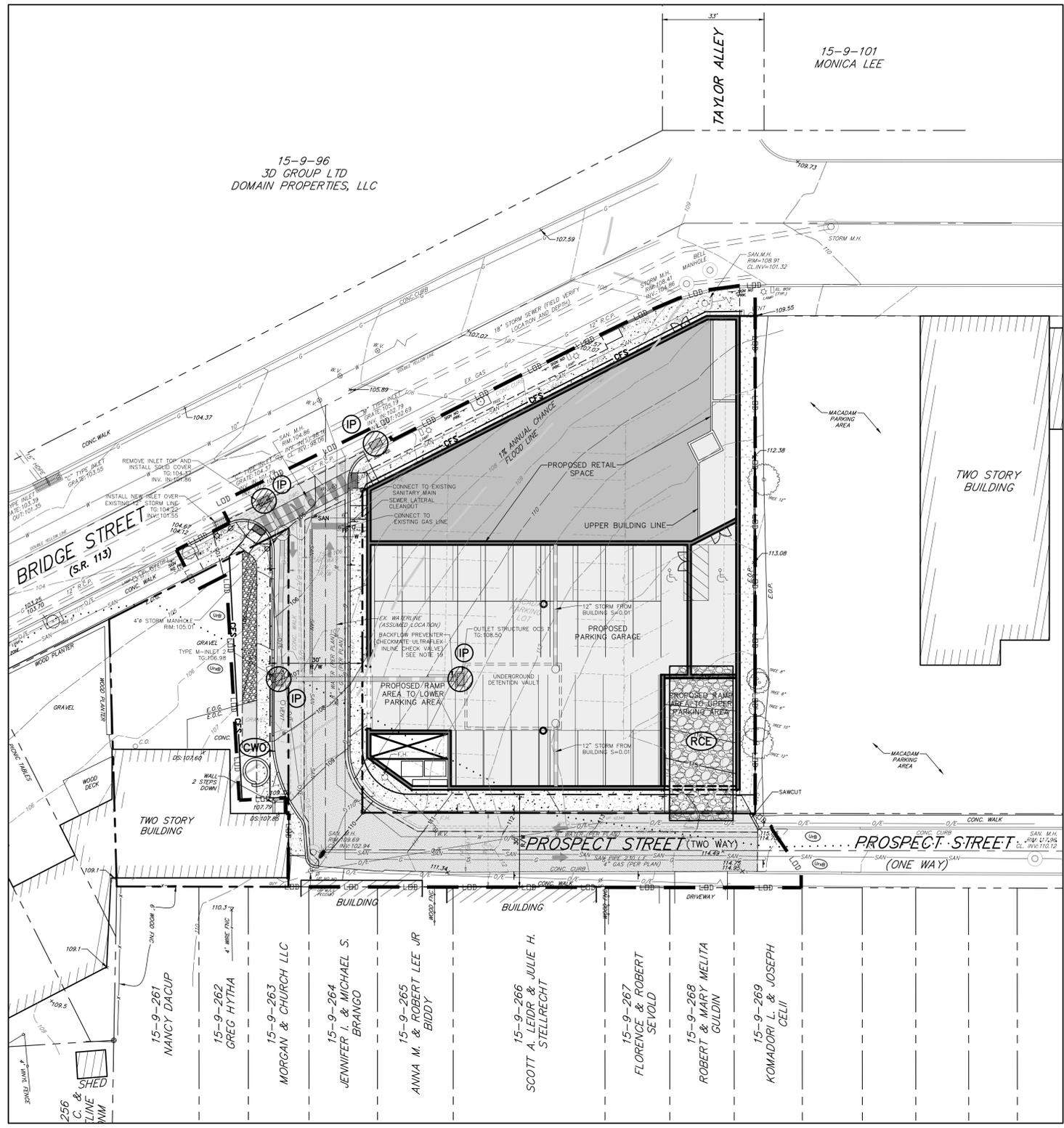
- UrB URBAN LAND, 0 TO 8 PERCENT SLOPES
- UrxB URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES

SOILS

ON-SITE SOILS CONSISTS OF URBAN LAND AND URBAN LAND-PENN COMPLEX SOILS WITH HYDROIC SOIL GROUP B.

PCSM PLANNING AND DESIGN NOTES

THIS PROJECT MINIMIZES IMPERVIOUS AREA BY PROVIDING AN EFFICIENTLY DESIGNED PARKING AREA THAT ONLY ADDS THE NECESSARY IMPERVIOUS AREA REQUIRED FOR THE PROPOSED USE. THIS PLAN MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION BY REDUCING THE VOLUME AND RUNOFF RATE LEAVING THE SITE. THIS PROJECT MINIMIZES LAND CLEARING AND GRADING BY LIMITING IMPACTS TO PREVIOUSLY DISTURBED AREAS WITHIN THE CAMPUS BOUNDARIES. SOIL COMPACTION WAS MINIMIZED BY LIMITING THE IMPACTS TO PREVIOUSLY DISTURBED AREAS WITHIN THE CAMPUS BOUNDARIES. THE DETENTION BASIN AND SPRAY IRRIGATION SYSTEM WERE UTILIZED TO PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.



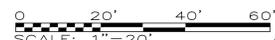
EROSION AND SEDIMENT POLLUTION CONTROL LEGEND

SYMBOL	ID	DESCRIPTION
	IP	INLET PROTECTION
	RCE	ROCK CONSTRUCTION ENTRANCE
	LDD	LIMIT OF DISTURBANCE
	CFS	COMPOST FILTER SOCK (18")
	RF	ROCK FILTER
	CWO	CONCRETE WASHOUT

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY		
LOT LINE		
BUILDING SETBACK		
ULTIMATE RIGHT-OF-WAY		
EASEMENT		
BUFFER YARD		
CURBING		
BUILDING		
PAVEMENT		
CONCRETE WALKWAY		
SOIL BOUNDARY		
UTILITY POLE		
OVERHEAD ELECTRIC		
WATER MAIN & VALVE		
FIRE HYDRANT		
GAS MAIN & VALVE		
SANITARY LINE, MANHOLE, & CLEANOUT		
STORM LINE, MANHOLE, & INLET		
CHAIN-LINK FENCE		
POST/SPLIT RAIL FENCE		
WOOD FENCE		
SIGN		
DECIDUOUS TREE		
EVERGREEN TREE		
TREE ROW		
CONTOUR		
SPOT ELEVATION		
FLOODPLAIN		
EDGE OF PAVEMENT		
EDGE OF CONCRETE		
EDGE OF SHOULDER		
CENTERLINE		
PROPERTY LINE		
BITUMENOUS		
TYPICAL (TYP.)		
DETECTABLE WARNING SYSTEM		
TO BE REMOVED		
TO BE REPLACED		
RELOCATE		
FINISHED FLOOR		
DOOR SILL		
NOTE:	VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES	

PLAN PREPARER: PAUL T. SCHMOLL, PE.
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BY	MTG
DATE	07/23/2020
REVISIONS	1. BOROUGH SUBMISSION 2. BOROUGH RESUBMISSION



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Phoenixville, PA 19380



EROSION & SEDEMENTATION CONTROL PLAN
BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
SCALE:	1" = 20'	CHK:	KJL
DRAWN:	MTG	APPRD:	KJL
JOB:	1044719.000	P MGR:	PTS

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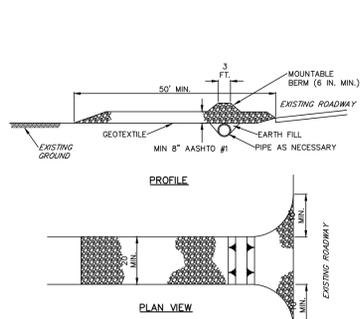
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Know what's below.
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SITE SERIAL #20192002637

EROSION & SEDIMENT CONTROL NOTES

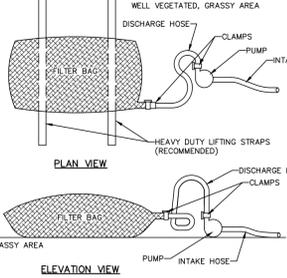
- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE BOROUGH ENGINEER SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTION MATERIAL.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE BOROUGH ENGINEER.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY MATERIAL BROUGHT ON SITE. A CLEAN FILL FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT AREA ONTO THE PUBLIC ROADWAY. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, UPGRADE, RESEEDING, REMULCHING AND RENOVATING MUST BE PERFORMED IMMEDIATELY UPON THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL MULCH, SHOVELS, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED OUTSLOPES OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL GOVERNMENT OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBSTRUCTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILL.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF SURFACE WATER OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR MOTHER MOVEMENTS.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE REVIEWING AGENCY AND DESIGN ENGINEER.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE REVIEWING AGENCY FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR/CRIMINAL PENALTIES FOR EACH VIOLATION.
- IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE CHESTER COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATELY.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX E4, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- THE GROUND SURFACE SHALL BE WATERED UNTIL MOIST TO CONTROL DUST. STONE MAY ALSO BE PLACED ON CONSTRUCTION ROADS AND ENTRANCES TO CONTROL DUST. MULCH MAY ALSO BE USED IN AREAS WHERE VEGETATION CANNOT BE ESTABLISHED FOR DUST CONTROL.



STANDARD CONSTRUCTION DETAIL #3-1

ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4854	60 LB./IN.
GRAB TENSILE	ASTM D-4832	200 LB.
PUNCTURE	ASTM D-4833	110 LB.
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ADS % RETAINED	ASTM D-4751	80 SEIVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 8% FOR SLOPES EXCEEDING 8% OR CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR TV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLAGGED AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16

PUMPED WATER FILTER BAG

NOT TO SCALE

TEMPORARY AND PERMANENT SEEDING SPECIFICATIONS

SPECIFICATIONS: THE DEPARTMENT RECOMMENDS THE USE OF THE PENN STATE PUBLICATION, "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND", AS THE STANDARD TO USE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING, AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM PENN DOT'S PUBLICATION # 408, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT. UPON SELECTION OF A REFERENCE, THAT REFERENCE SHOULD BE USED TO PROVIDE ALL SPECIFICATIONS FOR SEEDING, MULCHING, AND SOIL AMENDMENTS. THE FOLLOWING SPECIFICATION WILL BE USED FOR THIS PROJECT:

(TEMPORARY)	
SPECIES:	ANNUAL RYEGRASS
PURE LIVE SEED:	98 LB./ACRE
APPLICATION RATE:	40 (X-X-X)
FERTILIZER TYPE:	10-10-10
FERTILIZER APPL. RATE:	500 LB./ACRE
LIMING RATE:	1 T./ACRE
MULCH TYPE:	STRAW
MULCHING RATE:	3 T./ACRE
(PERMANENT)	
TOPSOIL PLACEMENT DEPTH:	6 IN.
SPECIES:	KENTUCKY BLUEGRASS + TURF TYPE PERENNIAL RYEGRASS, FINE FESCUE (RED OR CHEWING)
PURE LIVE SEED:	98 LB./ACRE
APPLICATION RATE:	200 LBS./ACRE (TOTAL)
FERTILIZER TYPE:	10-20-20 (X-X-X)
FERTILIZER APPL. RATE:	1000 LB./ACRE
LIMING RATE:	6 T./ACRE
MULCH TYPE:	STRAW
MULCHING RATE:	3 T./ACRE
ANCHOR MATERIAL:	NON-ASPHALTIC CON TACK TACKIFIER
ANCHORING METHOD:	BY SPRAYING EQUIPMENT
RATE OF ANCHOR MATERIAL APPL.:	50 LB./ACRE
SEEDING SEASON DATES:	MARCH 15 - MAY 15 AUGUST 16 - OCTOBER 15
(PERMANENT-STEEP SLOPE)	
TOPSOIL PLACEMENT DEPTH:	6 IN.
SPECIES:	FESTUCA RUBRA COMMUNATA + FESTUCA OVINA GLAUCA, FESTUCA OVINA DURISICULA + FESTUCA RUBRA DAWSON, LULIUM MULTIFLORUM + FESTUCA RUBRA, FESTUCA RUBRA TRICHOPHYLLA
PURE LIVE SEED:	98 LB./ACRE
APPLICATION RATE:	250 LB./ACRE
FERTILIZER TYPE:	10-20-20 (X-X-X)
FERTILIZER APPL. RATE:	1000 LB./ACRE
LIMING RATE:	6 T./ACRE
MULCH TYPE:	STRAW
MULCHING RATE:	3 T./ACRE
ANCHOR MATERIAL:	EROSION CONTROL BLANKETS/MATS
ANCHORING METHOD:	METAL STAPLES
RATE OF ANCHOR MATERIAL APPL.:	50 LB./ACRE
SEEDING SEASON DATES:	MARCH 15 - MAY 15 AUGUST 16 - OCTOBER 15

NOTE:

IF ANY REVISIONS TO THE SEEDING SPECIFICATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT THE CONSERVATION DISTRICT TO OBTAIN GUIDANCE ON ALTERNATIVE SEEDING SPECIFICATIONS.

CONSTRUCTION SCHEDULE

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE POSM PLAN PREPARER, TO AN ON-SITE PRECONSTRUCTION MEETING.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE BOROUGH ENGINEER. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

IMMEDIATELY STABILIZE ALL DISTURBED AREAS UPON TEMPORARY CESSATION OF WORK (4 DAYS OR LONGER) OR AS SOON AS ANY GRADED AREA REACHES FINAL GRADE.

NO AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, SHOULD REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED.

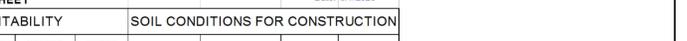
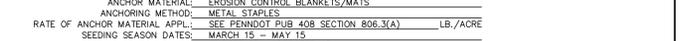
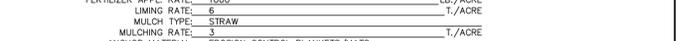
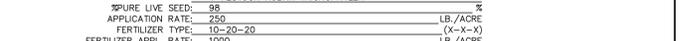
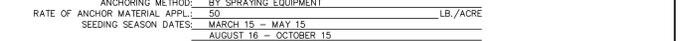
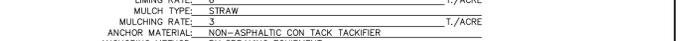
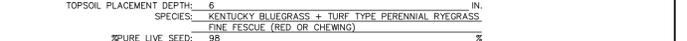
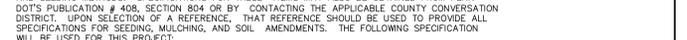
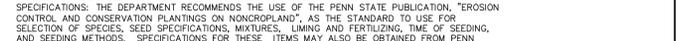
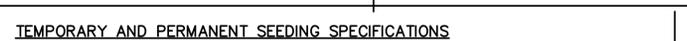
ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

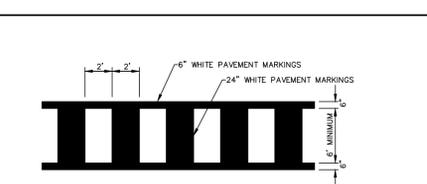
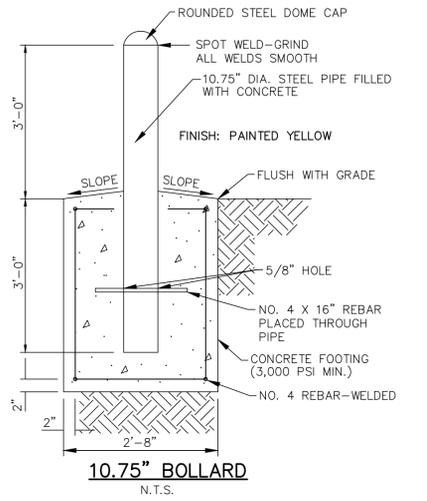
SEQUENCE OF CONSTRUCTION

- REMOVE ENOUGH PAVEMENT TO INSTALL RCE. NOTE THAT THIS IS THE ONLY POINT OF ACCESS FOR VEHICLES FOR THIS PROJECT.
- INSTALL J-HOOK COMPOST SOCKS, CONCRETE WASHOUT, AND ALL INLET PROTECTION FOR THE EXISTING INLETS.
- DEMOLISH EXISTING SIGNS, PAVEMENT AND CONCRETE FOR BUILDING CONSTRUCTION.
- INSTALL ALL SITE UTILITIES.
- EXCAVATE AND INSTALL THE UNDERGROUND DETENTION SYSTEM AND BUILDING FOUNDATION. PROCEED WITH BUILDING CONSTRUCTION. PROVIDE PIPE CONVEYANCE FROM UNDERGROUND DETENTION VALVE TO BRIDGE STREET CONNECTION POINT BEFORE CONNECTING ROOF LEADERS TO VAULT. AUD INLET PROTECTION TO NEW INLET ONCE INSTALLED.
- ONCE BUILDING FOUNDATIONS ARE INSTALLED AND AREA IS STABILIZED, CONSTRUCT PROSPECT STREET WIDENING.
- SPREAD TOPSOIL AND SEED AND STABILIZE ALL NON-IMPERVIOUS AREAS.
- REMOVE ALL REMAINING EROSION AND SEDIMENT POLLUTION CONTROL MEASURES FOR THIS SUBAREA. STABILIZE ANY AREAS DISTURBED FROM THE REMOVAL OF THE CONTROL MEASURES.

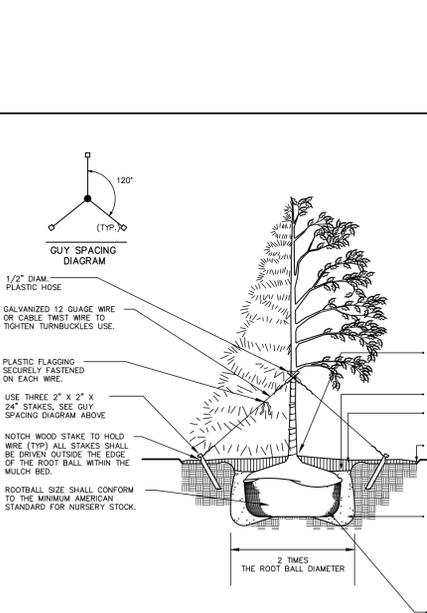
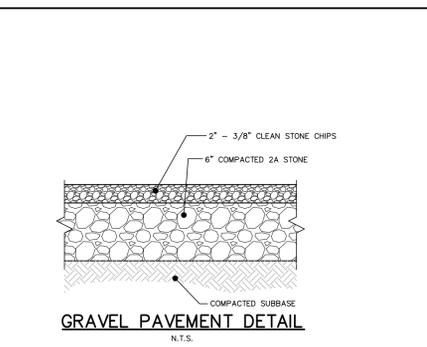
SOILS INFORMATION FACT SHEET										Date: 6/1/2020				
SOIL		SUITABILITY			SOIL CONDITIONS FOR CONSTRUCTION									
SYMBOL NAME	TEXTURE	SLOPE %	HYDRO. SOIL GROUP	HYDRIC (INCLUSIONS)	HYDRIC COMPONENT	ERODIBILITY K	DEPTH OF WATER TABLE (Table 6)	DEPTH TO BEDROCK (FT) (Table 6)	WINTER GRADING (Table 7)	FROST HEAVING LOW/HIGH (Table 7)	WATERWAYS (Table 7)	BUILDING SITE (Table 7)	ROADFILL (Table 7)	TOPSOIL (Table 7)
UB	Urban land	0.8%												
UxB	Urban land-Penn Complex	0.8%	B			0.2 to 6.0	>6.5'	>3'						Poor

SOILS LIMITATIONS & RESOLUTIONS SHEET			
Project Name: BRIDGE STREET RESIDENT - EAST PROJECT			
CHARACTERISTICS		LIMITATIONS	RESOLUTIONS
DEPTH TO BEDROCK		RESERVOIR AREAS DIVERSIONS - WATERWAYS TERRACES UTILITIES BUILDING SITES	REVISE DESIGN - RELOCATE NOT ALWAYS POSSIBLE
ROAD FILL	POOR	ROADWAYS	SELECT FILL MATERIAL FROM OTHER AREA OF SITE IMPORT BORROW MATERIAL FROM OFFSITE REVISE DESIGN - RELOCATE ROADWAY GEOTECHNICAL TESTING
TOPSOIL	POOR	VEGETATIVE STABILIZATION EMBANKMENTS HIGH ACIDITY LOW FERTILITY EXCESSIVE DRYNESS EXCESSIVE WETNESS	SOIL TESTS SELECT TOLERANT SPECIES IMPORT TOPSOIL FOR USE IN PERVIOUS AREAS
FERTILITY	LOW		SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES
ERODIBILITY	K > 0.36	DIVERSIONS - WATERWAYS TERRACES GRASSES WATERWAYS SLOPES LANDSCAPING	SEE CHANNEL WORKSHEET CALCULATIONS SEE DETAIL SHEET SEE DETAIL SHEET SEE CONSTRUCTION SCHEDULE

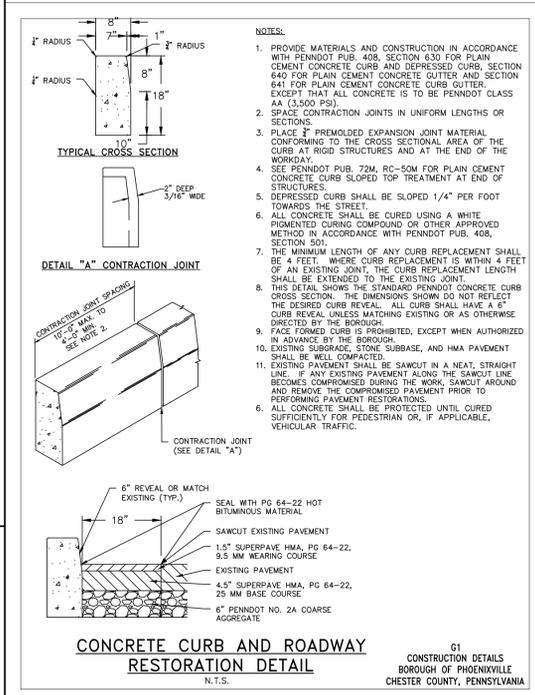




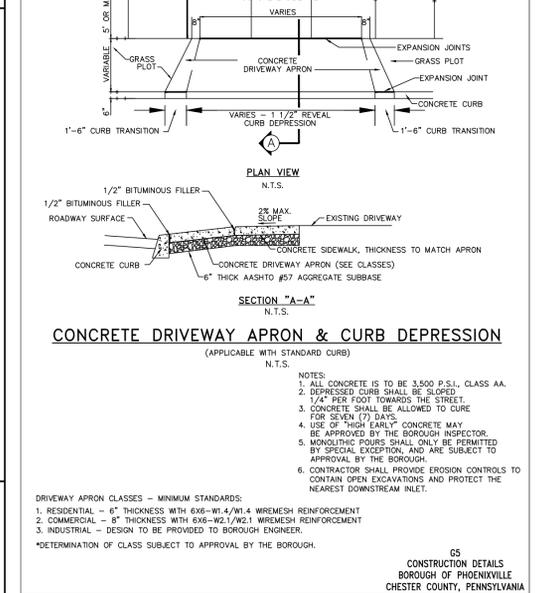
CROSSWALK DETAIL
N.T.S.



NOTES:
1. REMOVE PLASTIC, PAPER, OR FIBER POTS FROM CONTAINERIZED PLANT MATERIAL. PULL ROOTS OUT OF THE ROOT MAT, AND CUT CIRCLING ROOTS WITH A SHARP KNIFE. LOOSEN THE ROOT MAT IMMEDIATELY AFTER REMOVING THE CONTAINER. INSTALL THE PLANT SUCH THAT THE ROOTS DO NOT DRY OUT. PACK PLANTING MIX AROUND THE EXPOSED ROOTS WHILE PLANTING AND WATER THOROUGHLY WHEN SOIL IS PLACED. IF WATER DOES NOT INFLTRATE, CONSULT WITH THE LANDSCAPE ARCHITECT BEFORE PROCEEDING. IF THE WATER INFILTRATES WITHIN 30 MINUTES, COMPLETE THE BACKFILL AND FORM A SAUCER AROUND THE TREE. WATER AGAIN.
2. ALL TREES SHALL BE STAKED PER THE STAKING DETAIL ABOVE. CONTRACTOR SHALL MAINTAIN THE STAKING FOR A PERIOD OF NO LESS THAN 1 YEAR. RE-STAKE AND ADJUST TREES AS NEEDED DURING THIS PERIOD.



CONCRETE CURB AND ROADWAY RESTORATION DETAIL
N.T.S.

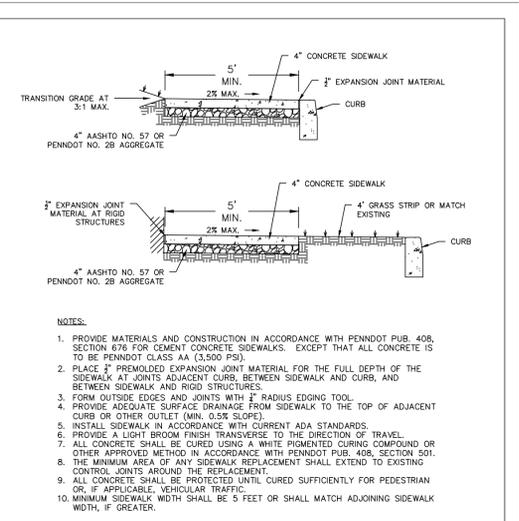


CONCRETE DRIVEWAY APRON & CURB DEPRESSION
(APPLICABLE WITH STANDARD CURB)
N.T.S.

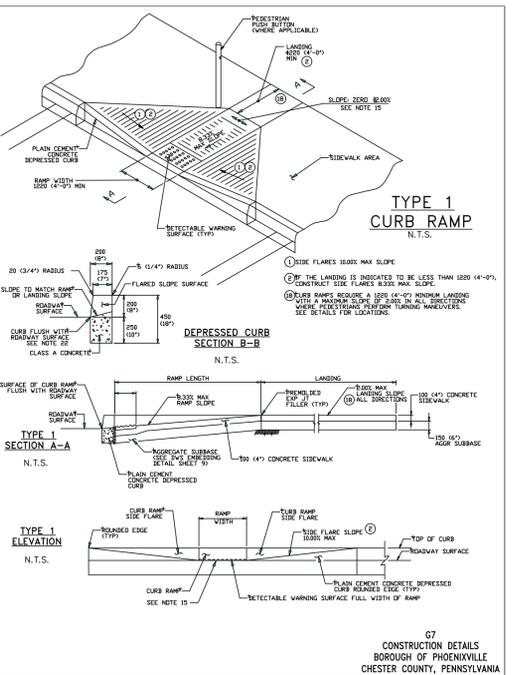
DRIVEWAY APRON CLASSES - MINIMUM STANDARDS:
1. RESIDENTIAL - 6" THICKNESS WITH 6X6-W/4/W/4 WIREMESH REINFORCEMENT
2. COMMERCIAL - 8" THICKNESS WITH 6X6-W/2/W/2.1 WIREMESH REINFORCEMENT
3. INDUSTRIAL - DESIGN TO BE PROVIDED TO BOROUGH ENGINEER
*DETERMINATION OF CLASS SUBJECT TO APPROVAL BY THE BOROUGH.

NOTES:
1. ALL CONCRETE IS TO BE 3,500 P.S.I., CLASS AA.
2. DEPRESSED CURB SHALL BE SLOPED 1/4" PER FOOT TOWARDS THE STREET.
3. CONCRETE SHALL BE ALLOWED TO CURE FOR SEVEN (7) DAYS.
4. USE OF "HIGH EARLY" CONCRETE MAY BE APPROVED BY THE BOROUGH INSPECTOR.
5. MONOLITHIC POURED SHALL ONLY BE PERMITTED BY SPECIAL EXCEPTION AND ARE SUBJECT TO APPROVAL BY THE BOROUGH.
6. CONTRACTOR SHALL PROVIDE EROSION CONTROLS TO CONTROL OPEN EXCAVATIONS AND PROTECT THE NEAREST DOWNSTREAM INLET.

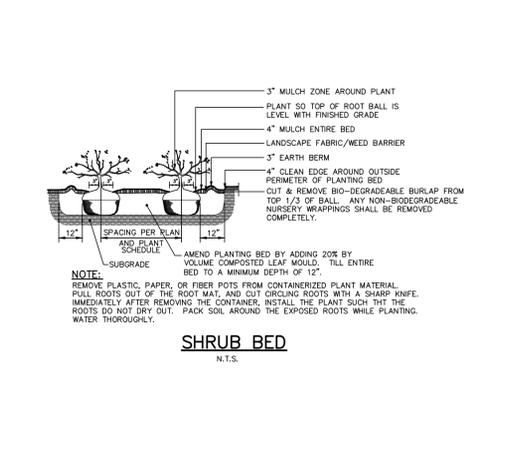
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



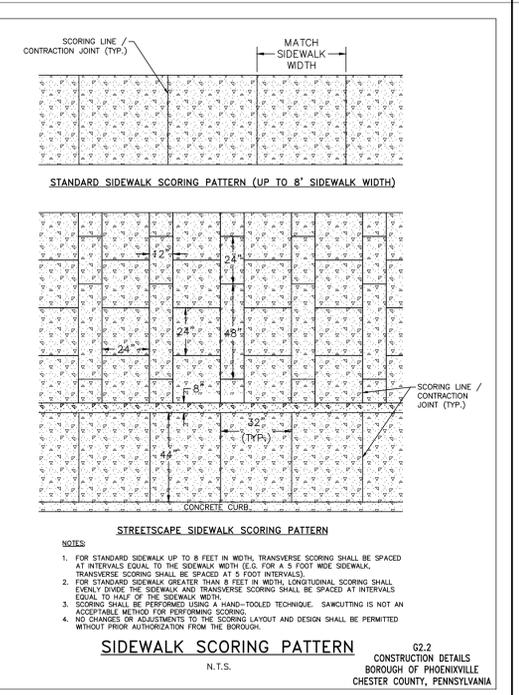
CEMENT CONCRETE SIDEWALK
N.T.S.



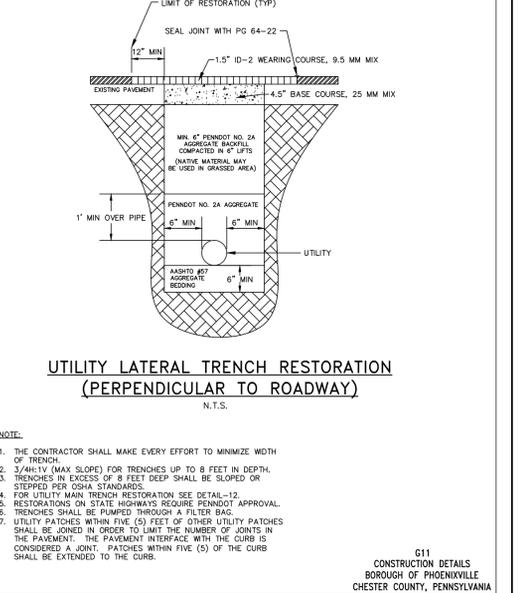
TYPE 1 CURB RAMP
N.T.S.



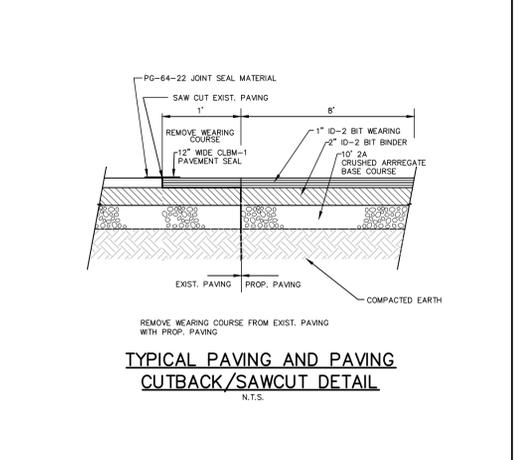
SHRUB BED
N.T.S.



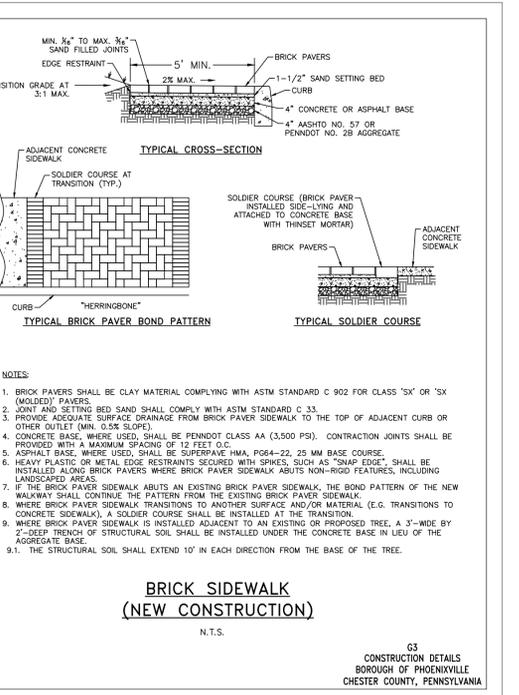
SIDEWALK SCORING PATTERN
N.T.S.



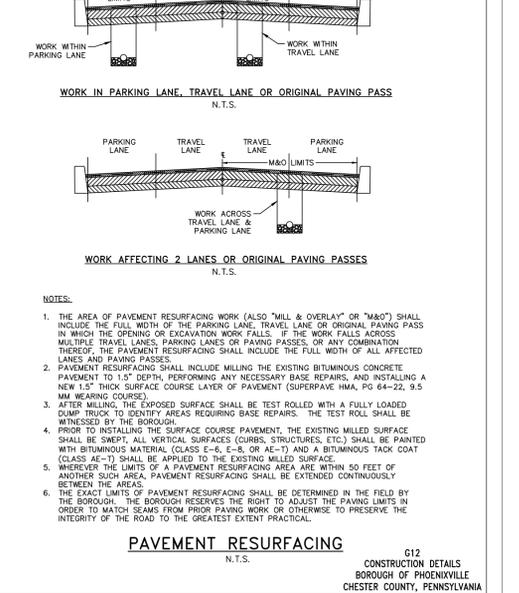
UTILITY LATERAL TRENCH RESTORATION (PERPENDICULAR TO ROADWAY)
N.T.S.



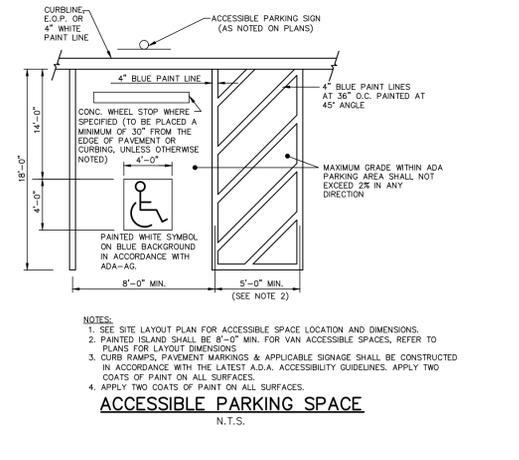
TYPICAL PAVING AND PAVING CUTBACK/SAWCUT DETAIL
N.T.S.



BRICK SIDEWALK (NEW CONSTRUCTION)
N.T.S.



PAVEMENT RESURFACING
N.T.S.



ACCESSIBLE PARKING SPACE
N.T.S.

BY	MTG
DATE	09/10/2020
REVISIONS	1. BOROUGH SUBMISSION 2. BOROUGH RESUBMISSION



610.935.2175
barryisett.com
1003 Egypt Road
Phoenixville, PA 19380

BARRY ISSETT & ASSOCIATES
INC. PROFESSIONAL ENGINEERS AND CONSULTANTS

CONSTRUCTION DETAILS 1
BRIDGE STREET RESIDENCE - EAST
APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
SCALE:	N.T.S.	CHK:	KJL
DRAWN:	MTG	APPR:	KJL
JOB:	1044719.000	P MGR:	PTS
COPYRIGHT 2019			
SHEET: 12 OF 13			

DE-1

SECTION 9000-0500 TREE GRATE

9000-0500.1 DESCRIPTION- This work is the furnishing and installation of the Tree Grates and fixtures as indicated on the drawings and in accordance with the manufacturer's specifications.

9000-0500.2 MATERIALS-

- (a) **Tree Grate Model.** Shall be model EJJW 867633, cast iron ADA undipped, 1/2" max opening, (2) piece grate, 146 lbs, with logo and lettering as shown on drawings. Tree grate and frame model to identically match Phase I Bridge Street Streetscape Project tree grate.
- (b) **Tree Grate Frame Model.** Shall be EJJW 868811, steel ADA (2) two piece frame, 55 lbs (30kg).
- (c) **Manufacturer:**
East Jordan Iron Works, Inc.,
Corporate Office: P.O. Box 439
East Jordan, MI 49727-0439
Phone 1-(800) 626-4653
- (d) **Tree Grate and Frame Materials.**

- Steel Procurement Act: All iron and steel components shall be manufactured in the United States of America. All steel and cast iron castings shall be in compliance with PA Statute 73, Chapter 25-Steel Products Procurement Act.
- Materials: Gray iron castings shall be manufactured from iron conforming to ASTM A48, Class 35B or 30B. The iron material used in products provided shall have a minimum recycled material content of 75%. The recycled materials shall consist of post-consumer material.
- Castings: Castings shall be of uniform quality, free from sand holes, gas holes, shrinkage, cracks and other surface defects. Castings shall be ground smooth and well cleaned by shot blasting. Castings shall be furnished undipped.
- Certification: A foundry certification shall be furnished to the purchaser stating that the products supplied are in accordance with this specification.
- Marking: Each casting shall be identifiable and show, at a minimum, the following: name of the producing foundry, country of manufacture (such as "Made in USA"), individual part number and cast or heat date. Castings shall include all lettering and logo as shown on the drawings.
- Frames: Tree grate frames shall be made in the United States of America and be manufactured from fabricated steel and hot dipped galvanized after manufacture.
- Note section B-B on detail 2, sheet 11 which allows for back of curb frame mounting.

9000-0500.3 CONSTRUCTION-

(a) **Installation.** Install tree grate as shown on the Project Drawings and as follows:

(b) **Concrete Frame Support.** Install concrete frame support as follows-

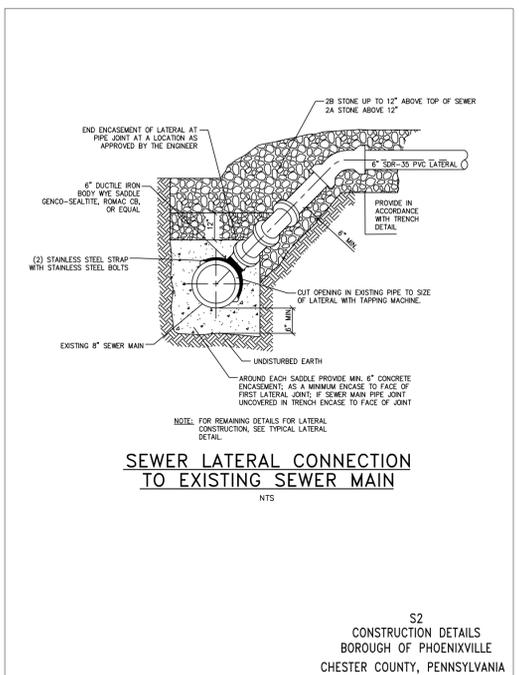
- Excavate, as required, and form the foundation parallel with the finished surface of the sidewalk. If directed, remove unsuitable material as specified in Section 203.1(b). Thoroughly compact the foundation, finish to a firm, even surface; moisten if required.
- Spread aggregate on the prepared foundation to form a thoroughly compacted bed.
- Use acceptable wood or metal forms that extend the full depth of the concrete.
- Prepare tree grate frame to be cast into concrete frame support.
- Concrete- As specified in Section 1001.3. Place concrete as shown on drawings. Strike off, finish, and test, as specified in Sections 501.3(k) and (p), except that manual operations are allowed and a wood float finish applied. Form outside edges and joints with a 6 mm (1/4-inch) radius-edging tool.
- Finish concrete surfaces with wood float.
- Place a tooled control joint every 10 feet.
- Clean joints of all scale, dirt, curing compound, and other foreign material. Follow manufacturer's installation instructions.
- Do not remove side forms until at least 12 hours after placing concrete. After removal of forms, fill minor honeycombed areas with mortar. As directed, remove and replace defective major honeycombed areas.

(c) **Installation of Tree grates.** Install tree grates and tree grate frames at the locations indicated on the drawings, and following the manufacturer specifications.

- Fasten frame to back of curb using 3/8" x 3" large diameter tapcon or 3/8" x 3" lag bolt and lag shield.

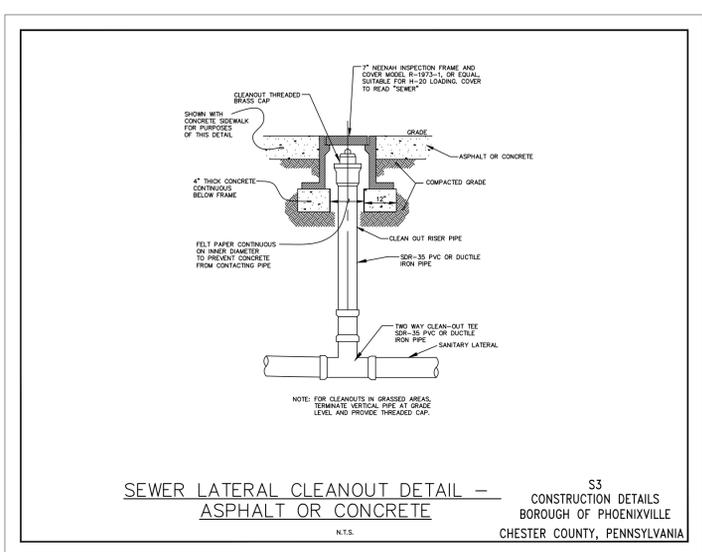
(d) **Submit Product Data** - Include all components, dimensions, profiles, finishes, accessories, and hardware. Submit manufacturer installation instructions. Submit grate and frame samples to Borough Representative for review and approval prior to ordering.

9000-0500.4 MEASUREMENT AND PAYMENT: Each tree grate assembly including all items described above



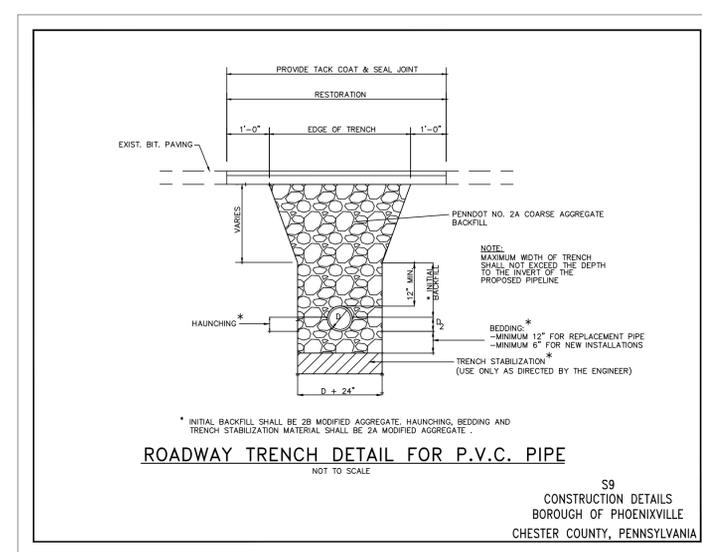
SEWER LATERAL CONNECTION TO EXISTING SEWER MAIN
NTS

S2
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



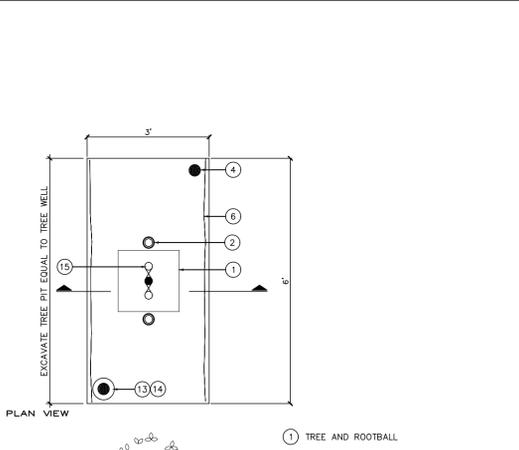
SEWER LATERAL CLEANOUT DETAIL - ASPHALT OR CONCRETE
NTS

S3
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



ROADWAY TRENCH DETAIL FOR P.V.C. PIPE
NOT TO SCALE

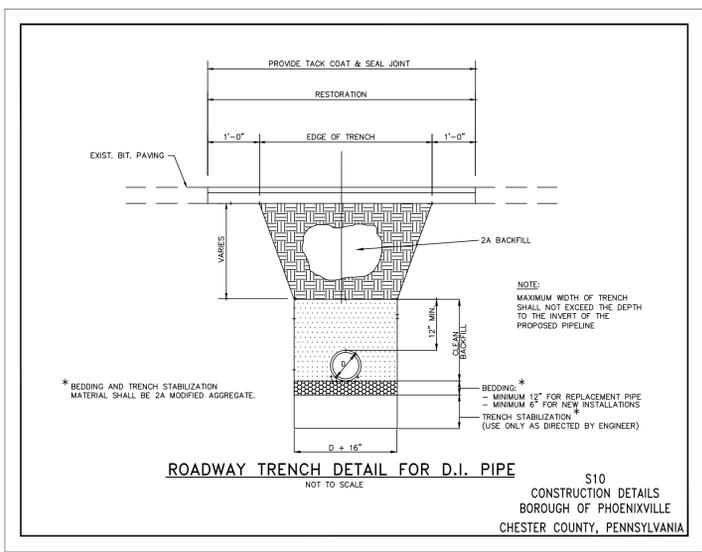
S9
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



TREE PIT DETAIL
NTS

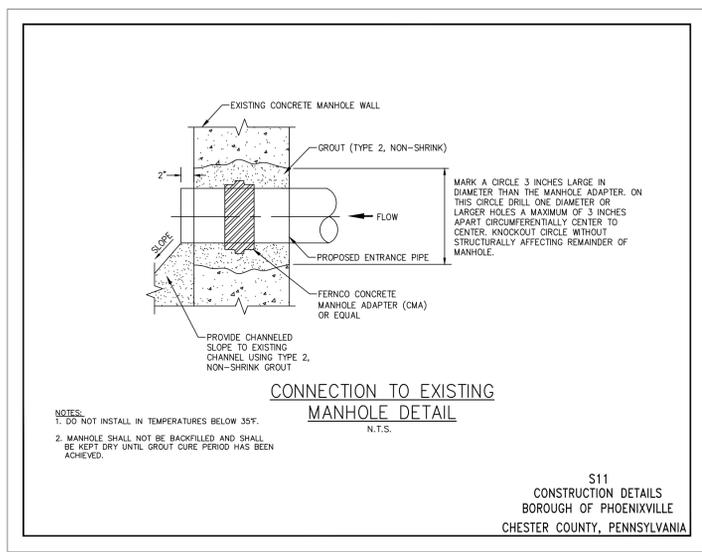
- 1 TREE AND ROOTBALL
- 2 IRRIGATION HEAD SEE IRRIGATION DETAILS
- 3 TREE GRATE
- 4 4" DIA. AERATION/ BREATHER TUBES W/ GRATE
- 5 CONCRETE CURB SEE CIVIL PLANS
- 6 ROOT BARRIER PER SPECS. SEE DETAIL 3/14-D
- 7 PLANT TABLETS PER SPECS.
- 8 1/2 CU.FT. CRUSHED AGGREGATE
- 9 SUBGRADE
- 10 SET ROOTBALL 1" ABOVE FINISH GRADE
- 11 2" CRUSHED ROCK MULCH PER SPECS.
- 12 BACKFILL MIX PER SPECIFICATIONS
- 13 4" DIA. RIGID PERFORATED PIPE WRAPPED WITH FILTER FABRIC, 4" FLAT DRAIN CAP @ TOP, EMPTY TO BOTTOM (NDZ NO.13 OR EQUAL)
- 14 8" DIA AUGER DRAINAGE SUMP BACKFILLED WITH 3/4" CRUSHED ROCK
- 15 TREE STAKES - (2) 12' LONG LODGEPOLE PINE TREE STAKES AT EDGE OF TREE GRATE OPENINGS
- 16 TREE TIES PER SPECIFICATION

NOTE:
THIS WORK IS THE FURNISHING AND INSTALLATION OF THE TREE GRATES AND FIXTURES AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SEE SECTION 9000-0500 TREE GRATE FOR FULL SPECIFICATIONS



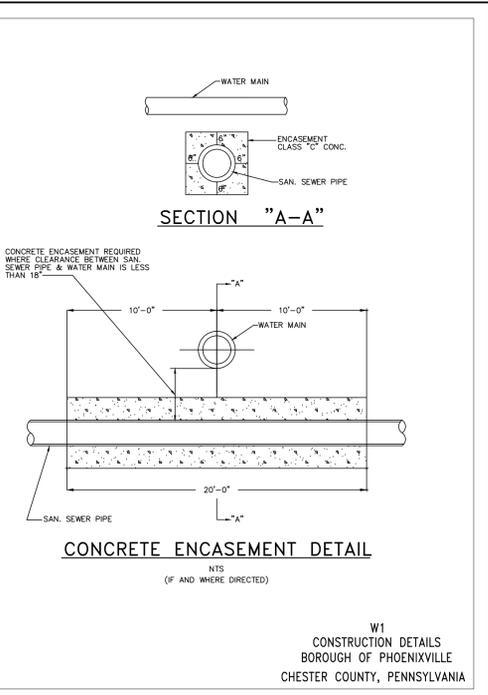
ROADWAY TRENCH DETAIL FOR D.I. PIPE
NOT TO SCALE

S10
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



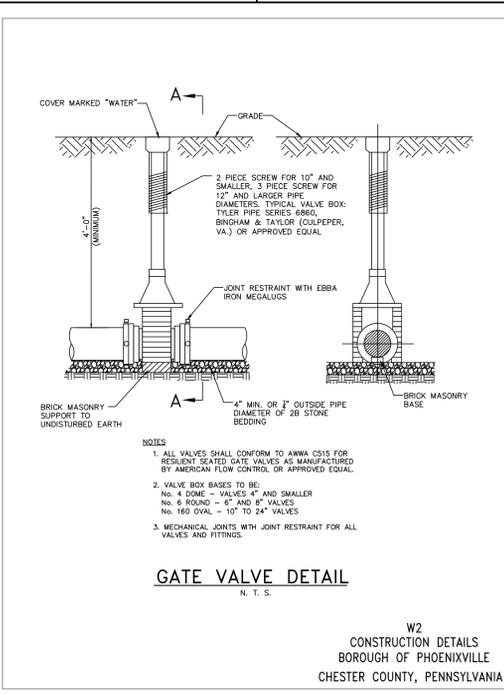
CONNECTION TO EXISTING MANHOLE DETAIL
NTS

S11
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



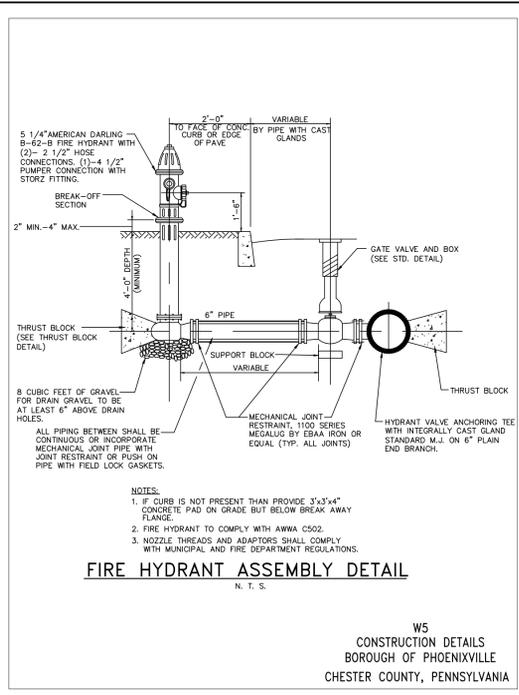
CONCRETE ENCASUREMENT DETAIL
NTS (F AND WHERE DIRECTED)

W1
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



GATE VALVE DETAIL
N. T. S.

W2
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA



FIRE HYDRANT ASSEMBLY DETAIL
N. T. S.

W5
CONSTRUCTION DETAILS
BOROUGH OF PHOENIXVILLE
CHESTER COUNTY, PENNSYLVANIA

BY	MTG
DATE	07/23/2020
REVISIONS	1. BOROUGH SUBMISSION 09/10/2020
	2. BOROUGH RESUBMISSION



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1003 Egypt Road
Phoenixville, PA 19460



CONSTRUCTION DETAILS 2

BRIDGE STREET RESIDENCE - EAST APPLIANCE ALLIANCE
BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PA

DATE:	6/4/20	DSGN:	MTG
SCALE:	N.T.S.	CHK:	KJL
DRAWN:	MTG	APPRD:	KJL
JOB:	1044719.000	P MGR:	PTS

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SHEET: 13 OF 13
DE-2