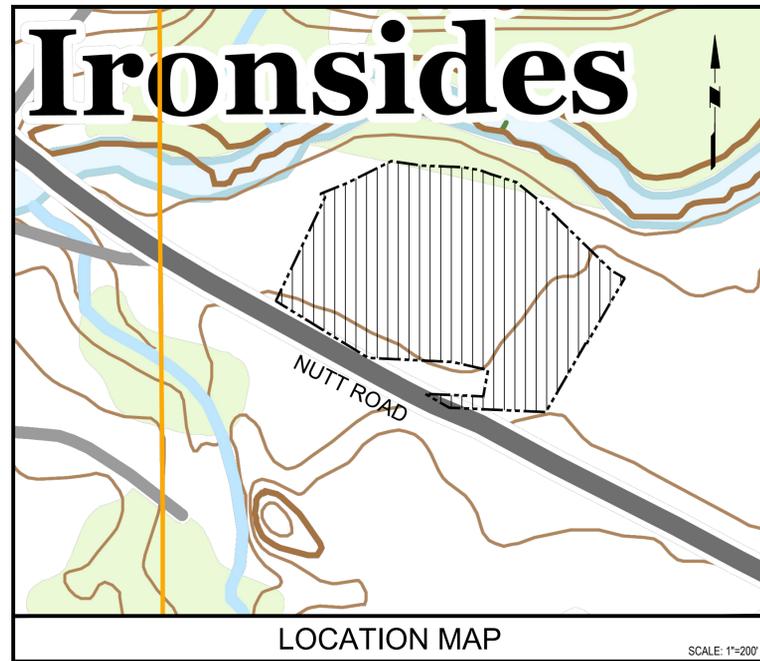


PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

TMP # 15-7-17.1

BOROUGH OF PHOENIXVILLE, CHESTER COUNTY, PENNSYLVANIA



LOCATION MAP

SCALE: 1"=200'

BOROUGH OF PHOENIXVILLE CONTACT LIST

**BOROUGH OF PHOENIXVILLE
ADMINISTRATION OFFICE**
351 BRIDGE STREET,
PHOENIXVILLE, PA 19460
(610) 933-8801

**WATER AND SEWER UTILITY SERVICES
BOROUGH OF PHOENIXVILLE**
351 BRIDGE STREET, 2ND FLOOR
PHOENIXVILLE, PA 19460
(610) 933-8801 (ext. 214)

**FIRE SERVICE
PHOENIXVILLE FIRE DEPARTMENT**
177 CHURCH STREET
PHOENIXVILLE, PA 19460
(610) 933-9717

**ELECTRIC
PECO**
1101 W BRIDGE STREET
PHOENIXVILLE, PA 19460
(949) 437-1000

**POLICE SERVICE
PHOENIXVILLE POLICE DEPARTMENT**
BRIAN MARSHALL, POLICE CHIEF
351 BRIDGE STREET
PHOENIXVILLE, PA 19460
(610) 935-1180

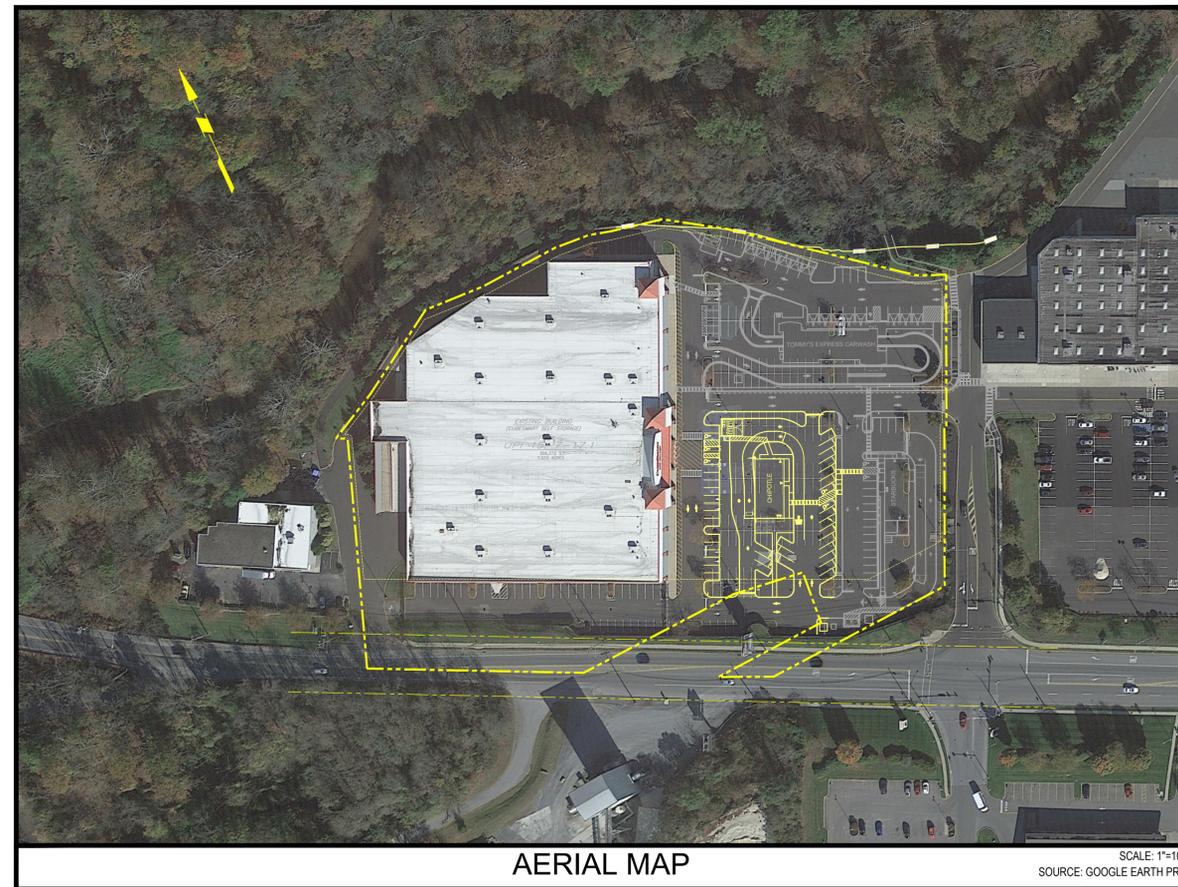
**TELEPHONE
VERIZON**
700 NUTT ROAD
PHOENIXVILLE, PA 19460
(610) 482-4408

**BOROUGH OF PHOENIXVILLE PLANNING COMMISSION
CATHERINE BIANCO, CHAIR PERSON**
351 BRIDGE STREET, 3RD FLOOR
PHOENIXVILLE, PA 19460
(610) 933-8801

**CHESTER COUNTY CONSERVATION DISTRICT
CHRISTIAN E. STROHMAIER, MANAGING DIRECTOR**
688 UNIONVILLE ROAD, SUITE 200
KENNETT SQUARE, PA 19348
(610) 455-1360

**PENN DOT DISTRICT 6
PA DEPARTMENT OF TRANSPORTATION**
7000 GEERDES BOULEVARD
KING OF PRUSSIA, PA 19406
(610) 205-6700

**GAS
PECO**
1101 W BRIDGE STREET
PHOENIXVILLE, PA 19460
(610) 648-7809



AERIAL MAP

SCALE: 1"=100'
SOURCE: GOOGLE EARTH PRO

CIVIL ENGINEER:

arna Engineering Inc.
1456 Ferry Road, Suite 603
Doylestown, PA 18901
Phone: 215.766.8280
Fax: 215.434.5280
ATTN: Chirag V. Thakkar, P.E.

SURVEYOR:

Cavanaugh's Surveying Services
28 East Oakland Avenue
Doylestown, Pennsylvania 18901
Phone: 215.348.8359
ATTN: Patrick Cavanaugh, P.L.S.

RECORD OWNER & APPLICANT:

Nutt Road, LP
C/O Longview Property Group
309 Lancaster Avenue, Suite C-3
Malvern, Pennsylvania 19355
ATTN: Arnold Andersen

ACT 187

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, FOR PAY, ACT UPON TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION. TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITY LINES IN THE AREA.

CALL BEFORE YOU DIG !!
ONE CALL 800-242-1776
OR VISIT US ONLINE AT
WWW.ONECALL.PA.GOV

Penndot One Call System, Inc.
1-800-242-1776



PRELIMINARY DESIGN SERIAL NUMBER: 2025/01039

I hereby certify that the Borough of Phoenixville Planning Commission reviewed this plan and issued its comments to Borough Council prior to Council's adoption of Resolution 2023-_____, which approves this plan as a final plan pursuant to the Borough's Subdivision and Land Development Ordinance.

Catherine Bianco
Planning Commission Chairperson

We hereby certify that the Borough Council of the Borough of Phoenixville, Chester County, Pennsylvania, by its Resolution 202_____, adopted _____, 202_____, approved this plan as a final subdivision and/or land development plan, pursuant to the Borough's then current Subdivision and Land Development Ordinance and the Pennsylvania Municipalities Planning Code and that the Borough, on _____, 202_____, hereby authorizes this plan for recording.

E. Jean Krack
Borough Secretary

Jonathan M. Ewald
Borough Council President

This plan or an earlier version hereof was reviewed by the Chester County Planning Commission on _____, 202_____.
CCPC #LD-03-23-17583

Secretary

AFFIDAVIT OF OWNERSHIP

OWNER:
NUTT ROAD, LP, by and through its General Partner, NUTT ROAD GP, LLC.

By: _____
Arnold F. Andersen, Member/Authorized Signer
Commonwealth of Pennsylvania)
County of Chester) SS:

On this, the _____ day of _____, 2023, before me, the undersigned officer, a Notary Public, personally appeared Arnold F. Andersen, known to me or satisfactorily proven to be the Member/Authorized Signer of NUTT ROAD GP, LLC, whose name is subscribed to the within instrument, and acknowledged that he executed the same on behalf of the corporation for the purposes therein contained. The source of NUTT ROAD, LP, title to the Property is the deed(s) recorded, with the Office ("Recorder's Office") of the Recorder of Deeds in and for Chester County, Pennsylvania, in Record Book _____ beginning at page _____. This plan is NUTT ROAD, LP, act and deed and is authorized by NUTT ROAD, LP, to be recorded with the Recorder's Office and that such recording shall be effective for all purposes. Arnold F. Andersen is authorized by said NUTT ROAD, LP, by and through its General Partner, NUTT ROAD GP, LLC, to make this affidavit.

IN WITNESS THEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires: _____

Drawing Index			
Sheet No.	Drawing No.	Drawing Title	Last Revised
1	GI-001	Cover Sheet	12/17/2025
2	GI-101	Existing Conditions Aerial Plan	12/17/2025
3	EX-101	Existing Conditions Plan	12/17/2025
4	DM-101	Demolition Plan	12/17/2025
5	CS-101	Site Plan	12/17/2025
6	CP-101	Truck Turn and Pavement Plan	12/17/2025
7	CS-501	Site Construction Details	12/17/2025
8	CS-502	Site Construction Details	12/17/2025
9	CG-101	Post-Construction Stormwater Management Grading Plan	12/17/2025
10	CG-110	Post-Construction Stormwater Management Drainage Plan	12/17/2025
11	CG-501	Post-Construction Stormwater Management Details	12/17/2025
12	CE-101	Soil Erosion and Sediment Control Plan	12/17/2025
13	CE-501	Soil Erosion and Sediment Control Details	12/17/2025
14	CU-101	Utility Plan	12/17/2025
15	CU-501	Utility Details	12/17/2025
16	LT-101	Lighting Plan	12/17/2025
17	LT-501	Lighting Details	12/17/2025

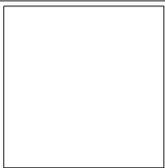
Supplemental Drawings

- "Existing Features Survey" for Parcel UPI 15-7-17.1, Borough of Phoenixville, Chester County, Pennsylvania prepared by Cavanaugh's Surveying Services, dated February 25, 2019.
- "Landscape Plan" prepared by Infocus Planning, dated December 17, 2025.

Borough Engineer's Certification:

I, Owen M. Hyne, a Pennsylvania Professional Engineer, have reviewed this plan, for the Borough, and have determined that it has been amended as required by Borough Resolution 2023-_____, and that, based on the information provided by the Applicant and with any waivers specifically identified and shown hereon, the plan complies with the Borough Subdivision and Land Development Ordinance.

Owen M. Hyne, P.E.
Date: _____



For use by Applicant's Professional Engineer to certify regulatory compliance:

I, Chirag V. Thakkar, a Pennsylvania Professional Engineer, hereby certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land development regulations.

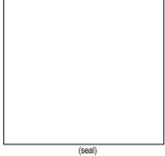
Chirag V. Thakkar, P.E.



For use by Applicant's Professional Land Surveyor to certify regulatory compliance:

I, Patrick Cavanaugh, a Pennsylvania Professional Land Surveyor, hereby certify that the lot lines, streets, rights-of-way and easements shown on this plan were surveyed and plotted by me and are accurate. I further certify that the subdivision and land development shown hereon complies with all applicable regulations including but not limited to the Borough zoning and subdivision and land development regulations and that the error of closure is not greater than 1:10,000.

Patrick Cavanaugh, P.L.S.



RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF CHESTER, AT WEST CHESTER, PA, IN PLAN BOOK _____, PAGE NO. _____ ON _____, 20____.

Recorder of Deeds

2. DECEMBER 17, 2025
1. SEPTEMBER 26, 2025

Drawing Title

GI-001

DATE	REVISIONS	COMMENTS	NO.
12-17-25	REVISED PER BOROUGH	COMMENTS	1

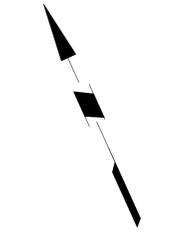
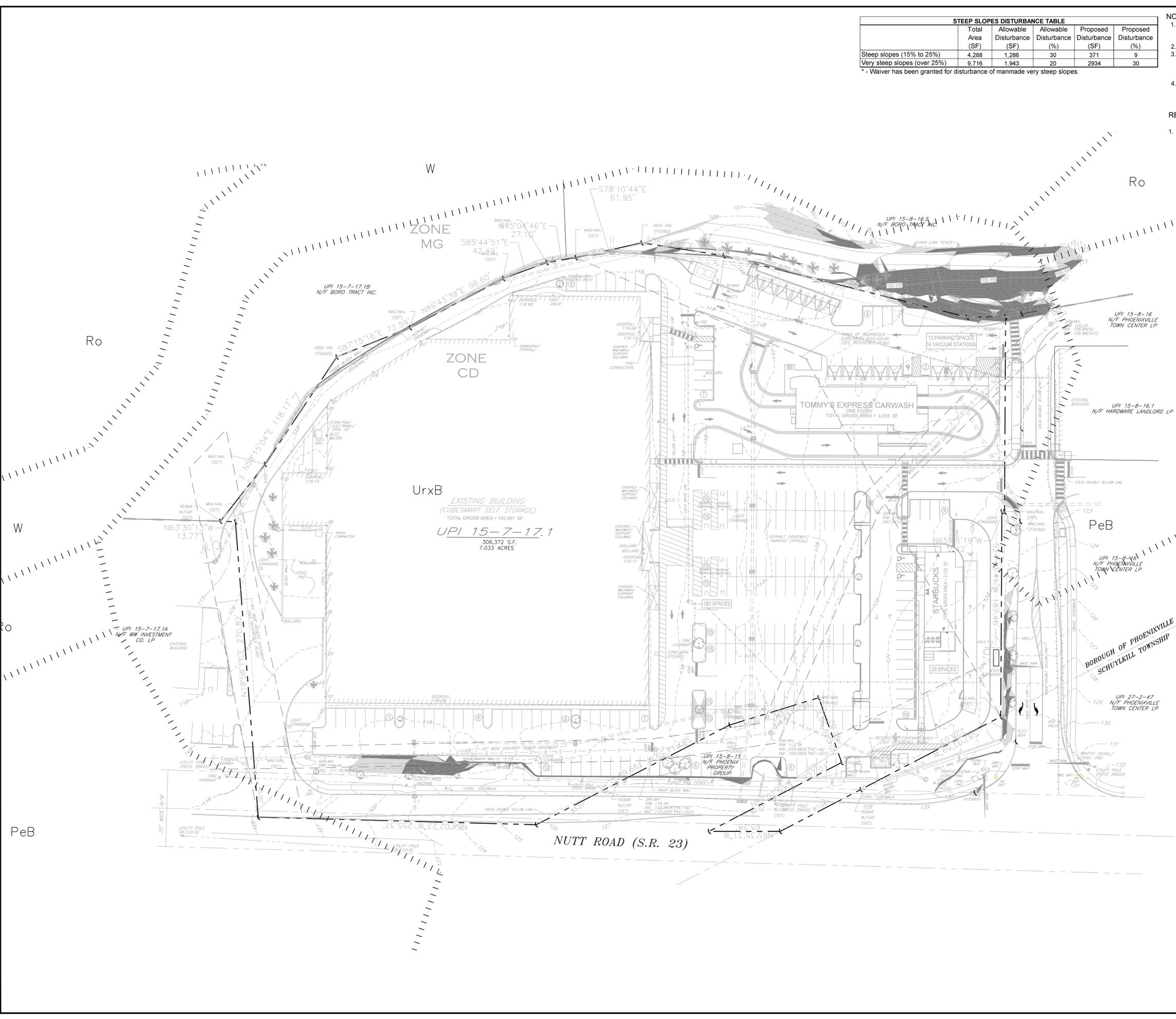
Project No.	230005603
Date	09-26-2025
Scale	1" = 40'
Drawn By	KGP
Checked By	AAB
Drawing No.	EX-101

	Total Area (SF)	Allowable Disturbance (SF)	Allowable Disturbance (%)	Proposed Disturbance (SF)	Proposed Disturbance (%)
Steep slopes (15% to 25%)	4,288	1,286	30	371	9
Very steep slopes (over 25%)	9,716	1,943	20	2934	30

* - Waiver has been granted for disturbance of manmade very steep slopes.

- NOTES:
- THE BOUNDARY AND EXISTING FEATURES AS SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY CAVANAUGH'S SURVEYING SERVICES ON FEBRUARY 25, 2019.
 - EXISTING TOTAL TRACT AREA : 7.03 ACRES
 - THE IMPROVEMENTS FOR STARBUCKS AND TOMMY'S CARWASH ARE BASED ON 1000 NUTT ROAD - PAD SITES PRELIMINARY/FINAL LAND DEVELOPMENT PLANS* PREPARED BY ARNA ENGINEERING INC., LAST REVISED FEBRUARY 9, 2024.
 - 100-YEAR FLOODPLAIN SHOWN ON THIS PLAN IS MAPPED BASED ON BASE FLOOD ELEVATION OF 116.7' (NAVD 88 DATUM) AS DEPICTED ON THE FEMA FIRM PANEL NUMBER 42029C0060G, LAST REVISED ON SEPTEMBER 29, 2017.

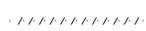
- REFERENCE PLAN:
- PLAN ENTITLED "2005 ALTA/ACSM LAND TITLE SURVEY KMART #9409, PHOENIXVILLE, PA" PREPARED BY LUDGATE ENGINEERING CORP. DATED 3/08/06 AND LAST REVISED 3/31/06.



	25% AND OVER STEEP SLOPES
	15% - 25% STEEP SLOPES

EXISTING SYMBOLS & LINES	
	STORM DRAIN
	SANITARY LINE
	GAS LINE
	WATER LINE
	ELECTRIC LINE
	OVERHEAD WIRE
	FENCE (TYPE AS NOTED)
	TREE LINE
	PROPERTY RIGHT-OF-WAY LINE
	UTILITY EASEMENT
	CONTOUR LINE
	HYDRANT
	STREET LIGHT
	AREA LIGHT
	SIGNAL POLE
	ANCHOR POLE
	MANHOLE (TYPE AS LABELED)
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	CATCH BASIN
	SPOT ELEVATION
	CLEAN OUT
	TREE
	BENCH MARK
	SIGN
	BOLLARD
	METAL COVER
	ELECTRIC BOX
	EXIST. PARKING COUNT

DEMOLITION LEGEND

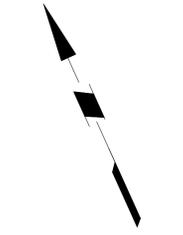
-  AREA OF PAVEMENT TO BE REMOVED
-  AREA OF SIDEWALK TO BE REMOVED
-  EXISTING CURB TO BE REMOVED
-  PAVEMENT SAW CUT LINE LIMIT
-  EXISTING FEATURE TO BE REMOVED

DEMOLITION PLAN NOTES:

1. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
2. THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO IDENTIFY THE LIMITS OF DEMOLITION AND SHALL NOT BE CONSIDERED ALL INCLUSIVE. ADDITIONAL ITEMS MAY BE FOUND THAT SHALL BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL LIMITS & EXTENTS OF DEMOLITION. DEMOLITION OF BUILDINGS IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DEMOLITION LIMITS AND COORDINATION.
3. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF BOROUGH OF PHOENIXVILLE AND OTHER JURISDICTIONAL AGENCIES DEMOLITION AND REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AS WELL AS THE EROSION CONTROL PLANS, SPECIFICALLY THE CONSTRUCTION STAGING.
4. THE CONTRACTOR MUST INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES PER THE APPROVED PLAN PRIOR TO THE START OF EARTH DISTURBING ACTIVITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO SIDEWALK/STREET CLOSING, DEMOLITION, DISPOSAL, AND ASBESTOS ABATEMENT.
6. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALK DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE PHASE ALL CONSTRUCTION ACTIVITY AND EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE PHASE ALL CONSTRUCTION ACTIVITY AND UTILITY INTERRUPTIONS WITH THE OWNER TO MINIMIZE DISTURBANCE.
7. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL OFFSITE PROPERTIES AND STRUCTURES FROM ANY AND ALL DAMAGE DURING THE DEMOLITION OPERATION. THE CONTRACTOR SHALL USE ANY NECESSARY PROTECTION SCREENS, PLATFORMS, BRACING, UNDERPINNING, ETC. TO PROTECT OFFSITE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR OR HISHER AGENTS SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND INSTALLATION OF DEMOLITION / CONSTRUCTION FENCE. THE LIMITS OF FENCE ON THIS PLAN ARE SHOWN FOR GRAPHICAL PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL LIMITS AND THE AMOUNT OF FENCE REQUIRED IN ADDITION TO THE SECURITY OF THE WORK AREA.
9. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND LATERALS. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS IS BASED ON THE SURVEY PREPARED BY OTHERS. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. ADDITIONAL UTILITIES MAY ALSO EXIST. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
10. ALL EXISTING UTILITIES SHOWN MUST NOT BE INTERPRETED AS OF THE EXACT SIZE, DEPTH, MATERIAL, LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR MUST THOROUGHLY VERIFY EXISTING CONDITIONS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO THE ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. WORK UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE ROUTED IF UNDER BUILDING.
11. ALL EXISTING UTILITIES TO BE REMOVED ARE TO BE DISCONNECTED PRIOR TO THE START OF DEMOLITION, ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. CONTRACTOR MUST PROVIDE ADEQUATE TIME FOR RELOCATION AND COORDINATION WITH THE UTILITY COMPANIES TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
12. THE CONTRACTOR SHALL COORDINATE THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
13. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE BOROUGH TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND THROUGH OUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUTOFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
14. THE DEMOLITION CONTRACTOR SHALL COORDINATE DECOMMISSIONING AND REMOVAL OF UTILITY LINES WITH THE UTILITY CONTRACTOR AS TO LOCATION AND CONDITION OF CAPPING. THE ACCESS SHALL REMAIN OPEN AND OPERATION AT ALL TIMES.
15. THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED UTILITY SERVICE TO THE SURROUNDING PROPERTIES AND EXISTING TENANTS AT ALL TIMES.
16. ALL EXISTING UTILITIES THAT ARE NOT TO BE MAINTAINED IN SERVICE SHOULD EITHER BE REMOVED OR REPLACED WITH APPROVED COMPACTED FILL OR BE ABANDONED IN PLACE BY FILLING WITH GROUT AND CAPPING PROVIDED THAT THEY DO NOT INTERFERE WITH ANY OF THE PROPOSED CONSTRUCTION.
17. ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT NOTED TO BE REMOVED MUST BE REMOVED COMPLETELY THROUGHOUT THE SITE TO PERMIT PROPER GRADING AND FILL PLACEMENT AS WELL AS FACILITATE BUILDING CONSTRUCTION AND UTILITY INSTALLATIONS. THE REUSE OF EXISTING PAVEMENTS/SLAB MATERIALS AFTER PROCESSING SHOULD BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND ENVIRONMENTAL STATUTES AND AT THE DIRECTION OF THE OWNER AND GEOTECHNICAL ENGINEER.
18. CONTRACTOR MAY LIMIT SAW CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
19. ALL EXISTING FOUNDATIONS AND ALL SUPPORTING UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINTS AND WITHIN A 10' WIDE ZONE BEYOND THE PROPOSED BUILDING FOOTPRINT LIMITS MUST BE REMOVED AND REPLACED WITH APPROVED STRUCTURAL FILL COMPACTED PER SPECIFICATION. REFER TO GEOTECHNICAL REPORT.
20. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIALS AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATION.
21. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE STATE, FEDERAL & LOCAL REGULATION IF CONTAMINATED MATERIAL IS ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION.
22. LANDSCAPING TO REMAIN IS TO BE PROTECTED DURING ALL SITE WORK.
23. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS / STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. EXCEPT FOR MATERIAL DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
24. CONCRETE REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR SHALL ADJUST REMOVAL AREA AS REQUIRED TO PROVIDE PROPOSED GRADABLE. WHERE PRACTICAL, CONTRACTOR CAN EXTEND LIMITS OF REMOVAL BASED ON LOCATION OF EXISTING CONCRETE JOINTS FOR EASE OF CONSTRUCTION.
25. ASPHALT REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR SHALL ADJUST ASPHALT REMOVAL AREA AS REQUIRED.
26. ASPHALT MILLING - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR SHALL ADJUST ASPHALT MILLING AREA AS REQUIRED.
27. TO THE MAXIMUM EXTENT POSSIBLE, ALL TREES WITHIN THE LIMITS OF DISTURBANCE OF THE DEVELOPMENT SITE SHALL BE PRESERVED AND THE LOSS OR DAMAGE TO TREES EXISTING ON-SITE WHICH ARE TO REMAIN SHALL BE MINIMIZED.



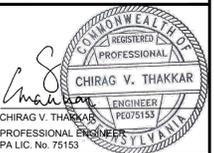
arna Engineering Inc.
1456 Ferry Road, Suite 603
Doyelstown, PA 18901
T: 215.766.8280
F: 215.434.5280



Project
PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE
UPI # 15-7-17.1

PHOENIXVILLE BOROUGH
CHESTER COUNTY PENNSYLVANIA

DEMOLITION PLAN



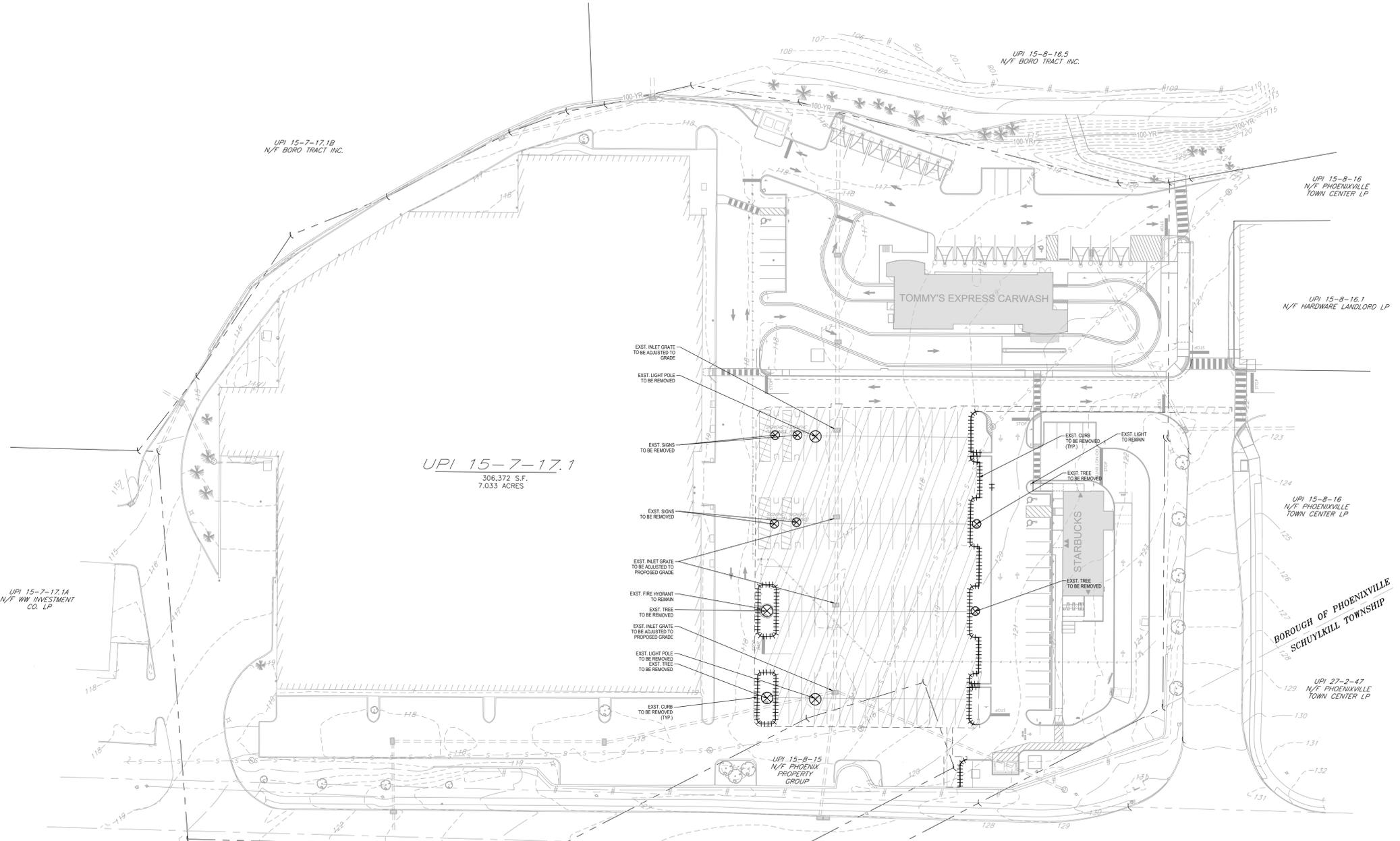
CHIRAG V. THAKKAR
PROFESSIONAL ENGINEER
PA LIC. NO. 75153

DATE	REVISIONS	COMMENTS	NO.
12-17-25	REVISED PER BOROUGH COMMENTS		1

Project No.	230005603
Date	09-26-2025
Scale	1" = 40'
Drawn By	KGP
Checked By	AAB
Drawing No.	DM-101

Project No.	230005603
Date	09-26-2025
Scale	1" = 40'
Drawn By	KGP
Checked By	AAB
Drawing No.	DM-101

DM-101



UPI 15-7-17.1
306,372 S.F.
7.033 ACRES

TOMMY'S EXPRESS CARWASH

STARBUCKS

BOROUGH OF PHOENIXVILLE
SCHUYLKILL TOWNSHIP

NUTT ROAD (S.R. 23)

ACT 187

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER ACT 187 TO CONTACT THE UTILITY COMPANIES FOR WORK ACCURATE LOCATION PRIOR TO ANY EXCAVATION. TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PHOENIXVILLE ONE CALL SYSTEM AT 1-800-242-1778. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT MAKE UTILITY LINES IN THE AREA.

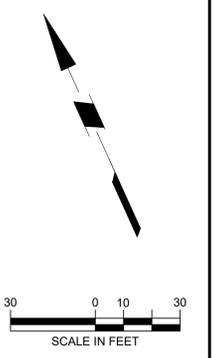


BOROUGH OF PHOENIXVILLE ZONING DATA TABLE			
ITEM	CD - CORRIDOR DEVELOPMENT		PROPOSED
	REQUIRED/PERMITTED	EXISTING	
Zoning District:	CD-CORRIDOR DEVELOPMENT	EXISTING	CD-CORRIDOR DEVELOPMENT
Proposed Use:	Group Home, Hotel/motel, Municipal use, Residential use, Restaurant, Office use, Retail goods and services, Theater and entertainment	Sales/retail, Restaurant drive-through, Automobile sales and services (Carwash)*, Restaurant drive-through	Self-storage***, Restaurant drive-through*, Automobile sales and services (Carwash)*, Restaurant drive-through
Building Type:	Detached	Detached	Detached
Area and Dimensional Requirements	3,000 SF	291,845 SF	291,845 SF
Minimum Lot Area	3,000 SF	291,845 SF	291,845 SF
Minimum Lot Width	30 FT	690 FT	690 FT
Minimum Yards (Building Type: Detached)			
Build to Line	Existing	158.3 FT	158.3 FT
Side	5 FT	16.5 FT	16.5 FT
Rear	16.8 FT	16.8 FT	16.8 FT
Maximum Height	45 FT	< 45 FT	< 45 FT
Maximum Impervious Coverage	90%	87.0%	84.0%
Minimum Building Spacing	10 FT	111.1 FT	100.3 FT
Parking			
In Front Yard	No	Yes**	Yes**
Electric Vehicle Parking Spaces (5% of proposed for Charge)	1.1 Spaces (22 Proposed Spaces)	0 Spaces	2 Spaces
Available for Public Use	1 Space	2 Spaces	2 Spaces
At least One ADA space	1 Space	1 Space	2 Spaces

*Conditional Use Approval Received at the January 10, 2023 Phoenixville Borough Council Meeting
 **Existing Non-Conformity
 ***Existing Non-Conformity to Remain

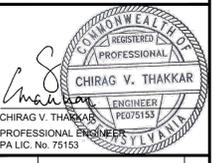
REQUESTED WAIVERS:
 1. § 22-304.1.A REQUIRES THAT THE INFORMATION ON THE FINAL PLANS SHALL BE IN ACCORDANCE WITH THE SUBDIVISION AND LAND DEVELOPMENT CHECKLIST WHICH REQUIRES PLANS BE DRAWN AT EITHER 1"=30', 1"=30', 1"=20' OR 1"=10' SCALE. THE APPLICANT IS REQUESTING A PARTIAL WAIVER FROM THIS REQUIREMENT FOR PLANS DRAWN AT 1"=40' SCALE.
 2. § 22-419.1.A - REQUIRES NONRESIDENTIAL SIDEWALKS TO BE CONSTRUCTED WITH A WIDTH OF TEN (10) FEET. THE APPLICANT IS REQUESTING A WAIVER FROM THIS REQUIREMENT TO ALLOW FIVE (5) FEET WIDE SIDEWALK BE PLACED WITHIN THE PROJECT AS IDENTIFIED ON THE PLAN.
 3. § 22-605.5.B. ALL GRADING SHALL BE SET BACK FROM PROPERTY LINES AT LEAST THREE FEET, OR A SUFFICIENT DISTANCE, TO PREVENT ANY ADVERSE EFFECTS ON ADJACENT PROPERTIES. THE APPLICANT IS REQUESTING A WAIVER FROM THIS REQUIREMENT TO INSTALL PROPOSED IMPROVEMENTS WITHIN THE ALREADY PAVED PARKING LOT.

PLAN NOTES:
 AS USED IN THE NOTES AND CERTIFICATIONS ON THIS PLAN, THE FOLLOWING TERMS SHALL HAVE THE FOLLOWING MEANINGS:
 (1) APPLICANT: THE PERSON(S) AND/OR ENTITY(IES) WHO OR WHICH HAS SUBMITTED THIS PLAN TO THE BOROUGH FOR APPROVAL PURSUANT TO THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
 (2) APPLICANTS: THE APPLICANT(S) APPLICATION TO THE BOROUGH FOR APPROVAL OF THIS PLAN PURSUANT TO THE BOROUGH'S SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 (3) DEVELOPER: THE PERSON(S) OR ENTITY(IES) WHO OR WHICH IMPLEMENT THE LAND DEVELOPMENT SHOWN ON THIS PLAN.
 (4) HOMEOWNERS ASSOCIATION - A PENNSYLVANIA NON-PROFIT CORPORATION TO BE INCORPORATED AND SET UP BY THE DEVELOPER. ALL OWNERS OF THE PROPOSED LOTS IN THE DEVELOPMENT MUST BE MEMBERS OF THE HOMEOWNERS ASSOCIATION, WHICH WILL BE RESPONSIBLE FOR MAINTAINING THE COMMON IMPROVEMENTS.
 (5) PROPERTY OWNER: ALL THE LEGAL AND EQUITABLE OWNERS OF THE PROPERTY AND THEIR HEIRS, SUCCESSORS AND ASSIGNS.
 (6) PROPERTY: THE PROPERTY WHICH IS SUBDIVIDED AND/OR DEVELOPED PURSUANT TO THIS PLAN AND WHICH IS BEING OWNED BY THE PROPERTY OWNER.
 (7) PLAN: THIS PLAN AS APPROVED BY THE BOROUGH.
 (8) CHESTER COUNTY UNIFORM PARCEL IDENTIFIER NUMBER.
 (9) THE BOROUGH OF PHOENIXVILLE'S APPROVAL OF THIS PLAN, AS A PRELIMINARY / FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN, PURSUANT TO THE BOROUGH OF PHOENIXVILLE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE NO. 2207, AS AMENDED, WAS MADE BY BOROUGH RESOLUTION NO. 2023-01, WHICH WAS ADOPTED ON 01/10/2023. THIS PLAN SHOWS THE CONDITIONS OF ITS APPROVAL PER RESOLUTION NO. 2023-01.
 (10) THE CONDITIONS BIND ALL OWNERS, DEVELOPERS AND USERS OF THE PROPERTY HEREBY DEVELOPED AND/OR SUBDIVIDED AND THEIR HEIRS, SUCCESSORS AND ASSIGNS. THE CONDITIONS MAY CREATE ONGOING OBLIGATIONS, LIMITATIONS AND REQUIREMENTS AFFECTING THE USE OF THE PROPERTY. THE RESOLUTION IS KEPT BY THE BOROUGH SECRETARY AT THE BOROUGH HALL AND MAY BE INSPECTED THERE BY THE PUBLIC. COPIES OF THE RESOLUTION ARE ALSO AVAILABLE FROM THE BOROUGH FOR A CHARGE.
 (11) ALL CONDITIONS OF PLAN APPROVAL SHOWN ON THIS PLAN, AND OFFERS OF DEDICATION, SHALL RUN WITH THE LAND FOREVER AND SHALL BE ENFORCEABLE BY THE BOROUGH.
 (12) THE APPLICANT REPRESENTS TO THE BOROUGH THAT THE APPLICANT HAS ALL THE PROPERTY RIGHTS NECESSARY TO MAKE THE APPLICATION AND AT THE TIME ANY PERMITS FOR THE IMPLEMENTATION OF THE PLAN ARE ISSUED AND/OR WORK COMMENCED, WILL HAVE ALL THE RIGHTS NECESSARY TO IMPLEMENT THE PLAN COMPLETELY IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND WITHOUT VIOLATING THE PROPERTY RIGHTS OF OTHERS. IF THE APPLICANT DOES NOT HAVE OR LOSTS ANY SUCH PROPERTY RIGHTS THIS APPROVAL SHALL BE VOIDABLE BY THE BOROUGH BY WRITTEN RESOLUTION. IF ANY OTHER PARTY TAKES ANY LEGAL ACTION AGAINST THE BOROUGH FOR ANY REASON INVOLVING AND/OR ALLEGING THE APPLICANT'S OR PROPERTY OWNER'S NEGLIGENCE OR ANY SUCH PROPERTY RIGHTS, THE BOROUGH SHALL BE DEFENSELESS AND THE BOROUGH HARMLESS AND INDEMNIFY IT FROM ANY AND ALL LIABILITY, LOSS, CLAIM COST AND/OR EXPENSE, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES RESULTING FROM SUCH LEGAL ACTION.
 (13) A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1942, NO. 428), KNOWN AS THE STATE HIGHWAY ACT, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO A STATE HIGHWAY SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT. NEITHER THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION NOR THE BOROUGH SHALL BE LIABLE FOR ANY DAMAGE OR CLAIM WHATSOEVER ARISING FROM ANY INJURY TO PERSON OR PROPERTY ARISING OUT OF THE ISSUANCE OR DENIAL OF A HIGHWAY OCCUPANCY PERMIT OR FOR FAILURE TO REGULATE ANY DRIVEWAY. FURTHERMORE, THE BOROUGH SHALL NOT BE LIABLE FOR ANY DAMAGE AND/OR CLAIM WHATSOEVER ARISING OUT OF THE ISSUANCE OR DENIAL OF A HIGHWAY OCCUPANCY PERMIT BY PENNDOT.
 (14) ALL AREAS SHOWN AS AND/OR REQUIRED TO BE AT THE TIME THE BOROUGH ADOPTED RESOLUTION NO. 2023-01. OPEN SPACE OR COMMON AREA SHALL BE USED ONLY AS OPEN UNDEVELOPED AREAS AND SHALL NOT BE FURTHER SUBDIVIDED AND/OR ALIENATED SO AS TO CREATE ANY RIGHTS THAT COULD INFRINGE ON THIS OPEN SPACE USE LIMITATION.
 (15) AT THE BOROUGH'S REQUEST, THE PROPERTY OWNER SHALL EXECUTE AND RECORD, WITH THE APPROPRIATE OFFICIALS AND IN THE APPROPRIATE AND LEGALLY EFFECTIVE MANNER FOR THE PURPOSE, ALL DOCUMENTS, PLANS, DEEDS AND DECLARATIONS COLLECTIVELY "RECORDINGS" REQUIRED TO BE RECORDED BY APPLICABLE REGULATIONS. THE TERMS OF FINAL PLAN APPROVAL AND/OR NOTES ON THIS PLAN, AND SHALL PROVIDE THE BOROUGH WITH COPIES, CERTIFIED BY THE RECORDING OFFICIAL, OF ALL SUCH RECORDINGS, OR, AT THE BOROUGH'S OPTION, THE BOROUGH MAY RECORD SUCH DOCUMENTS AND THE PROPERTY OWNER SHALL PAY THE BOROUGH'S COSTS.
 (16) AT THE BOROUGH'S REQUEST, THE PROPERTY OWNER WILL EXECUTE, ACKNOWLEDGE AND DELIVER ALL DOCUMENTS, DEEDS AND/OR INSTRUMENTS NECESSARY OR APPROPRIATE, IN THE OPINION OF THE BOROUGH, TO IMPLEMENT THIS PLAN AS APPROVED AND TO RECORD ALL INSTRUMENTS, DEEDS, COVENANTS, EASEMENTS AND/OR RIGHTS-OF-WAY WHICH ARE REQUIRED BY THE TERMS OF FINAL PLAN APPROVAL AND/OR NOTES ON THIS PLAN TO BE CONVEYED TO THE BOROUGH.
 (17) THE BOROUGH MAY WITHHOLD BUILDING AND/OR OCCUPANCY PERMITS AND/OR REFUSE TO ACCEPT DEDICATION OF IMPROVEMENTS AND/OR RELEASE IMPROVEMENT SECURITY IF THE LAND DEVELOPMENT AND/OR SUBDIVISION IS NOT IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND/OR OTHER GOVERNMENTAL UNITS REGULATIONS WHICH APPLY TO THE BUILDING, STRUCTURE, OCCUPANCY, WORK AND/OR IMPROVEMENT FOR WHICH BOROUGH ACTION IS REQUESTED. HOWEVER, THE BOROUGH DOES NOT HEREBY ASSUME ANY DUTY TO INSPECT FOR OR APPROVE ANY WORK OR IMPROVEMENT SHOWING HEREON AND/OR ANY UTILITY. IT IS THE PROPERTY OWNER'S OBLIGATION TO ACHIEVE COMPLIANCE WITH ANY AND ALL REGULATIONS OF OTHER GOVERNMENTAL ENTITIES BY WORKING DIRECTLY WITH SUCH ENTITY TO THE EXTENT THAT SUCH APPROVALS OF OTHER GOVERNMENTAL ENTITIES ARE REQUIRED. FOR THE IMPROVEMENTS, WORK AND/OR PROPOSED USE, THE PROPERTY OWNER REPRESENTS THAT THESE APPROVALS HAVE BEEN OBTAINED AND ALL ARE GRANTED AND IN EFFECT OR WILL BE SO PRIOR TO THE ISSUANCE OF ANY BOROUGH BUILDING PERMIT TO CONSTRUCT NEW IMPROVEMENTS PURSUANT TO THIS PLAN. BY REQUIRING COMPLIANCE WITH THE REGULATIONS OF OTHER GOVERNMENTAL ENTITIES AND/OR BY APPROVING THE DEVELOPMENT AND SUBDIVISION PLAN OR ANY PLAN AMENDMENTS, NEITHER THE BOROUGH NOR ANY BOROUGH OFFICIAL REPRESENTS THAT THE SUBJECT PROPERTY OR ROAD STREET SEWER, WATER SUPPLY AND/OR STORMWATER MANAGEMENT FACILITY OR HAS BEEN APPROVED BY OR IS ENTITLED TO BE APPROVED BY SUCH OTHER ENTITY OR THAT THE SUBJECT OF THE APPROVAL HAS BEEN DESIGNED CORRECTLY OR WILL FUNCTION SAFELY.
 (18) THE STREETS, STREET RIGHTS-OF-WAY AND STREET DRAINAGE RIGHTS, PUBLIC WATER SUPPLY FACILITIES AND THE EASEMENTS THEREOF AND THE PUBLIC SANITARY SEWER SYSTEM AND THE EASEMENTS THEREOF, AS SHOWN ON THIS PLAN ARE OFFERED HEREBY FOR DEDICATION TO THE BOROUGH BY WRITTEN RESOLUTION. THE STREET DRAINAGE RIGHTS INCLUDE THE RIGHT TO USE, REPAIR AND REPLACE ANY STORMWATER MANAGEMENT FACILITY WHICH DRAINS RUNOFF FROM A DEDICATED ROAD (THIS RIGHT DOES NOT INCLUDE ANY DUTY TO REPAIR OR MAINTAIN ANY SUCH FACILITY). THE OFFERED HEREBY FOR DEDICATION TO THE BOROUGH, PERPETUALLY AND IRREVOCABLY, IS AN EXCLUSIVE EASEMENT, RIGHT-OF-WAY AND RIGHTS (ALL CALLED "UTILITY EASEMENT RIGHTS") FOR THE PURPOSES OF THE PURPOSES OF ANY UTILITY FACILITY TO BE CONSTRUCTED WITHIN THE BOROUGH AND/OR OTHER INSTRUMENT OF DEDICATION FOR ANY AND ALL WATER AND SANITARY SEWER, STORMWATER MANAGEMENT, ELECTRIC, TELEPHONE, CABLE, TV AND INFORMATION TRANSMISSION LINES, FACILITIES, SYSTEMS, STRUCTURES AND/OR OPERATIONS NO MATTER WHO THE INSTRUMENTS AND OWNERS ARE. THE UTILITY PURPOSES INCLUDE, BUT ARE NOT LIMITED TO, THE FREE RIGHT TO LAY OUT, PLACE, CONSTRUCT, OPERATE, INSPECT, TEST, MAINTAIN, REPAIR, REPLACE, RELOCATE, RECONSTRUCT, ENLARGE, CHANGE AND/OR USE ANY AND ALL LINES, STRUCTURES, FACILITIES AND/OR SYSTEMS AND ANY AND ALL APPURTENANCES THEREIN, FOR ANY AND ALL UTILITY PURPOSES. THE EASEMENT AREA SHALL INCLUDE AND IS LIMITED TO ALL OF THE AREA OF THE PROPERTY, WHICH AREA IS WITHIN ALL WATER SUPPLY AND SANITARY SEWERS AND/OR ALL UTILITY PURPOSES. THE EASEMENT AREA SHALL INCLUDE AND IS LIMITED TO ALL OF THE AREA OF THE PROPERTY, WHICH AREA IS WITHIN ALL WATER SUPPLY AND SANITARY SEWERS AND/OR ALL UTILITY PURPOSES. THE UTILITY EASEMENT RIGHTS MAY BE USED OVER, UNDER, UPON AND THROUGH ANY AND ALL PARTS OF THE EASEMENT AREA. ALL THE OFFERED RIGHTS INCLUDE A NEGATIVE EASEMENT WHICH PROHIBITS, IN THE OFFERED RIGHT-OF-WAY AND/OR EASEMENT AREA, USE, CONDITION, PLANT, IMPROVEMENT, STRUCTURE AND/OR BUILDING WHICH, IN THE SOLE JUDGMENT OF THE BOROUGH, IS INCONSIDERATE IN ANY WAY WITH AND/OR MAY IN ANY WAY INTERFERE WITH ENDANGER AND/OR OBSTRUCT THE SAFE OR EFFICIENT USE OF ANY AND/OR PARTS OF THE OFFERED RIGHTS. THE NEGATIVE EASEMENT SHALL ALSO PROVIDE THAT NO STRUCTURE SHALL BE PERMITTED ON, OVER AND/OR INSIDE OF THE OFFERED RIGHTS. THE BOROUGH'S APPROVAL OF THIS PLAN IS SUBJECT TO THE BOROUGH'S PRIOR APPROVAL BY WRITTEN RESOLUTION, SPECIFICALLY AUTHORIZING SUCH USE. IF AND WHEN REQUESTED BY THE BOROUGH, THE APPLICANT AND ITS HEIRS, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHALL TRANSFER TITLE TO ANY AND/OR ALL OF THE OFFERED RIGHTS AND IMPROVEMENTS TO THE BOROUGH. SUCH TRANSFER SHALL BE BY DEEDS OR AGREEMENT(S) OF DEDICATION WHICH SHALL BE IN SUCH FORM AS THE BOROUGH MAY REQUIRE AND TITLE TO ALL SUCH RIGHTS AND IMPROVEMENTS SHALL BE GOOD AND MARKETABLE AND FREE FROM ANY ENCUMBRANCE. WHEN TRANSFERRING TO ITS ASSIGNS THE PROPERTY OWNER SHALL HEREBY DOES RESERVE AND EXCEPT FOR ITSELF ALL INTERESTS AND RIGHTS NECESSARY FOR EITHER TO MAKE, FULLY AND COMPLETELY, ALL THE DEDICATIONS REQUIRED HEREBY. HOWEVER, THESE RESERVED RIGHTS TO DEDICATE SHALL NOT BE EXCLUSIVE AND THE APPLICANT AND PROPERTY OWNER(S) SUCCESSORS AND ASSIGNS MAY ALSO MAKE SUCH DEDICATIONS. IN ANY EVENT, THE APPLICANT AND PROPERTY OWNER(S) SUCCESSORS AND ASSIGNS SHALL BE OBLIGATED TO MAKE SUCH TRANSFER TO THE BOROUGH AT THE BOROUGH'S REQUEST. NEITHER THE BOROUGH'S APPROVAL OF THIS PLAN, THE PLANS RECORDING NOR ANY NOTE HEREON IS INTENDED TO OR DOES OBLIGATE THE BOROUGH TO MAINTAIN AND/OR ACCEPT, IN ANY WAY, ANY STREET, STORMWATER MANAGEMENT, WATER SUPPLY AND/OR SANITARY SEWER FACILITY, EASEMENT OR RIGHT-OF-WAY AND/OR ANY OTHER IMPROVEMENT SHOWING HEREON AND/OR ANY UTILITY. IF THE BOROUGH, IN ITS DISCRETION, TAKES DEDICATION OF A STREET OR STREET RIGHT-OF-WAY, UNLESS THE DEED OF DEDICATION EXPRESSLY AND CLEARLY PROVIDES OTHERWISE, THE BOROUGH WILL NOT TAKE FEE TITLE TO THE AREA WITHIN SUCH STREET RIGHT-OF-WAY AND WILL NOT OWN OR BE RESPONSIBLE FOR ANY STREET TREE, SIDEWALKS (EITHER EXISTING, REQUIRED OR PROVIDED HEREAFTER WHETHER OR NOT SHOWN ON THIS PLAN) AND YARD AREAS WITHIN SUCH RIGHT-OF-WAY. RESPONSIBILITY FOR SUCH STREET TREES, SIDEWALKS AND YARD AREAS SHALL REMAIN FOR ALL PURPOSES WITH THE OWNERS OF THE FEE TITLE. THE BOROUGH, AT ANY TIME PRIOR TO ACCEPTING DEDICATION OF A STREET, MAY REQUIRE A STREET TREE TO BE MOVED. ALL RIGHTS DEDICATED TO AND ACCEPTED BY THE BOROUGH, UNLESS THE BOROUGH SHALL REQUIRE OTHERWISE, SHALL BE PERPETUAL, RUN WITH THE LAND AND BE ASSIGNABLE BY THE BOROUGH.
 (19) THE UTILITY SYSTEMS SHALL BE INSTALLED, AND INSPECTED AND APPROVED AS REQUIRED BY THE BOROUGH ENGINEER, BEFORE PAVING OF THE CURTWAY, POURING OF CONCRETE FOR AND/OR PAVING OF SIDEWALKS AND THE CONSTRUCTION OF ANY OTHER IMPROVEMENT WITH WHICH THE CONSTRUCTION OF THE UTILITY SYSTEMS INTERFERE. NO UTILITY SYSTEM SHALL BE INSTALLED AND/OR EASEMENT FOR SUCH SYSTEM GRANTED, WITHIN ANY RIGHT-OF-WAY AND/OR EASEMENT FOR ROAD STREET SEWER, WATER SUPPLY AND/OR STORMWATER MANAGEMENT FACILITY, PROPOSED TO BE DEDICATED TO THE BOROUGH, UNLESS AND UNTIL THE PLANS FOR SUCH UTILITY SYSTEM AND/OR EASEMENT AND THE TIMING OF ITS CONSTRUCTION ARE APPROVED BY THE BOROUGH ENGINEER BY WRITING.
 (20) THE BOROUGH ACCEPTS, FROM THE DEVELOPER, THE DEVELOPER'S SUCCESSOR OR ASSIGN OR ANY OTHER PARTY, ALL RIGHTS AND LIABILITIES WHATSOEVER RESULTING FROM THE NEGLIGENT CONSTRUCTION DESIGN AND/OR INSPECTION OF THE IMPROVEMENTS.
 (21) ALL TREES EXISTING IN AND/OR PLANTED IN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED IN GOOD, HEALTHY AND SAFE CONDITION AT ALL TIMES, BY THE FEE OWNER OF THE PART OF THE PROPERTY WHERE THE TREE IS LOCATED. THE BOROUGH SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO INSPECT ANY TREE AND TO REQUIRE ITS OWNER, AT THE OWNER'S EXPENSE, TO PRUNE, MAINTAIN AND, IF THE TREE IS DEAD, DISEASED, DAMAGED, MALFORMED OR A HAZARD TO PUBLIC SAFETY, TO REMOVE THE TREE AND REPLACE IT WITH A TREE OF AT LEAST A THREE (3) INCH CALIPER AND OF THE SAME SPECIES OR A SPECIES APPROVED BY THE BOROUGH. ALL LIABILITY FOR ANY TREE ON THE PROPERTY SHALL BE ON THE FEE OWNER OF THE PART OF THE PROPERTY WHERE THE TREE IS LOCATED. WITHOUT LIMITATION, SUCH OWNER SHALL HAVE THE DUTY TO ENSURE THAT THE TREE DOES NOT CREATE ANY NUISANCE OR SAFETY HAZARD.
 (22) IRREVOCABLE LICENSES AND RIGHTS OF ENTRY UPON ANY OF THE PROPERTY SUBJECT TO THIS PLAN ARE HEREBY GRANTED TO THE BOROUGH OF PHOENIXVILLE, ITS OFFICERS AND AGENTS, FOR THE PURPOSE OF CORRECTING OR MAKING A PUBLIC NUISANCE AND/OR TO ADD TO, REPAIR, MODIFY AND/OR REPLACE ANY AND/OR PARTS OF THE BOROUGH'S SANITARY SEWERS, WATER LINES AND/OR UTILITIES WHICH ARE CONNECTED TO A PUBLIC FACILITY OR UTILITY AND TO INSPECT AND ENFORCE THE BOROUGH'S REGULATIONS AND/OR COMPLIANCE WITH THIS PLAN. THESE RIGHTS CREATE NO BOROUGH DUTY TO DO ANY SUCH WORK OR INSPECTIONS.
 (23) ANY IMPROVEMENT SHOWN ON THIS PLAN WHICH DOES NOT FUNCTION SAFELY, AS INTENDED AND/OR COMPLETE COMPLIANCE WITH ALL APPLICABLE REGULATIONS SHALL BE RENDEZVOUSED AND RECONSTRUCTED PROMPTLY BY THE DEVELOPER AND/OR THE PROPERTY OWNER AT SUCH PARTY'S EXPENSE. TO BE SAFE, FUNCTION AS INTENDED AND TO COMPLY WITH ALL APPLICABLE REGULATIONS, ALL SUCH NEW DESIGNS AND SPECIFICATIONS SHALL BE APPROVED BY THE BOROUGH ENGINEERS PRIOR WRITTEN APPROVAL AND INSPECTION, DURING AND AFTER CONSTRUCTION, ALL AT THE APPLICANT'S COST.
 (24) THE STORMWATER MANAGEMENT FACILITIES INDIVIDUALLY "STORMWATER FACILITY" AND COLLECTIVELY "STORMWATER FACILITIES" LOCATED ON THE PROPERTY AND SHOWN ON THIS PLAN ARE PERMANENT AND ARE NOT TO BE REMOVED OR ALTERED. STORMWATER FACILITIES OWNED BY BOROUGH ENGINEERS PRIOR WRITTEN APPROVAL AND INSPECTION, DURING AND AFTER CONSTRUCTION, ALL AT THE APPLICANT'S COST.
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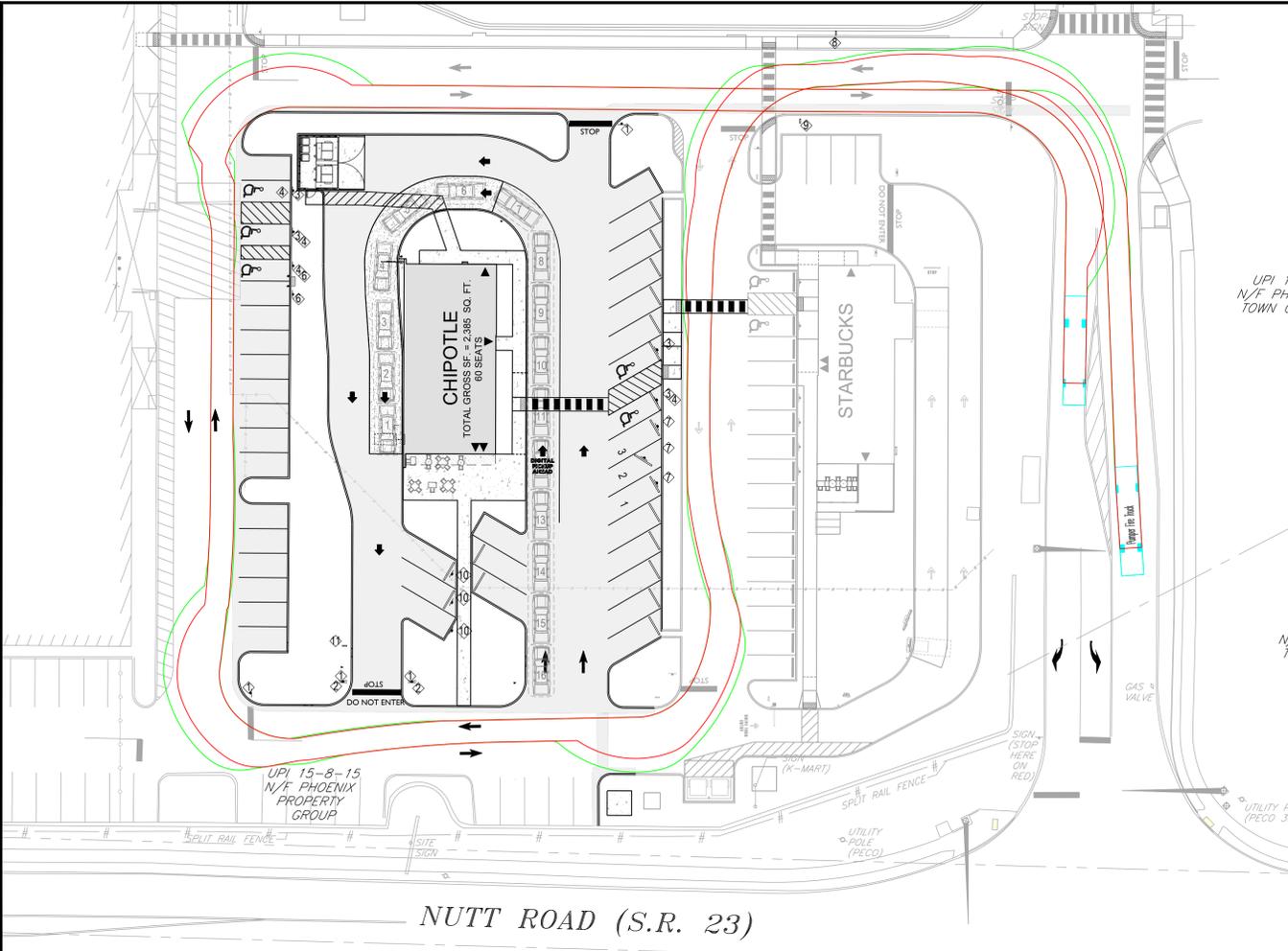
Project
PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE
UPI # 15-7-17.1
PHOENIXVILLE BOROUGH
CHESTER COUNTY PENNSYLVANIA

Drawing Title
TRUCK TURN AND PAVEMENT PLAN

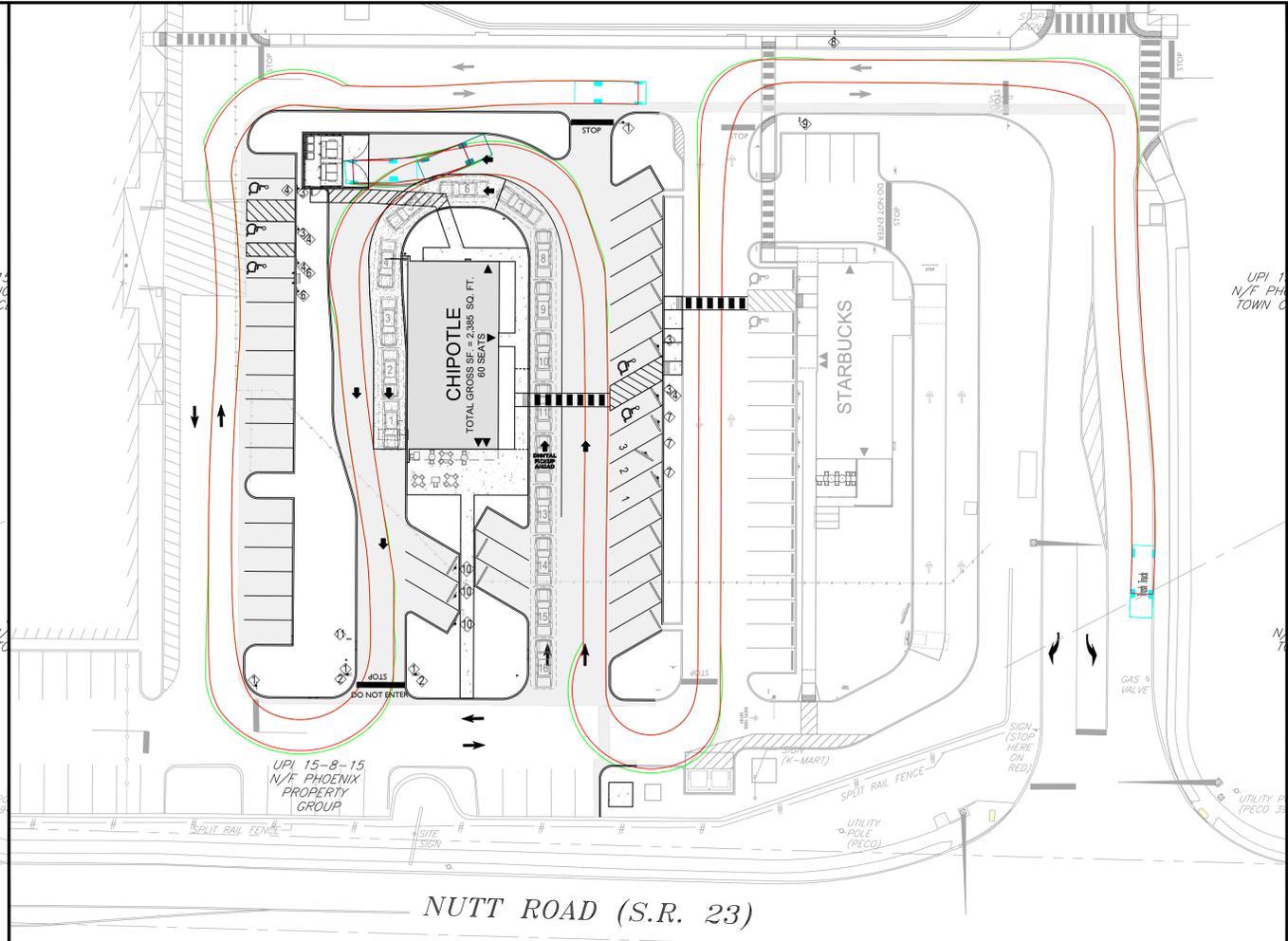


DATE	REVISIONS	COMMENTS	NO.
12-17-25	REVISED PER BOROUGH	COMMENTS	1

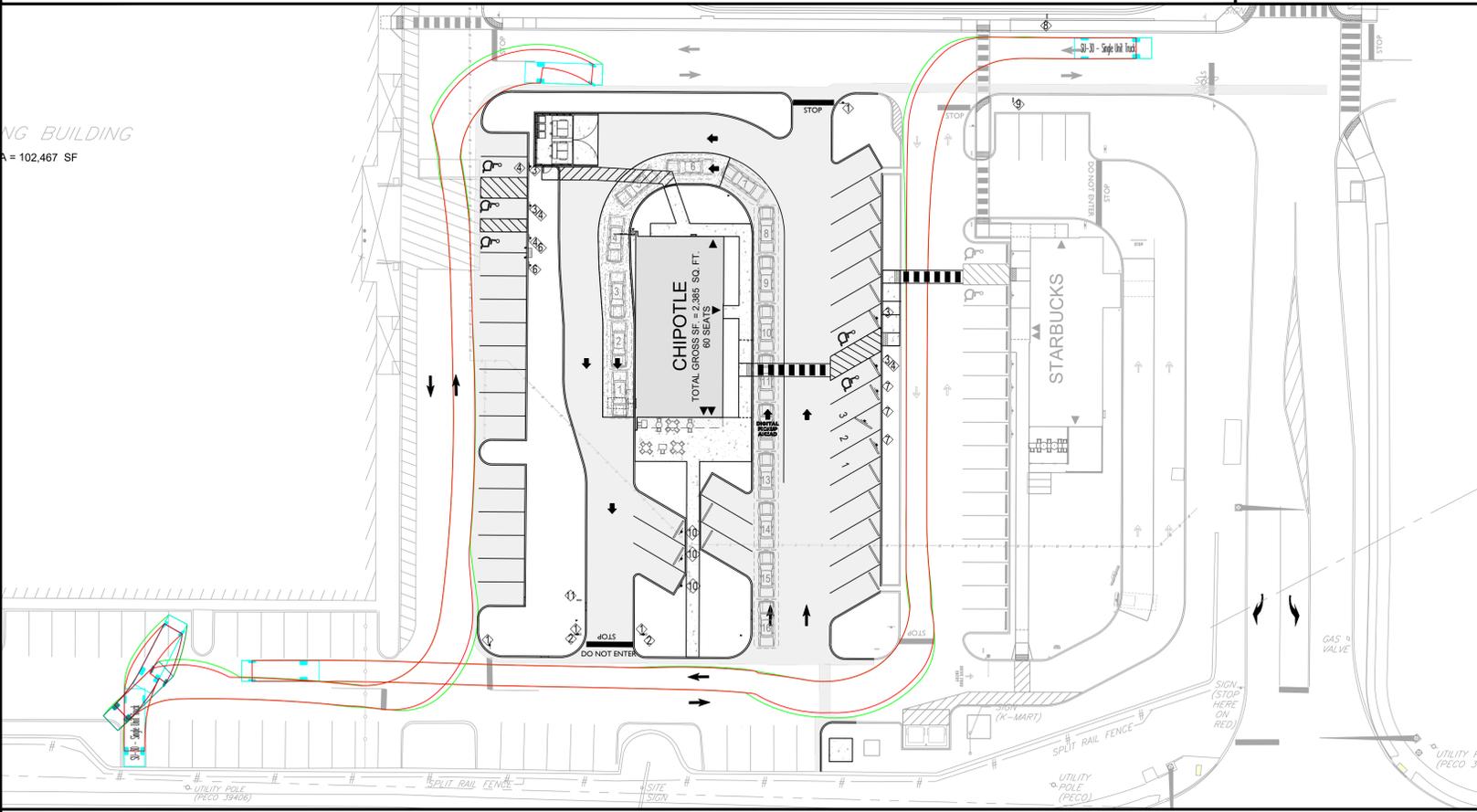
Project No.	230005603
Date	09-26-2025
Scale	1" = 30'
Drawn By	KGP
Checked By	AAB
Drawing No.	CP-101



FIRE TRUCK TURNING PLAN



FRONT LOADING TRASH TRUCK TURNING PLAN



SU-30 TRUCK TURNING PLAN

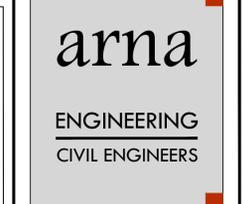
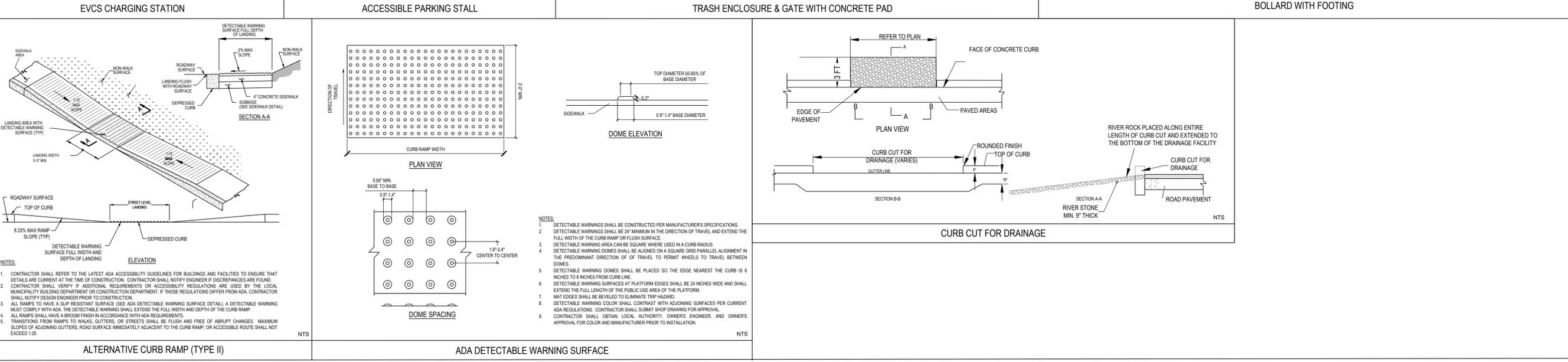
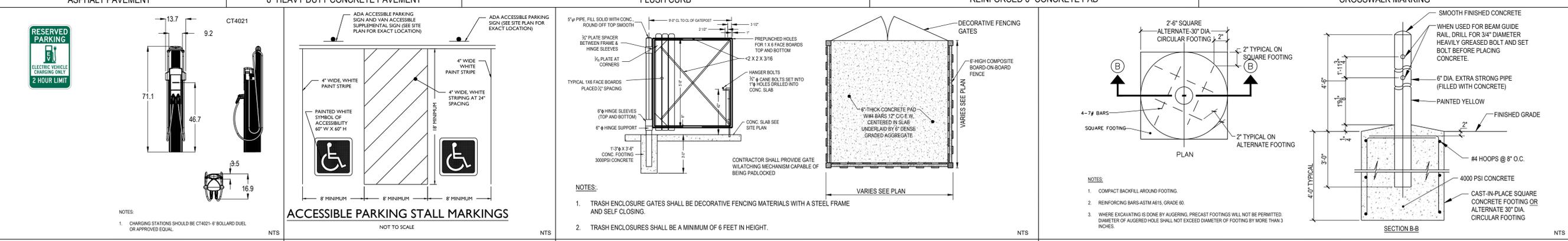
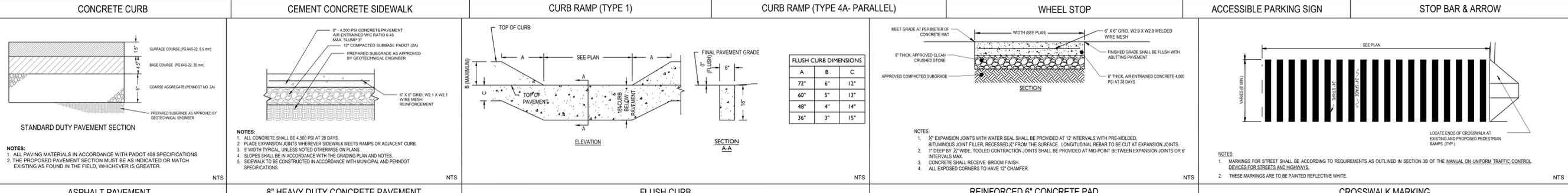
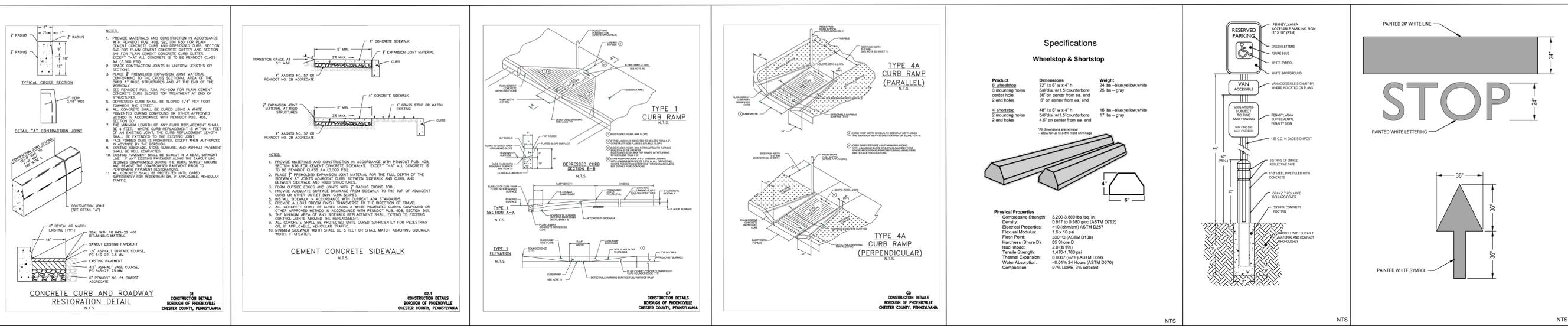
	<p>Trash Truck</p> <p>Overall Length 26.708ft</p> <p>Overall Width 8.375ft</p> <p>Overall Body Height 10.546ft</p> <p>Min Body Ground Clearance 1.376ft</p> <p>Track Width 8.375ft</p> <p>Lock-to-lock time 6.00s</p> <p>Curb to Curb Turning Radius 29.300ft</p>
	<p>Pumper Fire Truck</p> <p>Overall Length 40.000ft</p> <p>Overall Width 9.157ft</p> <p>Overall Body Height 7.745ft</p> <p>Min Body Ground Clearance 0.656ft</p> <p>Track Width 8.167ft</p> <p>Lock-to-lock time 5.00s</p> <p>Max Wheel Angle 45.00°</p>
	<p>SU-30 - Single Unit Truck</p> <p>Overall Length 30.000ft</p> <p>Overall Width 8.000ft</p> <p>Overall Body Height 13.500ft</p> <p>Min Body Ground Clearance 1.367ft</p> <p>Track Width 8.000ft</p> <p>Lock-to-lock time 5.00s</p> <p>Max Steering Angle (Virtual) 31.80°</p>

LEGEND

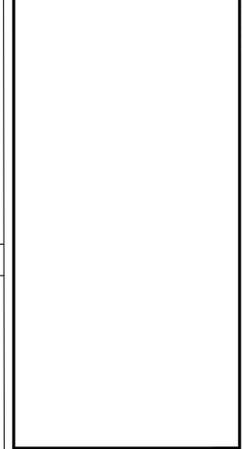
	STANDARD DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

LEGEND

PROPOSED SYMBOLS & LINES	EXISTING SYMBOLS & LINES
SITE	SITE
--- PROPERTY LINE	--- STORM DRAIN
--- SETBACK LINE	--- SANITARY LINE
--- BUILDING	--- GAS LINE
--- CURB LINE	--- WATER LINE
--- ROLLED CURB LINE	--- ELECTRIC LINE
--- DEPRESSED CURB LINE	--- OVERHEAD WIRE
--- TRAFFIC SIGN	--- FENCE (TYPE AS NOTED)
--- CURB RAMP	--- TREE LINE
--- PARKING ROW COUNT	--- PROPERTY RIGHT-OF-WAY LINE
--- PARKING COUNT FOR EACH AREA	--- UTILITY EASEMENT
--- BUILDING DOOR	--- CONTOUR LINE
	--- HYDRANT
	--- STREET LIGHT
	--- AREA LIGHT
	--- SIGNAL POLE
	--- ANCHOR POLE
	--- MANHOLE (TYPE AS LABELED)
	--- WATER VALVE
	--- GAS VALVE
	--- UNKNOWN VALVE
	--- CATCH BASIN
	--- SPOT ELEVATION
	--- CLEANOUT
	--- TREE
	--- BENCH MARK
	--- SIGN
	--- SOIL/LAND
	--- METAL COVER
	--- SIGN
	--- ELECTRIC BOX
	--- CURB LINE
	--- PARKING ROW COUNT
	--- TRAIL EASEMENT
GRADING AND DRAINAGE	UTILITY
--- SD STORM PIPE	--- WATER LINE
--- CB CATCH BASIN	--- GAS LINE
--- SM STORM MANHOLE	--- TELEPHONE & ELECTRIC LINE
--- CONTOUR	--- HYDRANT
--- SPOT GRADE	--- VALVE
--- TOP OF CURB ELEVATION	--- CLEANOUT
--- BOTTOM OF CURB ELEVATION	--- SANITARY MANHOLE
--- FLOW ARROW	--- PROPOSED SANITARY PIPE
--- HEADWALL / FLARED END SECTION	--- PROPOSED ELECTRIC TRANSFORMER
--- R/R RAP	--- PROPOSED ELECTRIC JUNCTION BOX
SIGN LEGEND	
◇ STOP (R-1)	
◇ DO NOT ENTER (R-51)	
◇ ADA ACCESSIBLE PARKING - VAN	
◇ ADA ACCESSIBLE PARKING	
◇ END OF ACCESSIBLE ROUTE	
◇ ELECTRIC VEHICLE PARKING SPACE	
◇ DIGITAL PICK UP	
◇ WAY-FINDING SIGN SELF STORAGE (SM-SHOP/CHPTA)	
◇ WAY-FINDING SIGN (SHOUBOX)	
◇ EMPLOYEES PARKING ONLY	
◇ WAY-FINDING SIGN EXIT	



arna Engineering Inc.
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F: 215.434.5280



Project
PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE
UPI # 15-7-17.1

PHOENIXVILLE BOROUGH
CHESTER COUNTY PENNSYLVANIA

Site
SITE CONSTRUCTION DETAILS



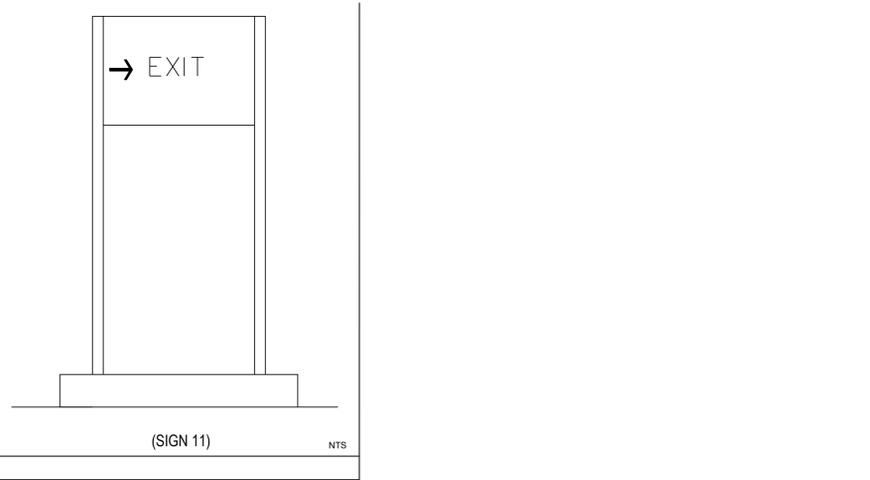
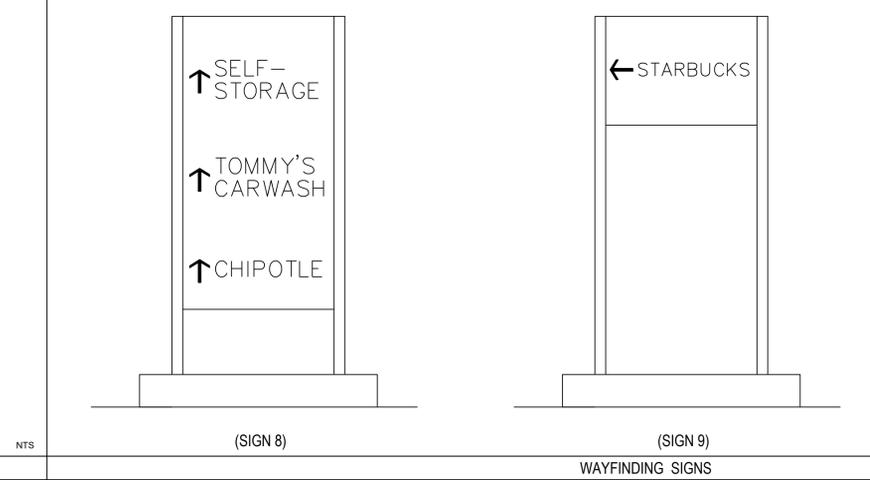
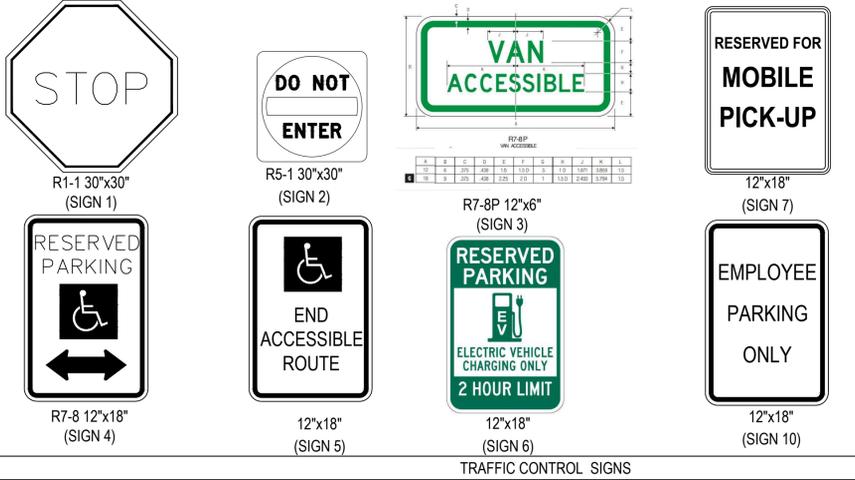
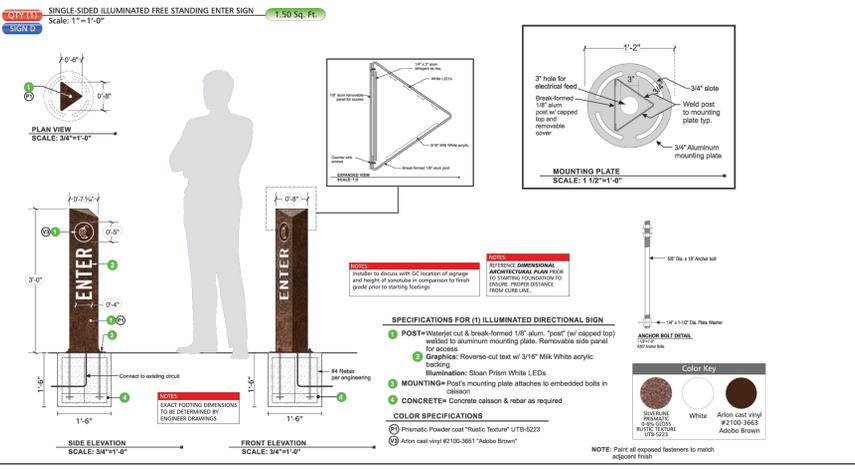
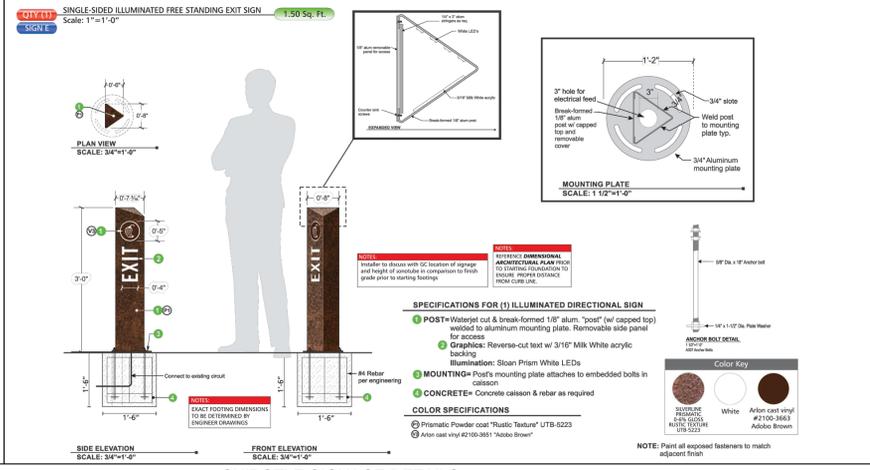
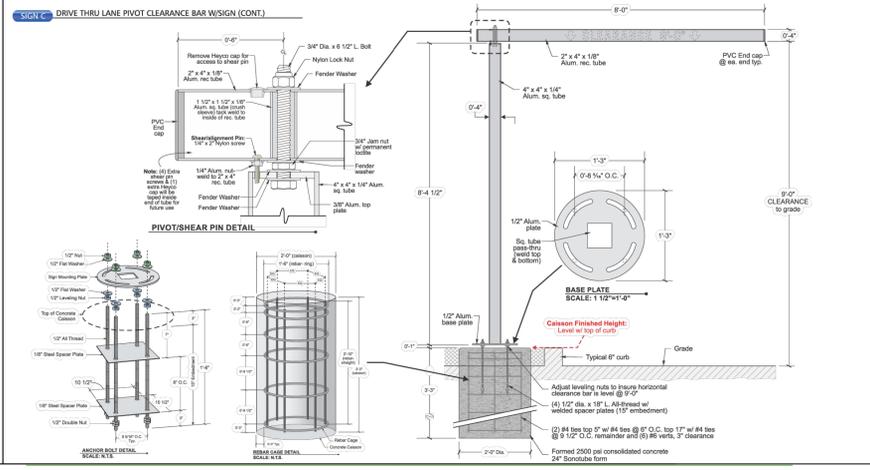
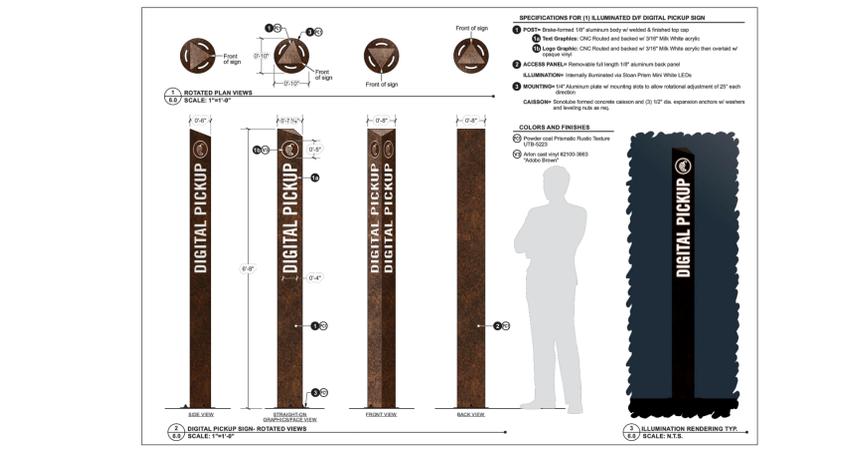
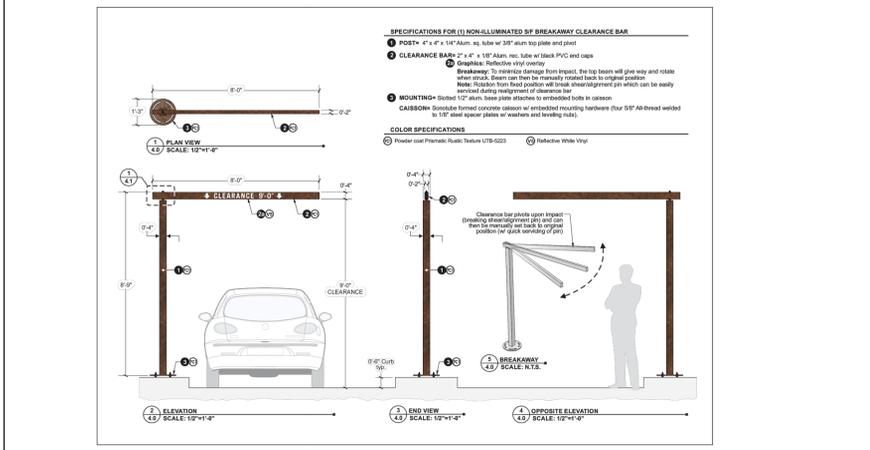
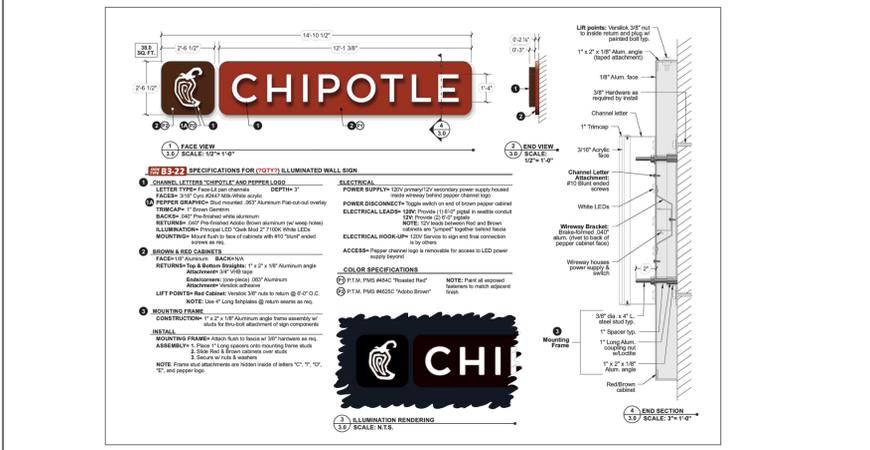
DATE	REVISIONS	NO.
12-17-25	REVISED PER BOROUGH COMMENTS	1

REVISIONS		
Project No.	230005603	
Date	09-26-2025	
Scale	N.T.S	
Drawn By	KP	
Checked By	AAB	
Drawing No.	CS-501	

DATE	REVISIONS	NO.
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CS-502



CONSTRUCTION NOTES:

- ALL CONCRETE STRUCTURES TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE DESIGNED IN ACCORDANCE WITH THE "PADOT GUIDELINES", LATEST EDITION.
- ALL CURB AND EDGE PAVEMENT RADII SHALL BE 5 FT. UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM, IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
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- THE CONTRACTOR SHALL PROVIDE ALL APPLICABLE JURISDICTIONAL AUTHORITIES / AGENCIES REQUIRED NOTICE PRIOR TO ANY LAND DISTURBANCES.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ADHERING TO ALL REGULATIONS RELATED TO HEALTH AND SAFETY AS WELL AS ALL APPLICABLE STATE, FEDERAL AND LOCAL RULES AND REGULATIONS.
- THE CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THE SITE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DETAILS FOR PROPOSED BUILDINGS, SIDEWALKS ALONG PROPOSED BUILDINGS, ACCESS LOCATIONS AND ACTUAL LOCATIONS, SIZE, MATERIAL, AND DEPTH OF INSTALLATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, WATER SERVICE, ELECTRICAL, TELEPHONE, GAS AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. UTILITY SERVICES TO EXISTING USERS AT THE SITE SHALL BE MAINTAINED AT ALL TIMES.
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GEOGRAPHIC MAPPING FEATURE:

NOTE THAT THROUGH SOIL INVESTIGATION TESTING, AS WELL AS THE PAST AND PRESENT USES OF THE LAND, THE SITE IS NOT INTENDED TO BE CONTAMINATED WITH POLLUTANTS OR HAZARDOUS MATERIALS. THE FOLLOWING GUIDELINES ARE PROVIDED IN THE CASE THAT ANTICIPATED POLLUTANTS AND/OR SINKHOLES ARISE DURING CONSTRUCTION.

- FOR CONTAMINATION:
1. IF HAZARDOUS MATERIAL IS IDENTIFIED DURING CONSTRUCTION, EARTH MOVING SHALL IMMEDIATELY CEASE UNTIL CONTAMINATED AREA IS FREED.
2. CONTRACTOR SHALL IDENTIFY AND PHYSICALLY MARK LIMITS OF HAZARDOUS MATERIAL WITHIN THE AREA OF CONSTRUCTION.
3. EXCAVATE HAZARDOUS MATERIAL AND STOCK PILE IN AREA SHOWN ON THIS PLAN.
4. HAIL TO A PENNSYLVANIA DEP APPROVED HAZARDOUS WASTE FACILITY.
5. VERIFY THAT ALL HAZARDOUS MATERIAL IDENTIFIED HAS BEEN REMOVED FROM SITE PRIOR TO COMMENCING CONSTRUCTION AND EARTH MOVING PRACTICES.

- SINKHOLE:
1. IF A SINKHOLE IS IDENTIFIED DURING CONSTRUCTION, EARTH MOVING SHALL IMMEDIATELY CEASE UNTIL THE SINKHOLE IS REPAIRED.
2. CONTRACTOR SHALL IDENTIFY AND PHYSICALLY MARK LIMITS OF SINKHOLE REPAIR NECESSARY.
3. SINK HOLE SHALL BE REPAIRED PER DETAIL(S) PROVIDED ON CE-502 (EITHER FOR PERVIOUS OR IMPVIOUS COVER).
4. CONSTRUCTION AND EARTH MOVING PRACTICES MAY RESUME ONLY AFTER THE REPAIR OF THE SINKHOLE AREA IS COMPLETED.

NOTE: THE DEVELOPER SHALL OFFER IN PERPETUITY TO THE BOROUGH THE DEDICATION OF A BLANKET STORMWATER EASEMENT ACROSS THE PROJECT TRACT FOR ACCESS, INSPECTION AND MAINTENANCE OF STORMWATER CONVEYANCES AND STORMWATER MANAGEMENT BMP'S. THIS EASEMENT SHALL NOT BE CONSTRUED TO OBLIGATE THE BOROUGH TO INSPECT OR MAINTAIN STORMWATER CONVEYANCES AND STORMWATER MANAGEMENT BMP'S.

ACCESSIBLE PLAN NOTES:

- 1. CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003 FOR BUILDINGS AND FACILITIES (ADAAG) TO ENSURE THAT ADA DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION.
2. ALL ACCESSIBLE PARKING SPACES AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
3. ALL ACCESSIBLE ROUTE AND RAMP CROSS SLOPES SHALL NOT EXCEED 2%.
4. ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% IF ANY PART OF THE ACCESSIBLE ROUTE HAS A RUNNING SLOPE EXCEEDING 5%, IT IS CONSIDERED A RAMP.
5. RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12 SLOPE) AND A MAXIMUM CROSS SLOPE OF 2%. SEE SHEET CONSTRUCTION DETAIL SHEET FOR RAMP DETAILS.
6. CONTRACTOR SHALL FIELD VERIFY THAT THE EXISTING LONGITUDINAL SLOPE (ALONG THE DIRECTION OF TRAVEL) DOES NOT EXCEED 5% AND CROSS SLOPE DOES NOT EXCEED 2% FOR ACCESSIBLE ROUTES (TYP.).

BMP CONSTRUCTION SEQUENCE:

- WATER QUALITY FILTERS & HYDRODYNAMIC DEVICES- CONSTRUCTION SEQUENCE
1. SNOUTS SHALL BE INSTALLED PER MANUFACTURER SUPPLIED INSTALLATION KIT.
2. PIVC ANTI-SIPHON VENT PIPE AND ADAPTER.
3. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING.
4. 3/8" STAINLESS STEEL BOLTS.
5. ANCHOR SHIELDS.

- LANDSCAPING- CONSTRUCTION SEQUENCE
1. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS.
2. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS.
3. CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY.
4. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS.

MANAGEMENT OF WASTE FOR PCSM BMP'S: ALL BMP'S SHALL BE INSPECTED BE INSPECTED BASED ON THE MAINTENANCE SCHEDULE PROVIDED ON THIS PLAN. ANY ANTICIPATED WASTE ENCOUNTERED IN ANY BMP DURING THE INSPECTION SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

ANTICIPATE WASTED MATERIALS FROM PCSM BMP'S

- 1. SEDIMENT
2. DEBRIS / TRASH
3. OTHER WASTE MATERIAL NOT IDENTIFIED TO BE A COMPONENT OF THE BMP.

THERMAL IMPACT ANALYSIS NOTE:

ALL BMP'S WILL BE MINIMIZED AND MITIGATED IN THE POST CONSTRUCTION CONDITION BY PROPOSED TREES THAT WILL SHADE THE PROPOSED IMPVIOUS SURFACES. ALL OF THESE MEASURES WILL PROVIDE COOLING OF STORMWATER IN THE POST CONSTRUCTION CONDITION.

BMP MAINTENANCE NOTES:

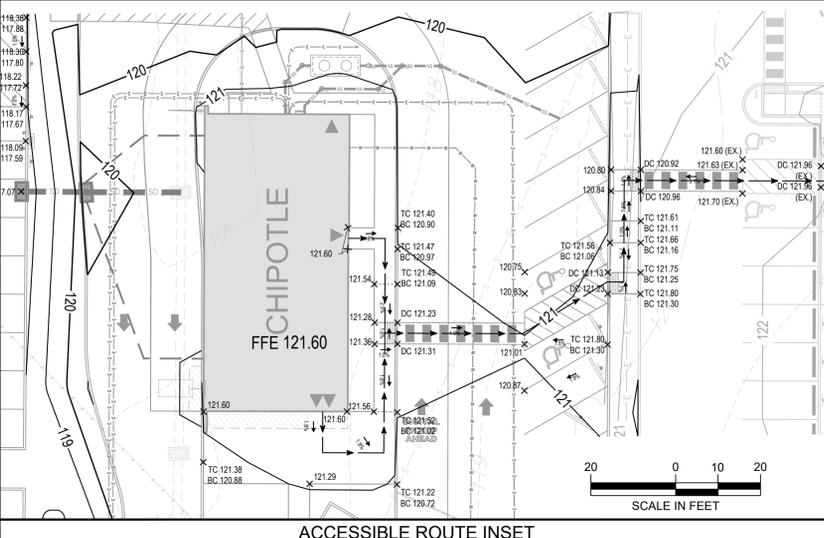
MAINTENANCE, ROUTINE INSPECTION AND ANY REPAIRS OF THE PROPOSED STORMWATER MANAGEMENT BMP'S SHALL REST WITH THE OWNER OF PROPERTY. THE TOWNSHIP HAS THE RIGHT, BUT NOT THE RESPONSIBILITY, TO INSPECT AND MAINTAIN ALL BMP'S.

- 1. STORMWATER CONVEYANCE SYSTEM
CATCH BASINS, MANHOLES AND PIPES TO BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL.
2. LANDSCAPING MAINTENANCE
ALL LANDSCAPE IMPROVEMENTS SHALL BE INSTALLED AND MAINTAINED BY ACCEPTED PRACTICES AS RECOGNIZED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

- 3. REPLACEMENT OF FAILED BMP'S
IN THE EVENT THAT A COMPLETE FAILURE OF ANY ON-SITE BMP OCCURS, THE RESPONSIBLE PARTY FOR OPERATION AND MAINTENANCE SHALL HAVE THE BMP REMOVED COMPLETELY AND HAVE THE BMP RECONSTRUCTED.
4. CONSERVATION DISTRICT (CCCD) SHALL BE NOTIFIED IF TEMPORARY EROSION AND SEDIMENT CONTROLS WILL BE REQUIRED IN RECONSTRUCTION/REPLACEMENT OF THE BMP REQUIRES EARTH DISTURBANCE.

PCSM PLAN NOTES:

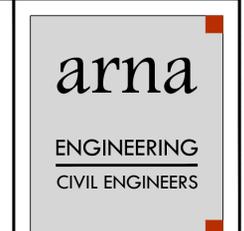
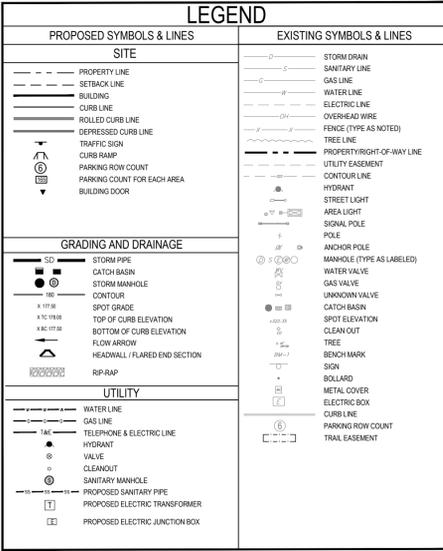
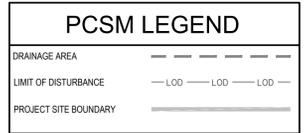
- 1. PRESERVE AND PROTECT STREAM INTEGRITY - PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
4. MINIMIZE IMPVIOUS SURFACE AREAS - THE PROJECT PROPOSES TO MINIMIZE THE IMPVIOUS SURFACE ON SITE AND THE PROPOSED IMPROVEMENTS REDUCE THE EXISTING IMPVIOUS WITHIN THE PROJECT AREA.
5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
6. MINIMIZE LAND CLEARING AND GRADING.
7. MINIMIZE SOIL COMPACTION.
8. UTILIZES OTHER STRUCTURAL OR NONSTRUCTURAL BMP'S.
9. CONTRACTOR SHALL MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCES.
10. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL.



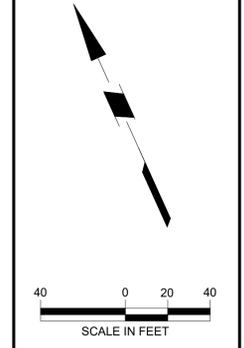
CHIPOTLE LIMIT OF DISTURBANCE = ± 0.87 ACRES
TOTAL LIMIT OF DISTURBANCE = ± 2.91 ACRES
PROJECT SITE BOUNDARY = ± 6.97 ACRES

RECORD OWNER & APPLICANT:
NUTT ROAD, L.P.
C/O Longview Property Group
309 Lancaster Avenue, Suite C-3
Malvern, PA 19355
Phone: (610) 902-3050

RECEIVING WATER AND CLASSIFICATION
RECEIVING WATER: FRENCH CREEK
CLASSIFICATION: TSF, MF



arna Engineering Inc.
1456 Ferry Road, Suite 603
Doyelstown, PA 18901
T: 215.766.8280
F: 215.434.5280



PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE
PHI # 15-17-11
REGISTERED PROFESSIONAL ENGINEER
CHIRAG V. THAKKAR
PA LIC. No. 75153

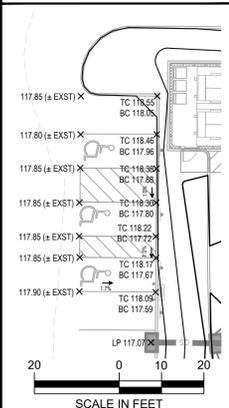
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ACT 187

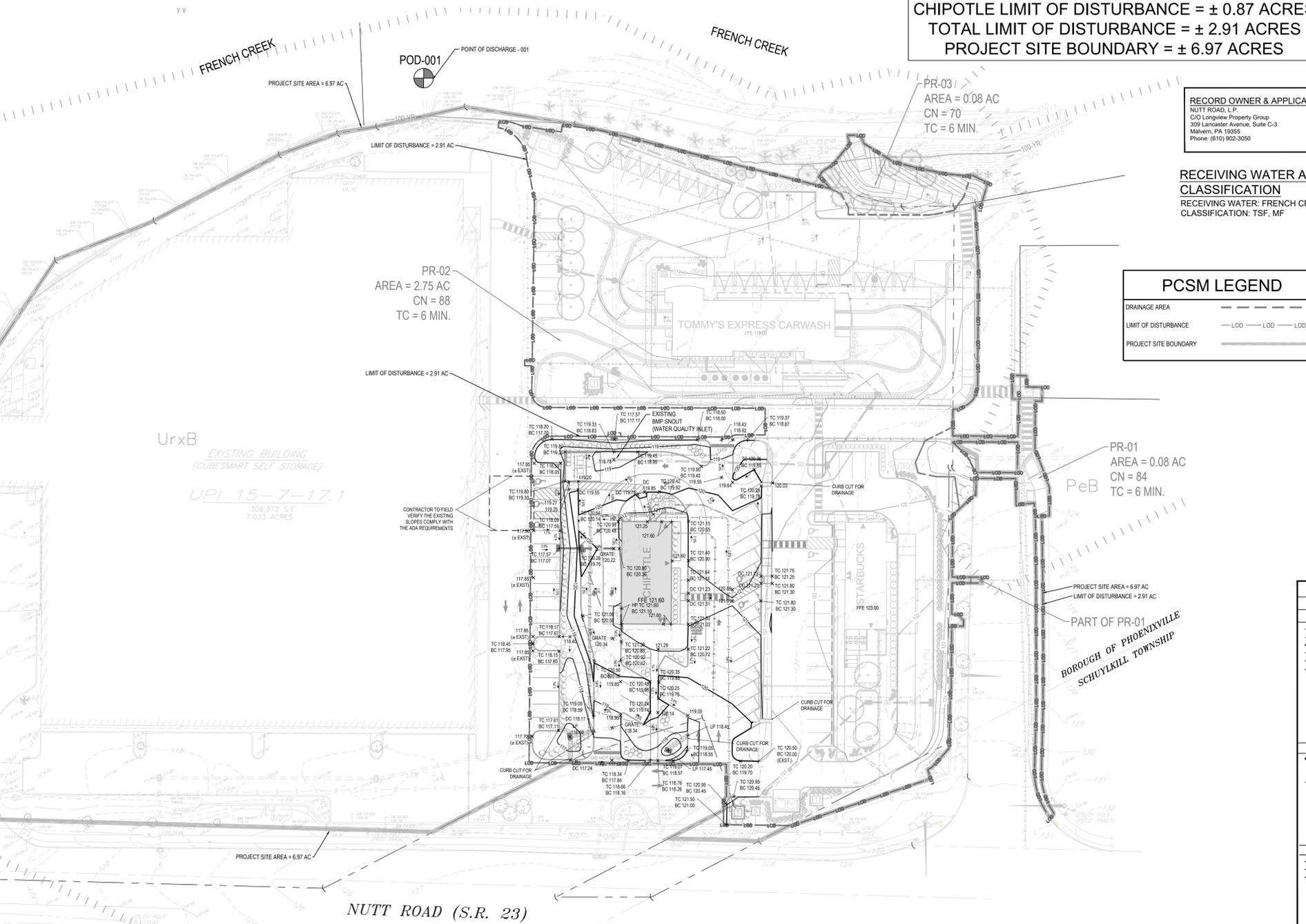
UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION.



PRELIMINARY DESIGN SERIAL NUMBER: 20252761039



SELF-STORAGE ADA PARKING INSET



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Scale N.T.S

Drawn By KGP

Checked By AAB

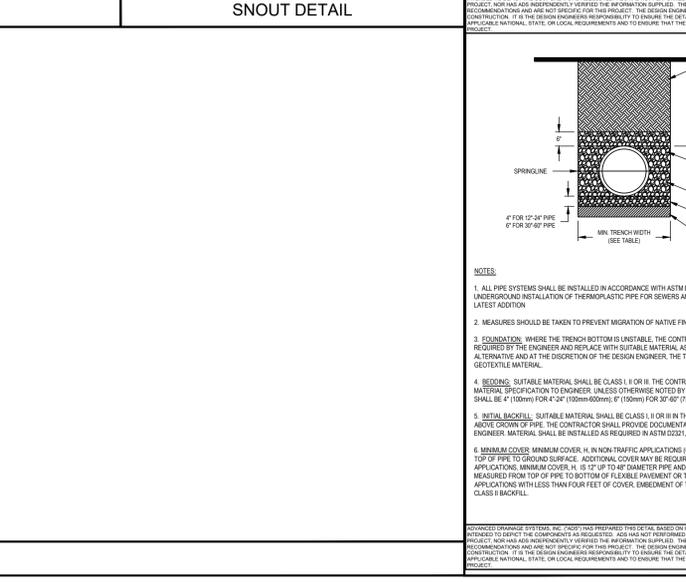
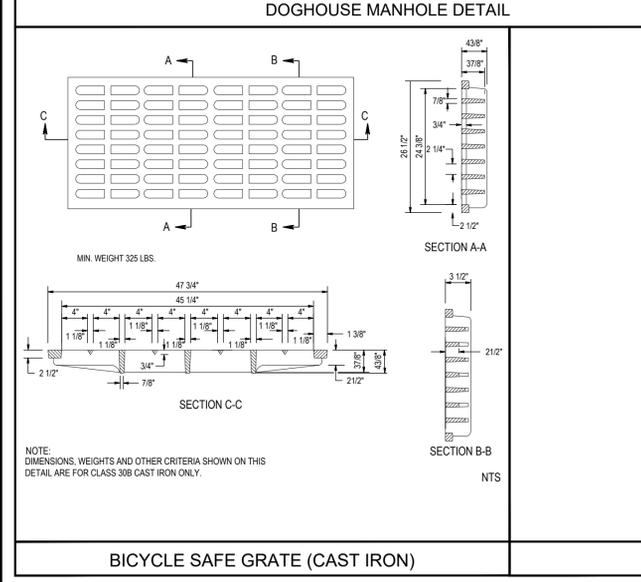
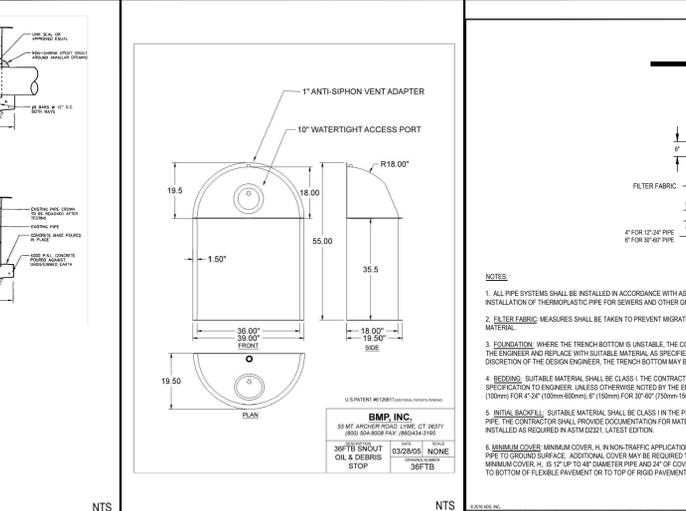
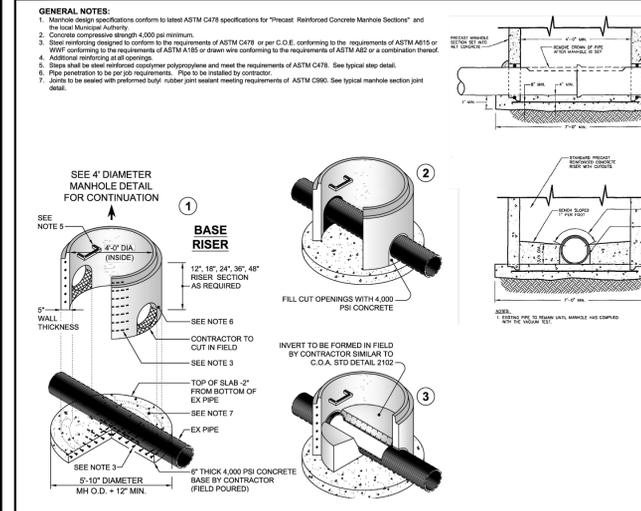
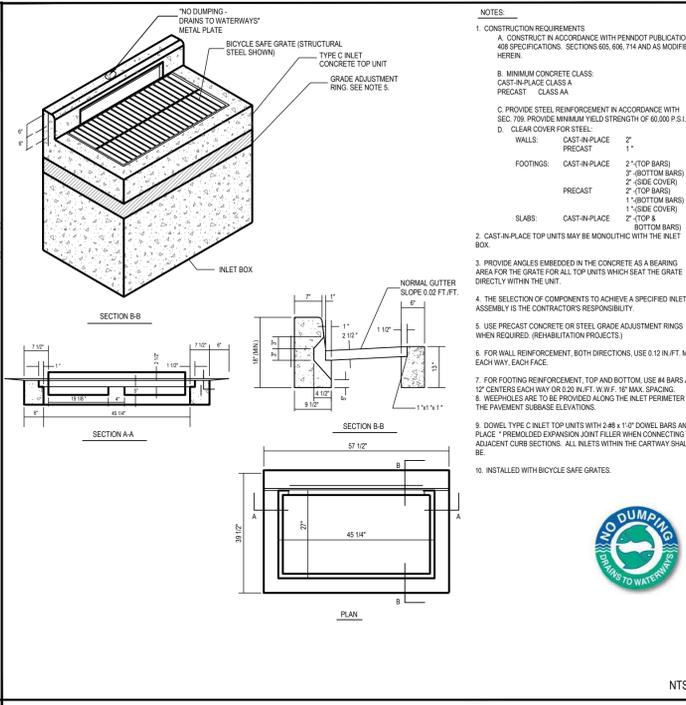
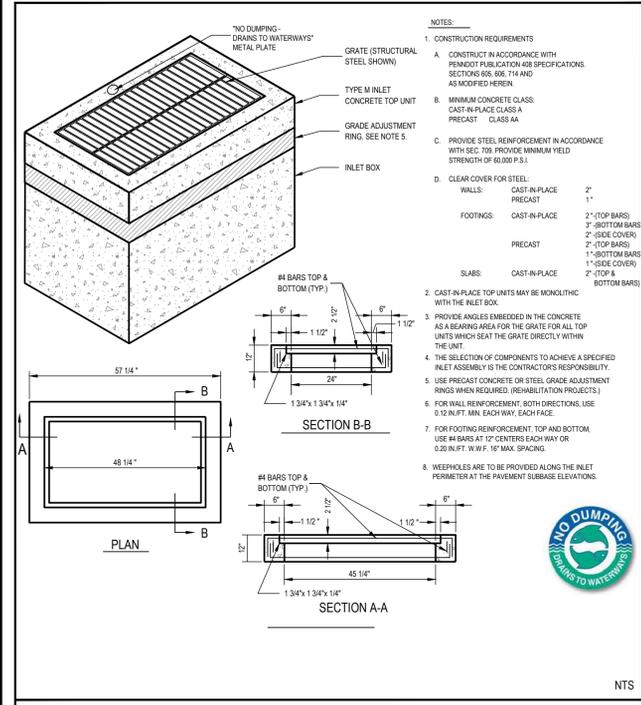
Drawing No. CG-501

SEQUENCE OF CONSTRUCTION

THE FOLLOWING SEQUENCE OF CONSTRUCTION IS INDICATED ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN:

NOTE: SITE DEVELOPMENT OPERATIONS SHOULD BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GENERAL SEQUENCE OF OPERATIONS. THE CONTRACTOR MAY DEViate FROM THE STAGING OF PERMANENT SITE IMPROVEMENT CONSTRUCTION ITEMS, WITH APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR. DEVIATION FROM THE RELATIVE ORDER OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD NOT OCCUR WITHOUT APPROVAL OF THE CONSERVATION DISTRICT INSPECTOR AND SITE ENGINEER.

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO OCCUR NO LESS THAN 7 DAYS PRIOR TO ANY EARTH DISTURBANCE UNLESS NOTIFIED OTHERWISE BY SERO DEP OR THE CHESTER COUNTY CONSERVATION DISTRICT. PERMITTEES, CO-PERMITTEES, OPERATORS, ALL APPROPRIATE MUNICIPAL OFFICIALS, REPRESENTATIVES FROM THE CHESTER COUNTY CONSERVATION DISTRICT AND THE SERO DEP, AND LICENSED PROFESSIONALS OR DESIGNEES RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF EAS AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND A PRE-CONSTRUCTION MEETING (\$102.01E).
- AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 FOR BURIED UTILITIES LOCATION. NO SITE WORK CAN COMMENCE UNTIL AFTER THE PRE-CONSTRUCTION MEETING IS HELD.
- BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EAS CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1-E, SEQ. AND 287.1 ET SEQ.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS. THE OPERATOR SHALL ALSO NOTIFY THE CHESTER COUNTY CONSERVATION DISTRICT IN WRITING OF ALL RECEIVING SOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- INSTALL A GRAVEL BUFFER OF AASHTO NO. 1 ROCK, 8 INCHES DEEP AT THE TEMPORARY CONSTRUCTION ENTRANCE IMMEDIATELY BEFORE INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. GRAVEL BUFFER TO BE UNDERLAIN BY FILTER FABRIC AS INDICATED ON THE DETAIL PLANS. ALL CONSTRUCTION TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS AND EGRESS, AS CONDITIONS WARRANT. THE LOCATION MAY BE MODIFIED WITH THE PRIOR APPROVAL FROM THE CHESTER COUNTY SOIL CONSERVATION DISTRICT.
- INSTALL ALL REMAINING EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INLET PROTECTION, STOCKPILE AREA AND SILT SOCKS.
- CONVERT THE TWO INLETS INTO MANHOLE AND ADJUST THE THREE INLET GRATES SHOWN ON THE PLAN PRIOR TO EARTH DISTURBANCE ACTIVITIES.
- CLEAR AND GRUB AREA OF PROPOSED DISTURBED AREA FOR EACH APPROPRIATE CONSTRUCTION SECTION, ONE AT A TIME.



TRENCH INSTALLATION DETAIL (APPROX. 72048)

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	TRENCH WIDTH
4" (100mm)	21" (533mm)
6" (150mm)	23" (584mm)
8" (200mm)	25" (635mm)
10" (250mm)	27" (686mm)
12" (300mm)	29" (737mm)
15" (375mm)	31" (788mm)
18" (450mm)	33" (839mm)
24" (600mm)	35" (890mm)
30" (750mm)	37" (941mm)
36" (900mm)	39" (992mm)
42" (1050mm)	41" (1043mm)
48" (1200mm)	43" (1094mm)
60" (1500mm)	45" (1145mm)

MINIMUM RECOMMENDED COVER BASED ON SURFACE LIVE LOADING CONDITION

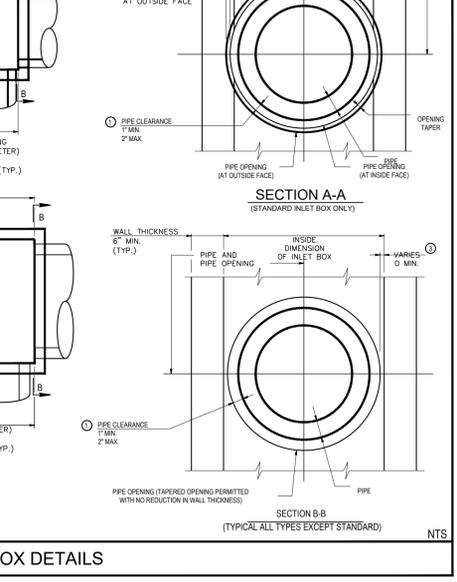
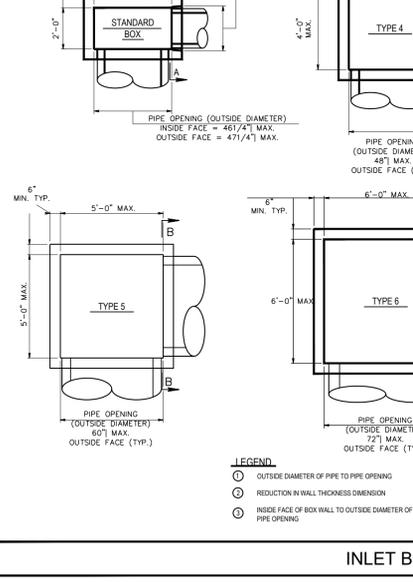
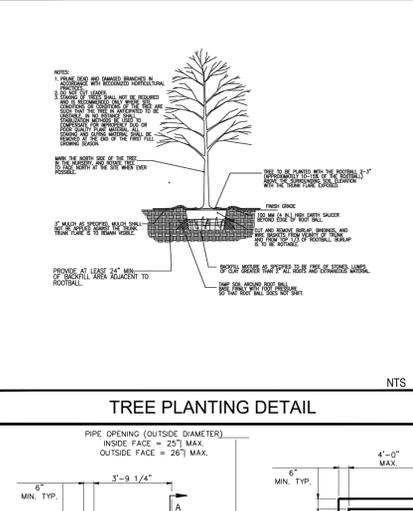
PIPE DIAM.	H=25	H=10	(75% AASHTO) 4
12" - 48"	12"	12"	48"
30"	12"	12"	48"
36"	12"	12"	48"
42"	12"	12"	48"
48"	12"	12"	48"
60"	12"	12"	48"

MINIMUM RECOMMENDED COVER BASED ON VEHICLES CROSSING CONDITION

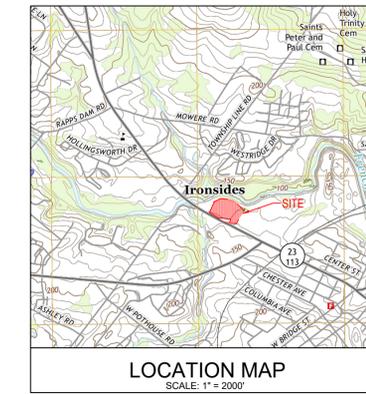
PIPE DIAM.	CLASS I	CLASS II	CLASS III
4"	3"	16"	23"
6"	4"	19"	26"
8"	5"	22"	29"
10"	6"	25"	32"
12"	7"	28"	35"
15"	8"	31"	38"
18"	9"	34"	41"
24"	11"	40"	47"
30"	13"	46"	53"
36"	15"	52"	59"
42"	17"	58"	65"
48"	19"	64"	71"
60"	22"	70"	77"

REVISIONS:

NO.	DESCRIPTION	DATE
1	ADDED CLASS 3 MAX COVER COLUMN	01/27/21



ON-SITE SOIL TYPE DESCRIPTION AND LIMITATIONS						
Map Symbol	Soil	Hydrological Soil Group	Depth to Water Table (FT)	Depth to Bedrock (FT)	Soil Limitations	Soil Resolution
UrxB	Urban land - Penn complex, 0 to 8% slopes	B	> 7.5	1-8	Well drained. Low water capacity, Low surface runoff.	Provide erosion control liner as shown on E&S plans
PeB	Penn silt loam, 3 to 8% slopes	B	> 7.5	5-8	Well drained. Low water capacity, Low surface runoff.	Provide erosion control liner as shown on E&S plans



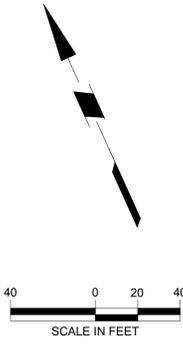
arna
ENGINEERING
CIVIL ENGINEERS

arna Engineering Inc.
1456 Ferry Road, Suite 603
Doylesstown, PA 18901
T: 215.766.8280
F: 215.434.5280

RECEIVING WATER AND CLASSIFICATION
RECEIVING WATER: FRENCH CREEK
CLASSIFICATION: TSF, MF

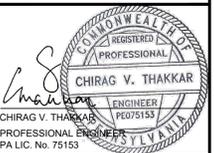
CHIPOTLE LIMIT OF DISTURBANCE = ± 0.87 ACRES
TOTAL LIMIT OF DISTURBANCE = ± 2.91 ACRES
PROJECT SITE BOUNDARY = ± 6.97 ACRES

SOIL EROSION LEGEND	
COMPOST FILTER SOCK	
LIMIT OF DISTURBANCE	
PROJECT SITE BOUNDARY	
PERMANENT EROSION CONTROL MATTING (LANDLOCK S2)	
TOPSOIL STOCKPILE	
CONCRETE WASHOUT	
SOILS LIMITS	
SOILS TYPE	

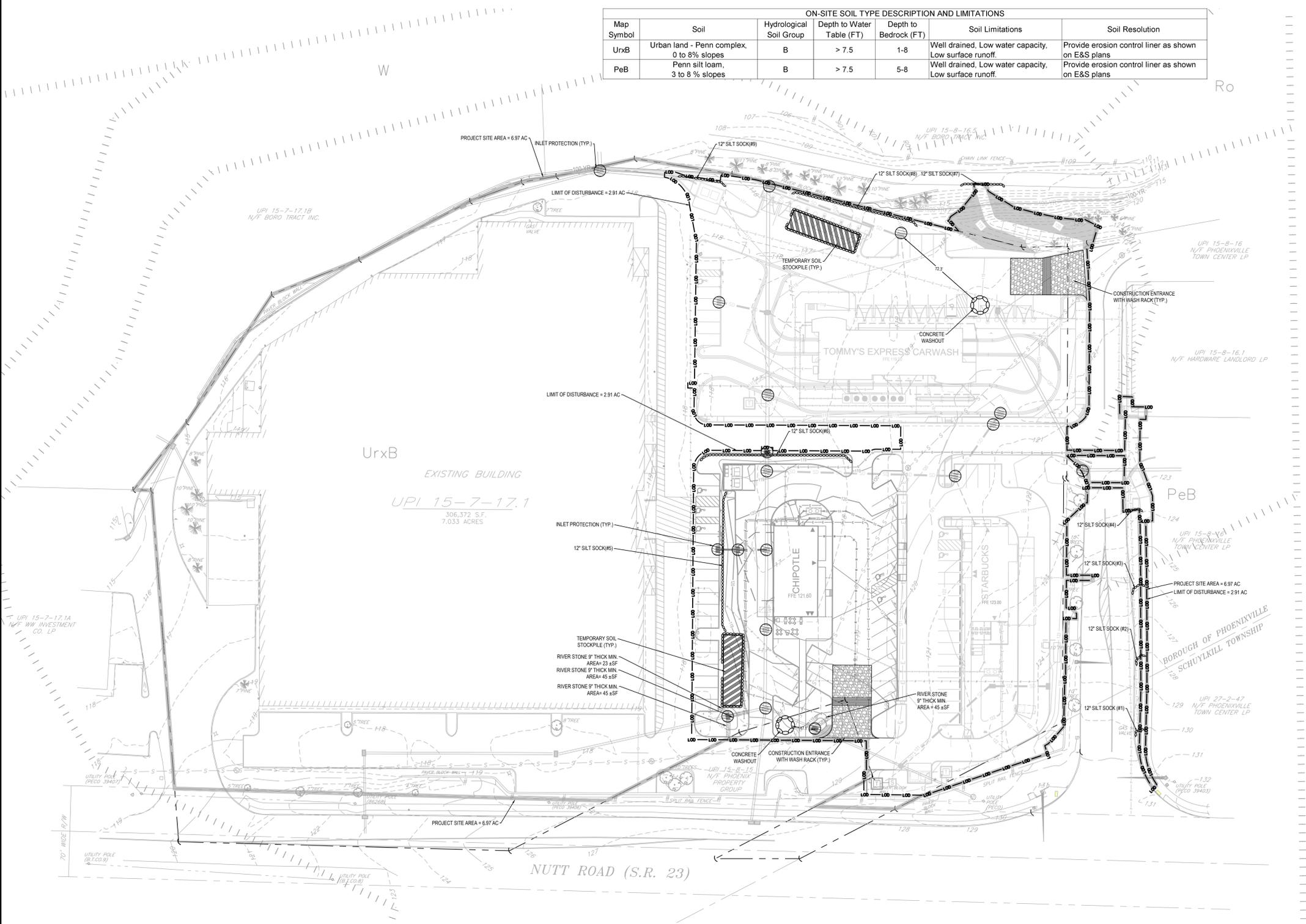


Project
PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE
UPI # 15-7-17.1
PHOENIXVILLE BOROUGH
CHESTER COUNTY PENNSYLVANIA

Drawing Title
SOIL EROSION AND SEDIMENT CONTROL PLAN



CHIRAG V. THAKKAR
PROFESSIONAL ENGINEER
PA LIC. No. 75153



SITE GENERAL NOTES:

- ALL EARTHMOVING ACTIVITIES WITHIN THE BOROUGH SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT ACCELERATED EROSION AND THE RESULTING SEDIMENTATION. NO CHANGES SHALL BE MADE TO THE CONTOUR OF THE LAND AND NO GRADING, EXCAVATION, REMOVAL, NOR DESTRUCTION OF THE TOPSOIL, TREES OR OTHER VEGETATIVE COVER OF THE LAND SHALL BE COMMENCED, UNTIL SUCH TIME THAT A PLAN FOR MINIMIZING EROSION AND SEDIMENTATION HAS BEEN PROCESSED AND REVIEWED BY THE BOROUGH ENGINEER AND THE CHESTER COUNTY CONSERVATION DISTRICT AND APPROVED BY COUNCIL.
- COUNCIL, IN ITS CONSIDERATION OF ALL PRELIMINARY LAND DEVELOPMENT PLANS, SHALL CONDITION ITS APPROVAL UPON THE EXECUTION OF EROSION AND SEDIMENT CONTROL MEASURES AS CONTAINED IN THIS CHAPTER, AND CONTAINED IN THE STANDARDS AND SPECIFICATIONS OF THE CHESTER COUNTY CONSERVATION DISTRICT, THE LOCAL DESIGNEE FOR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF SOIL AND WATER CONSERVATION.
- FINAL APPROVAL OF PLANS AND SPECIFICATIONS FOR THE CONTROL OF EROSION AND SEDIMENTATION SHALL BE CONCURRENT WITH THE APPROVAL OF THE FINAL LAND DEVELOPMENT PLANS AND BECOME A PART THEREOF.
- MEASURES USED TO CONTROL EROSION AND REDUCE SEDIMENTATION SHALL, AS A MINIMUM, MEET THE STANDARDS AND SPECIFICATIONS OF THE CHESTER COUNTY CONSERVATION DISTRICT, THE LOCAL DESIGNEE FOR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF SOIL AND WATER CONSERVATION.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENTS SOIL WATER MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIALS OR WASTES AT THE SITE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ADDITIONALLY THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND HAS BEEN APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES & REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFF-SITE SOIL AND/OR SPILL AND/OR BORROW AREAS.
- TEMPORARY AND PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDE OF ALL EARTHEN BASIN WITHIN 15 DAYS OF INITIAL CONSTRUCTION. THEIR MAINTENANCE AND REPAIR SHALL BE THE DIRECT RESPONSIBILITY OF THE DEVELOPER DURING THE SITE PREPARATIONS PROCESS, PRIOR TO A FORMAL MAINTENANCE GUARANTEE BEING ESTABLISHED.
- CONTRACTOR SHALL MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE AT ANY GIVEN TIME.
- THE E&S PLAN HAS BEEN DESIGNED TO:
 - MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
 - MINIMIZE SOIL COMPACTION.
 - UTILIZE OTHER MEASURES OR CONTROL THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF.
- THE SITE DOES NOT HAVE ANY EXISTING AND/OR PROPOSED RIPARIAN BUFFERS.
- THE RECEIVING WATER IS FRENCH CREEK WHICH HAS A TSF, MF CLASSIFICATION. THE SITE DOES PROPOSE THE USE OF ABACT BMPs.**
- BASED ON THE SOIL SURVEY FOR CHESTER COUNTY AND A FIELD INVESTIGATION OF THE PROJECT SITE, IT IS LIKELY THAT GEOLOGICAL CONDITIONS DO NOT EXIST ON-SITE THAT WOULD INTERFERE WITH THE PROPOSED DEVELOPMENT, IF ANY ISSUES ARISE DURING EARTH MOVING ACTIVITIES, LAND CLEARING, CONSTRUCTION ACTIVITIES OR ASSOCIATED ACTIVITIES WITH DEVELOPING THE SITE, ALL WORK SHALL IMMEDIATELY CEASE AND CCCD SHALL BE NOTIFIED.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ANTICIPATED WASTE FOR THE SITE IS GENERAL WASTE ASSOCIATED WITH ROUGH GRADING AND REMOVAL OF ASPHALT PAVING AND CURBS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.

CCCD NOTES:

- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. §102.45(a)(4).
- ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS. (PLEASE SHOW A DETAIL OF THIS FACILITY ON THE DETAIL SHEET). §102.45(b)(4).
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL, §102.45(a)(4).
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE. §102.45(a)(4).
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ADDITIONALLY, THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND HAS BEEN APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES & REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFF-SITE SOIL AND/OR ROCK SPOIL AND/OR BORROW AREAS. §102.45(a)(4).
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. §102.45(a)(4).
- SEDIMENT TRACKED ONTO ANY ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED AS A MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED OR SWEEPED INTO ANY ROAD SIDE DITCH, STORM SEWER OR SURFACE WATER. §102.11(a)(1).

LEGEND	
PROPOSED SYMBOLS & LINES	EXISTING SYMBOLS & LINES
SITE	SITE
PROPERTY LINE	STORM DRAIN
SETBACK LINE	SANITARY LINE
BUILDING	GAS LINE
CURB LINE	WATER LINE
ROLLED CURB LINE	ELECTRIC LINE
DEPRESSED CURB LINE	OVERHEAD WIRE
TRAFFIC SIGN	FENCE (TYPE AS NOTED)
CURB RAMP	TREE LINE
PARKING ROW COUNT	PROPERTY RIGHT-OF-WAY LINE
PARKING ROW FOR EACH AREA	UTILITY EASEMENT
BUILDING DOOR	CONTOUR LINE
	POLE
	STREET LIGHT
	AREA LIGHT
	SIGNAL POLE
	ANCHOR POLE
	MANHOLE (TYPE AS LABELED)
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	CATCH BASIN
	SPOT ELEVATION
	CLEAN OUT
	TREE
	BENCH MARK
	SIGN
	BOLLARD
	METAL COVER
	ELECTRIC BOX
	CURB LINE
	PARKING ROW COUNT
	TRAIL EASEMENT
GRADING AND DRAINAGE	
SD - STORM PIPE	
CB - CATCH BASIN	
SM - STORM MANHOLE	
CONTOUR	
1:12.50 - SPOT GRADE	
1:10.00 - TOP OF CURB ELEVATION	
1:10.00 - BOTTOM OF CURB ELEVATION	
FLOW ARROW	
HEADWALL / FLARED END SECTION	
RIP-RAP	
UTILITY	
WATER LINE	
GAS LINE	
PHONE & ELECTRIC LINE	
HYDRANT	
VALVE	
CLEANOUT	
SANITARY MANHOLE	
PROPOSED SANITARY PIPE	
PROPOSED ELECTRIC TRANSFORMER	
PROPOSED ELECTRIC JUNCTION BOX	

ACT 187

UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR, PER PA. ACT 187 TO CONTACT THE UTILITY COMPANIES FOR MORE ACCURATE LOCATION PRIOR TO ANY EXCAVATION.

TO OBTAIN ADDITIONAL UTILITY INFORMATION OR TO ARRANGE FOR FIELD LOCATION OF EXISTING UTILITIES BEFORE EXCAVATION, CALL THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1778. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITIES IN THE AREA.

CALL BEFORE YOU DIG!
PENNSYLVANIA ONE CALL SYSTEM
1-800-242-1778

Pennsylvania One Call System, Inc.
1-800-242-1778

PRELIMINARY DESIGN SERIAL NUMBER: 20252761039

RECORD OWNER & APPLICANT:
NUTT ROAD, LP
CIO Longview Property Group
309 Lancaster Avenue, Suite C
Malvern, PA 19355
Phone: (610) 902-3049

DATE	REVISIONS	NO.
12-17-25	REVISED PER BOROUGH COMMENTS	1

Project No. **230005603**

Date **09-26-2025**

Scale **1" = 40'**

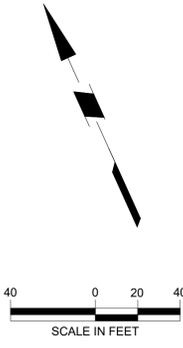
Drawn By **AG**

Checked By **AAB**

Drawing No. **CE-101**

Sheet **12** of **17**

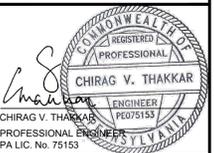
PROJECT: 230005603 PHOENIXVILLE PLAZA - CHIPOTLE PAD SITE



Project
**PHOENIXVILLE
PLAZA - CHIPOTLE
PAD SITE**
UPI # 15-7-17.1

PHOENIXVILLE BOROUGH
CHESTER COUNTY PENNSYLVANIA

Drawing Title
UTILITY PLAN



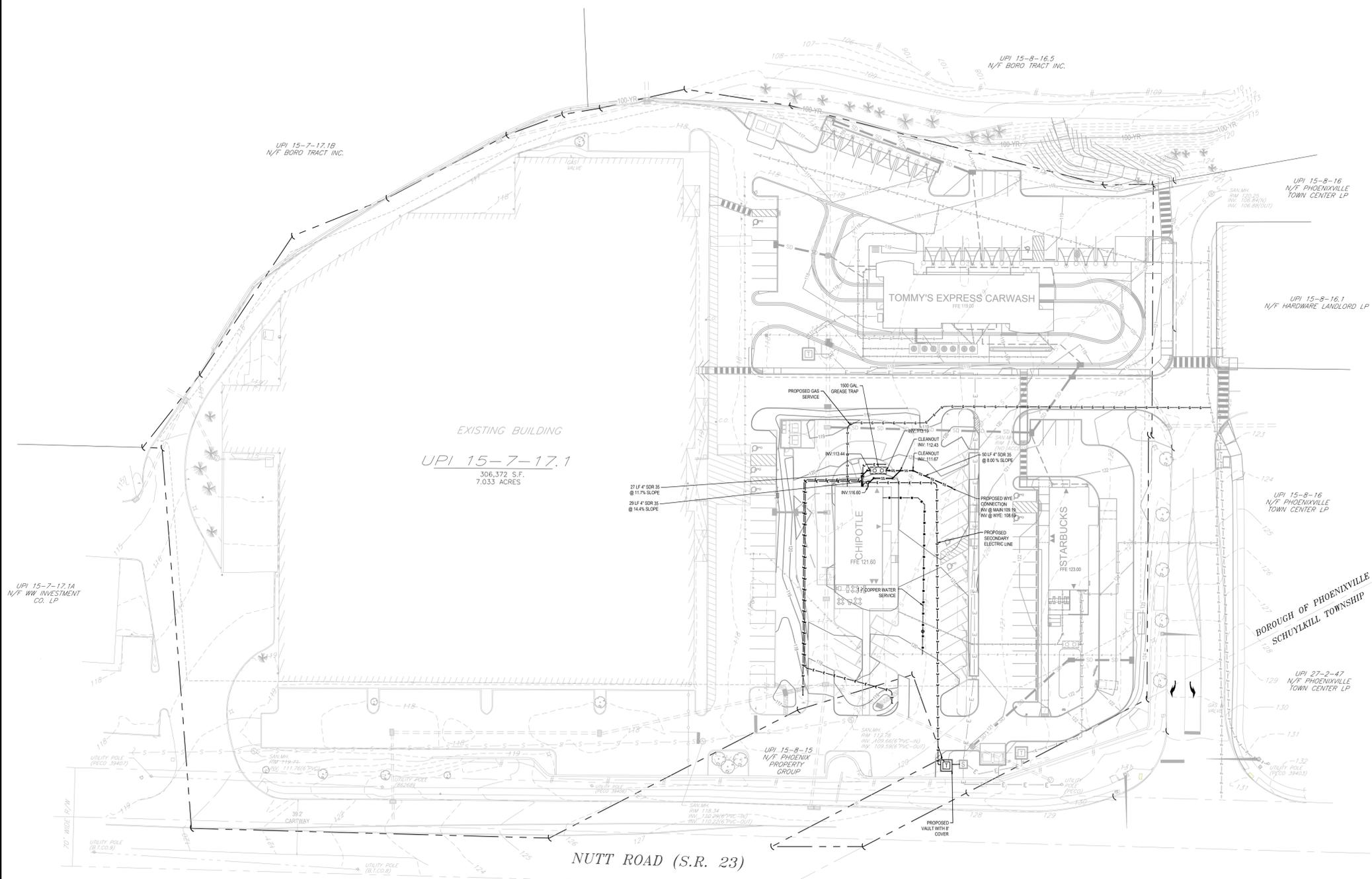
CHIRAG V. THAKKAR
PROFESSIONAL ENGINEER
PA LIC. No. 75153

DATE	REVISIONS	COMMENTS	NO.
12-17-25	REVISED PER BOROUGH COMMENTS		1

Project No.	230005603
Date	09-12-2025
Scale	1" = 40'
Drawn By	NT
Checked By	AAB
Drawing No.	CU-101

UTILITY PLAN NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL SIZE AND LOCATION OF ALL UTILITY SERVICE ENTRANCES TO INCLUDE SANITARY SEWER LATERAL, WATER SERVICE, ELECTRICAL, TELEPHONE AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- CONTRACTOR MUST ENSURE THAT UNINTERRUPTED UTILITY SERVICES, INCLUDING BUT NOT LIMITED TO, SANITARY SEWER, STORM SEWER, GAS, CABLE, TELEPHONE, ELECTRIC AND COMMUNICATION SERVICES TO THE ADJOINING BUILDINGS IS MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS INCLUDING INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- ALL SITE UTILITIES ARE TO BE BROUGHT TO WITHIN 2 FT. OF THE BUILDING LINE, PLUGGED AND MARKED UNLESS OTHERWISE NOTED. THE BUILDING CONTRACTOR SHALL MAKE THE FINAL CONNECTION BETWEEN THE BUILDING SYSTEMS AND THE UTILITY LATERALS.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF ALL UTILITY INSTALLATION WITH APPROPRIATE UTILITY COMPANIES. ALL CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, UTILITY TRENCHING DETAILS, DEPTH OF INSTALLATION, MATERIAL(S), GROUND SLOPE, UTILITY CROSSINGS, CONNECTIONS TO MAIN, SEPARATION DISTANCES, ETC. SHALL BE PERFORMED PER STANDARDS, SPECIFICATIONS AND REQUIREMENTS OF UTILITY COMPANIES AS WELL AS ANY APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REQUIREMENTS.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING PENNSYLVANIA ONE CALL SYSTEM AS REQUIRED BY PA ACT 38 OF 1991 THREE (3) WORKING DAYS PRIOR TO DIGGING. CALL TOLL FREE 1-800-242-1776.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION IS COMPLETED IN ACCORDANCE WITH THE LATEST OSHA REQUIREMENTS AND REQUIREMENTS OF UTILITY PROVIDERS.
- ANY EXISTING WELL FOUND ON THE SUBJECT SITE SHALL BE ABANDONED ACCORDING TO PA DEP REQUIREMENTS.
- THE SUBJECT SITE SHALL BE SERVICED BY THE BOROUGH OF PHOENIXVILLE - PUBLIC WORKS DEPARTMENT FOR PUBLIC WATER AND SEWER.
- CONTRACTOR SHALL COMPLY WITH BOROUGH OF PHOENIXVILLE RULES, REGULATIONS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
- CONTRACTOR MUST PROVIDE REQUIRED NOTICE IN ADVANCE OF WORK TO THE BOROUGH OF PHOENIXVILLE IN ORDER TO SCHEDULE INSPECTION OF ALL WORK ASSOCIATED WITH WATER AND SANITARY SEWER LINE WORK.
- WHERE LESS THAN 18" OF CLEARANCE IS PROVIDED BETWEEN THE SANITARY SEWER AND OTHER UTILITIES, THE SEWER MUST BE CONCRETE ENCASED FOR A DISTANCE OF 10' ON EITHER SIDE OF THE CROSSING.
- ALL WATER MAINS ARE TO HAVE A MINIMUM COVER OF 4 FEET FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION. CONSTRUCT WATER MAIN AT A CONSISTENT DEPTH BELOW THE PROPOSED SURFACE AND MAINTAIN PROPER VERTICAL CLEARANCE BETWEEN SANITARY AND STORM SEWERS. CONTRACTOR TO CONSTRUCT THE LOOP AROUND THE UTILITY CROSSINGS & PROVIDE AIR RELEASE VALVES AS NECESSARY.
- WHERE A MINIMUM TEN (10) FOOT SEPARATION BETWEEN WATER AND SEWER MAINS CANNOT BE MAINTAINED, THE UTILITIES MUST BE VERTICALLY SEPARATED BY A MINIMUM OF 18 INCHES AND CONSTRUCTED IN SEPARATE TRENCHES.
- THRUST BLOCKS MUST BE INSTALLED AT ALL WATER MAIN BENDS AND FITTINGS.
- ALL SANITARY LATERALS MUST CONNECT TO THE SEWER MAINS BY A "WYE" CONNECTION OR AT A MANHOLE.
- A WATER METER FURNISHED BY THE BOROUGH SHALL BE INSTALLED FOR EACH CONNECTION AT SUCH PLACE ON THE SERVICE LINE AS THE BOROUGH SHALL DETERMINE. CONTRACTOR MUST PROVIDE CUT SHEET OF THE WATER METER PIT TO OWNER'S ENGINEER FOR REVIEW PRIOR TO ORDERING.
- EACH BUILDING SHALL HAVE ITS OWN EXTERIOR SHUT OFF VALVE FOR THE WATER SERVICE.
- APPROVED BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED ON THE DOMESTIC AND FIRE LINES.
- ALL ABANDONED WATER LINES MUST BE ABANDONED AT THE MAIN. IF THE CORPORATIONS DO NOT SHUT OFF CORRECTLY AND ARE LEAKING OR DEEMED NECESSARY BY THE INSPECTOR, THE CONTRACTOR IS FULLY RESPONSIBLE TO PURCHASE AND INSTALL APPROVED CAPSULATION DEVICES.
- ALL ABANDONED SEWER LINES MUST BE ABANDONED AT THE MAIN BY AN APPROVED TRENCHLESS SEWER REPAIR CONTRACTOR.
- CONTRACTOR MUST REFER TO ARCHITECTURAL PLANS FOR SIZE AND LOCATION OF ALL UTILITY TIE-IN INTO THE BUILDINGS.
- ALL PROPOSED SANITARY LATERALS MUST BE SDR 35 PIPES.
- LOCATION OF EXISTING UTILITIES WITHIN THE PROPERTY SHALL BE FIELD DETERMINED PRIOR TO CONSTRUCTION AND DESIGN ADJUSTMENTS MAY BE REQUIRED.
- SANITARY CLEAN OUT SHALL BE INSTALLED AT ALL PIPELINE DEFLECTORS GREATER THAN 45' AND AT SPACING OF NO MORE 50 FEET.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- MAIN ELECTRICAL SWITCHGEAR WILL HAVE SUFFICIENT SPACE AND CAPACITY TO SUPPORT OPERATION OF LEVEL 2 EVCS FOR AT LEAST 20% OF THE PARKING SPACES, WITH A DEDICATED BRANCH CIRCUIT AN OVERCURRENT PROTECTION FOR EACH LEVEL 2 EVCS.
- ALL INTERNAL WATER AND SEWER LINES ARE CONSIDERED PRIVATE AND SUBJECT TO COMPLIANCE WITH THE BOROUGH PLUMBING CODE.



LEGEND	
PROPOSED SYMBOLS & LINES	EXISTING SYMBOLS & LINES
SITE	
--- PROPERTY LINE	--- STORM DRAIN
--- SETBACK LINE	--- SANITARY LINE
--- BUILDING	--- GAS LINE
--- CURB LINE	--- WATER LINE
--- ROLLED CURB LINE	--- ELECTRIC LINE
--- DEPRESSED CURB LINE	--- OVERHEAD WIRE
▲ TRAFFIC SIGN	--- FENCE (TYPE AS NOTED)
▲ CURB RAMP	--- PROPERTY RIGHT-OF-WAY LINE
⊕ PARKING ROW COUNT	--- UTILITY EASEMENT
⊕ PARKING COUNT FOR EACH AREA	--- CONTOUR LINE
⊕ BUILDING DOOR	--- HYDRANT
GRADING AND DRAINAGE	
SD STORM PIPE	▲ STREET LIGHT
CB CATCH BASIN	▲ AREA LIGHT
SM STORM MANHOLE	▲ SIGNAL POLE
100 CONTOUR	▲ ANCHOR POLE
x 10' 10" SPOT GRADE	▲ MANHOLE (TYPE AS LABELED)
x 10' 10" 10" TOP OF CURB ELEVATION	▲ WATER VALVE
x 10' 10" 10" BOTTOM OF CURB ELEVATION	▲ GAS VALVE
→ FLOW ARROW	▲ UNKNOWN VALVE
▲ HEADWALL / FLARED END SECTION	▲ CATCH BASIN
RP-RAP	▲ SPOT ELEVATION
UTILITY	
--- WATER LINE	▲ CLEANOUT
--- GAS LINE	▲ SANITARY MANHOLE
--- TELEPHONE & ELECTRIC LINE	--- PROPOSED SANITARY PIPE
▲ HYDRANT	--- PROPOSED SANITARY PIPE
○ VALVE	--- PROPOSED ELECTRIC TRANSFORMER
○ CLEANOUT	--- PROPOSED ELECTRIC JUNCTION BOX
--- SANITARY MANHOLE	
--- PROPOSED SANITARY PIPE	
--- PROPOSED ELECTRIC TRANSFORMER	
--- PROPOSED ELECTRIC JUNCTION BOX	

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UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG! PENNSYLVANIA ONE CALL SYSTEM (800) 242-1776. THE UTILITY COMPANIES SHOWN MAY OR MAY NOT HAVE UTILITIES IN THE AREA.
PENNsylvania One Call System, Inc. 1-800-242-1776
PRELIMINARY DESIGN SERIAL NUMBER: 20252761039

